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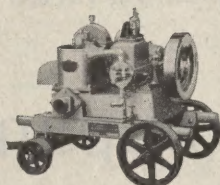
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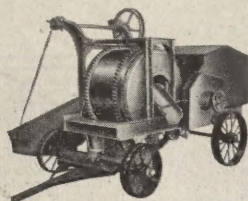
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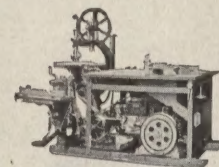
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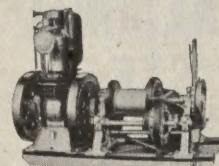
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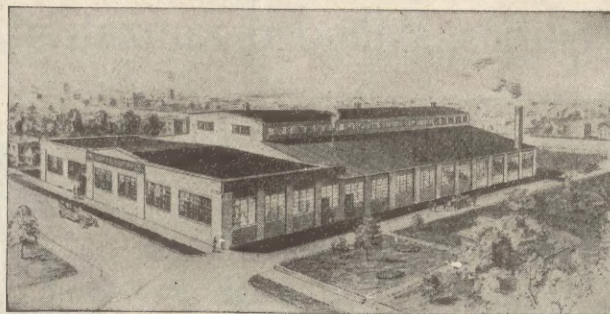
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INDIANAPOLIS

INDIANA

INDIANA CONSTRUCTION RECORDER

FOR
ARCHITECT
ENGINEER

Devoted to the
Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

Vol. III

INDIANAPOLIS, INDIANA, JANUARY 7, 1921

No. 40

INDIANA CONSTRUCTION RECORDER
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JOHN H. OWENS Field Manager

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One Year \$6.00
Six Months \$4.00

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Advertising forms close Saturday of week pre-
ceding date of issue.

Entered as second class matter August 29, 1919,
at the Post Office at Indianapolis, Indiana, under
the Act of March 3, 1879.

SPIRIT OF PERSONALITY A REAL ASSET TO FUTURE OF THE STATE A. B. C.'S

The frequent use of the personal pronoun oft-times is disgusting, but as applied to organization work it not only is permissible but admirable. Every member of a contractor's association has an interest in that association, or should have. It is his, just as much as any other's. Hence it is right, proper and commendable for him to talk about "my" organization, what "we" are doing. How much better it sounds for him to use these terms than to employ the less intimate and more evasive "you fellows" and "yours."

This is my organization. I want it to prosper and to succeed in its undertakings, and to this end I will do all in my power to aid the officers and committees in carrying out its purposes and projects, should be the attitude of each member.

The Perogative of Members.

The officers of the association are simply delegated to look after its affairs, and they are responsible to the individual members who compose the body corporate. If matters in the association are not going to please the individual member he has the right to make a howl, but the proper place to loose the vials of his displeasure is in open meeting, and not on the street corners. If he has a burden on his bosom or something on his chest the meeting is the place to air it. If this is done there is some opportunity

MILLIONS SPENT FOR BUILDING CONSTRUCTION IN INDIANA CITIES IN 1921, EXCEEDING 1920 RECORDS.

Though building figures from Evansville and Gary for the month of December were not available at the time of going to press, nevertheless, with these two items missing, the returns from the building inspection departments of Indiana's eight leading cities show that in those cities a large amount of money was expended for building construction during 1921.

Quite a few of the cities experienced the best building year they had enjoyed since building statistics have been recorded in these respective localities, while some of them exceeded in activity that of the more recent years. Indianapolis, with 10,135 permits issued, naturally stood forth in the van, while the \$18,328,965, total estimated valuation, represented more than 50 per cent. of the total from the other seven cities, and was in excess of any other year she had experienced. Ft. Wayne with 1,529 permits and a total estimated valuation of \$4,799,756 passed all her previous records and stood second in the list for the year of 1921. South Bend though showing a loss as compared with 1920 took third place with a total estimated valuation of \$4,148,117. Gary with but an eleven months' total surpassed the twelve months in 1920. Terre Haute, too, showed a big gain over last year.

In the matter of valuations, Indianapolis, Ft. Wayne, Gary, and Terre Haute showed gains this year as compared with 1920, while Evansville, Hammond, Richmond, and South Bend trailed last year's figures.

The estimated valuations for 1921 (with December figures for Evansville and Gary missing) amounted to \$35,988,551 as against \$30,749,587 for the same period in 1920.

Cities.	1921. Est. Valuation.	1920. Est. Valuation.
*Evansville	\$1,198,937	\$1,498,583
Ft. Wayne	4,799,756	2,929,942
*Gary	2,880,093	2,879,408
Hammond	1,942,610	2,287,424
Indianapolis	18,328,965	15,284,119
Richmond	476,058	503,811
South Bend	4,148,117	4,609,071
Terre Haute	2,214,015	757,229
Total	\$35,988,551	\$30,749,587

for redress, if redress is in order. On the other hand, if he has a suggestion for the good of the organization it should be made in open meeting, or transmitted to the officers in the regular manner.

Such a creed should be adopted by every member. It breathes the spirit of co-operation. Every member should remember that he can set the machinery in motion for the accomplishment of any worthy object at any time he chooses. There are 800 members in the A. B. C.'s of Indiana, including practically all the best and most reliable men and firms engaged in the building contracting indus-

this would be if the energy and thought of the entire membership were concentrated toward the objects of co-operation for which the state contractors' organization stands!

It is said at times that members should not expect direct benefits from the organization, but if the members do not receive direct benefits the organization will not endure.

There is every reason why members should receive direct and definite benefits.

Seeks Full Co-Operation.

It is not necessary to enter into price-fixing agreements to procure direct bene-

fits. The A. B. C. does not stand for price-fixing, nor does it subscribe to any of the outlawed trust principles. Simple co-operation will produce all the benefits that any reasonable member could expect or hope for. Several of the local city subsidiary associations carry a slogan, "Members first in business." This is a good slogan, but it means nothing if the members do not put its meaning into practice. The state and city members represent every branch of the building industry. It is not necessary for any member to go outside the association to get anything that he may need in construction. The prime object of the association is to bring the members together for business purposes. Meetings should be frequent and informal. The members should exchange business information and ideas. This is a business association. This does not mean that a member should give away his business secrets, or that competition is to suffer. The likelihood is that members engaging in this kind of interchange with their fellow members would be better prepared to cope with the numerous problems that constantly are cropping up to perplex them.

What A Live Body Means.

The activities and the effectiveness of the organization depend upon the interest the members take in its work. The officers can't galvanize an inanimate body, no matter how much they may desire to perform their duties acceptably and well.

A live body will invigorate and inspire the officers.

Some one has well said that the rank and file must be behind the officers—and not very far behind them, if they are to do anything worth while.

Co-operation is working with the other fellow—that's all. There are very few who are not willing to work with the other fellow if the other fellow shows a disposition to work with them. The association is the forum where they can get together.

The Associated Building Contractors of Indiana will be a better and more effective organization whenever this spirit of co-operation becomes dominant, and then only will its permanency be assured.

SUGGESTS SERIOUS CONSIDERATION OF APPRENTICE SITUATION

When the building construction industry gets back to normalcy and conditions become stabilized, one of the most important and serious problems which will confront the employers and the building public will be that of the scarcity of competent and skilled mechanics in most all branches of the industry.

With the prospects of an exceedingly large building program for the early

spring the demand for mechanics will be great and unless some effort is immediately put forth to increase the number of available men the industry is going to suffer considerably and whatever rate of wages may be stipulated in trade agreements will, on account of the demand for men, be in jeopardy through the machinations of greedy outside operators and contractors.

Contractors Lax.

Too little attention is, unfortunately, paid to the question of making more mechanics, and too many contractors who, by the terms of their trade agreements are permitted to take apprentices, refuse to avail themselves of the opportunity to help increase the number of mechanics necessarily needed in the construction industry.

Many unions still have the "old stone wall" around their membership and it is hard for any one to break in unless they are known to be "right."

Employers' associations should at once take a determined and decided stand upon this question and demand the unrestricted right of any competent mechanic to work at his trade.

The Cleveland Building Trades Employers' Bulletin, referring to the question of the apprentices, says:

"The great flaw in all apprentice plans is the requirement that the apprentice shall come in at a certain age. It may not be the time in life when the average young fellow is thinking of bettering himself. Five years later, when his expenses and responsibilities have increased, he may be anxious to better himself.

Age Limit Interferes.

But the union says to him: "Too late. You are over twenty. You must work at unskilled labor all your life."

It is not among the youths of 18 and 20 that trades should be recruited, but among the more intelligent men working at common labor.

Every contractor has had experience with unskilled laborers who were quick to learn and who, with an open door, would have become skilled tradesmen in record time. Often he has wanted to promote such men to places of greater responsibility, but the union says "no"; such a man can neither learn by casual practice nor be permitted to qualify as a regular apprentice."

The right of any man to learn a trade should not be restricted and many skilled mechanics have graduated not from apprentices regularly indentured, but through experience years after they were too old to enter in any trade as an apprentice.

How best to increase the number of mechanics for the building industry

should be one of the subjects to which the building trades employers of the country should give serious consideration in 1922.—(Bulletin of The Building Construction Employers' Association, Chicago.)

INDIANA ENGINEERS TO MEET AT LAFAYETTE.

An event of mement to those interested in the engineering profession is scheduled for Lafayette, Ind., Thursday and Friday, Jan. 19 and 20, when the members of the Indiana Engineering Society are to gather there for the Forty-third Annual Convention of the organization.

The program as announced by the committee in charge is as follows:

Thursday, 2:00 P. M.

First Session.

Wm. J. Titus, Presiding.

Address of Welcome-----
Henry W. Marshall, Vice-President,
Purdue University, Lafayette, Indiana
Dean A. A. Potter, Dean of Engineering,
Purdue University.

Response-----
Wm. J. Titus, President, Indiana Engineering Society, Indianapolis.
President's Address-----Wm. J. Titus
Secretary's Report-----Chas. Brossman
Appointment of Committees.

The Future of the Automobile-----
Mr. Allen C. Staley, Associate Prof.
Gas Engineering, Purdue University
Moving Picture and Illustrated Lecture
on Underfeed Stoker and Furnace
Operation, Showing Actual Operating
Conditions of Furnaces-----
Courtesy of the Sanford Riley Stoker
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Thursday, 8:00 P. M.

D. D. Ewing, Presiding.

Smoker and "Get Together" Meeting at
the Lincoln Club.
Sphere of Influence for the I. E. S.---
-----R. C. Yeoman, Indianapolis
The Federated Engineering Society and
Its Function-----Dean M. E. Cooley,
President Federated American Engineering Society.
The Engineers' License Law-----
Prof. R. L. McCormick, Pres. Engineers' Board of Registration, Rose
Polytechnic Institute, Terre Haute, Ind.
Discussion—Led by D. B. Luten, of Indianapolis.
Special Entertainment.

Friday, 9:00 A. M.

A. P. Melton, Presiding.

Papers and Discussion on the Engineer
in Public Life.
City Planning—Lawrence V. Sheridan,
Executive Secy. Indianapolis City
Planning Commission.
Address on the Current Issues of the

Engineer—H. O. Garman, Indianapolis, International President A. A. E.

The Engineer In Politics—John Elliott, City Engineer, Indianapolis

Discussion—Led by G. A. Lommel. Problem for the City Manager—Wm.

B. Manny, City Manager, Michigan City, Indiana.

Friday, 11:00 A. M.

Nitrogen Fixation and Ozone Manufacture—K. B. McEachron, Lafayette Research Associate in Engineering Experiment Station, Purdue University.

Luncheon served by Home Economics Department, Purdue University.

Luncheon—75 cents per plate.

Friday, 2:00 P. M.

Chas. Brossman, Presiding.

Paper on Sanitary Engineering—Mr. Paul Hansen, of Pearse, Greeley & Hansen, Chicago.

Paper on Development of Indianapolis Sewage Plant, Illustrated—C. K. Calvert, Asst. Sanitary Engineer, Indianapolis Sanitary Dist.

Discussion—Led by Prof. R. B. Wiley, Purdue University.

Report of Committees.

Friday, 6:30 P. M.

A. A. Potter, Presiding.

Annual Dinner—Lahr House—Lahr House

Addresses and responses by Thos. Moran and David Ross, and Dean M. E. Cooley.

Those Contemplating Attending.

Please notify Secretary Chas. Brossman, 1503 Merchants Bank Bldg., Indianapolis, up to January 18, if you will be present; address communications, after Jan. 18, care Lahr House, Lafayette, Indiana, or to Dean A. A. Potter, Purdue University, Lafayette, Ind.

THE NEED OF THE HOUR.

The supreme need and duty of the hour is to strengthen business; for upon active and wholesome business depends the well-being of all the people. Everything must be put aside that takes any time and attention from that indispensable and immediate task.

The present depression is not a transient economic phase, due to an unhappy state of mind on the part of business men or the people generally; and it is not to be improved by the methods of college cheer leaders at football games. On the contrary, those inflationists of hope who tell us that prosperity is just around the corner when it is not there but far away, do not help but positively hurt business.

Worse still, they sow broadcast dragon's teeth of distrust. For when the

people go around the corner and fail to find the promised prosperity, but are again told that it is around the next corner and again fail to find prosperity there—when this process is repeated three or four times, the people lose confidence in everything and everybody. Faith is killed by disappointment.

This is no time for the prophets of "jolly" to practice their trade; no time for the ballyhoo men of business to raucously cry their exaggerations; no time for the professional "smilers" to purvey their familiar grimaces; no time for the shell games of politicians who are intent only on carrying elections and keeping in office.

It is, instead, a time for plain speaking by men who have graduated from ambition. It is a time for certainty and action regardless of the political effect on personal or party fortunes.

* * * *

One of the immediate causes of the creeping paralysis from which business is suffering is the plight of the railroads. The condition of business is measured with exactness by the ease, speed and cheapness or the difficulty, delay and expensiveness of transportation.—(Extract from speech of Ex-Senator Albert J. Beveridge, Indianapolis, at the annual banquet, New York State Chamber of Commerce.)

IN NEW QUARTERS.

Announcements have just been issued by the H. G. Christman Co., South Bend, one of the largest building construction operators in northern Indiana, that after the first of the year the company will be located in its new office building at 306 S. Notre Dame avenue, South Bend.

OUTPUT OF PORTLAND CEMENT IN NOVEMBER.

The production of Portland cement continued on a large scale during November, approximately 8,921,000 barrels of finished cement having been manufactured. This quantity represents a decrease of 1,585,000 barrels as compared with the record production of October 1921, but is larger than that for any other month of this year up to May and is about 17 per cent greater than the average for November, 1917-1921. The total production for the eleven months ending November 30, or 91,734,000 barrels was about 99.5 per cent of the record quantity made during the corresponding period of 1920 and was 11 per cent greater than the average for the first eleven months of the years 1917-1921. Favorable operating conditions are indicated by this large production, the decrease having been due mainly

to the slowing up of orders during the month.

The shipments of Portland cement in November showed a marked falling off as compared with those during the warmer months of 1921 but were about 82 per cent of the average for November 1917-1921. The total shipments for the first eleven months of 1921, approximately 91,354,000 barrels, were nearly 99 per cent of the record shipments during the corresponding period of 1920 and were about 9 per cent greater than the average of those of the corresponding eleven months in 1917-1921. The reduction in shipments probably is due in part to decreased demand attendant upon the advent of cooler weather and possibly demand has been to some extent held in check as a result of continued rumors of the possibility of reductions in freight rates. Normally, however, a seasonal reduction was to be expected, although, perhaps not so abrupt as the curve shows.

Stocks of finished Portland cement at mills on November 30 of about 9,091,000 barrels showed an increase consistent with the sustained production and reduced shipments during November and were about 25 per cent greater than the average for November 1917-1921.—(Report of U. S. Dept. of the Interior.)

INDIANA LUMBER MEN PLANNING FOR BIG CONVENTION.

Indianapolis is to play host to the retail lumber men of Indiana when they gather at the Claypool Hotel, Jan. 18th and 19th for their regular annual convention.

Everything is being arranged to make this the largest and best event in the history of the Retail Lumber Dealers' Association of Indiana. Indications are that a record crowd will be on hand as interest centers on the trend of things for the spring building season, and from all over the state word is being received that "We are coming."

Prest. Geo. Osterhage, Vincennes, and Secy. C. D. Root, Crown Point, announce that the outline of the preliminary program promises a most interesting time for those who attend.

NEW OFFICE OPENED.

Mr. Russell N. Edwards, formerly connected with the engineering firm of McMeans & Tripp, Majestic Building, Indianapolis, has opened an office at 45 The Union Trust Building. The firm will be known as Russell N. Edwards Company. Mr. Edwards was associated with McMeans & Tripp for 5 years, served several years experience capable of making several years with the Central Illinois Public Service Co., Mattoon, Ill. and the Arnold Engineering Co. of Chicago, Ill.

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ALL BARS rolled to A. S. T. M. specifications.

EVERY OUNCE of reinforcing bars made and sold by this company is backed by its reputation and integrity, unshaken thru 50 years of intimate industrial service. Your reinforcing requirements are in competent hands when placed with us.

INQUIRIES will be given very prompt attention. Our PERSONAL REPRESENTATIVE will gladly call if desired.

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News of the Week

The asterisk (*) prefix to an item indicates additional information to report published in previous issue.

INDIANAPOLIS.

Club House: \$1,000,000. 12 sty. & bas. Archt., J. Edwin Kopf & Woolling, 402 Indiana Pythian Bldg. Owner, The Indiana Democratic Club, Frank J. Baker, Prest., Fred Hoke, 1st V. P., Alice F. McCulloch, 2nd V. P., Albert Stump, Treas., Thomas E. Garvin, Secy., 22 East Vermont St. Owners negotiating for new site. Definite data later. Brick, fireproof constr. Basement & 1st and 2nd floors will be used for club rooms, 10 stys. above to be built into apartments. In the basement there will be a swimming pool, gymnasium, bowling alleys, billiard parlor.

***Automobile Service & Sales Bldg:** 319 No. College Ave., Bloomington, Ind. Archt., J. Edwin Kopf & Woolling, 402 Indiana Pythian Bldg., Indpls. Owner, Walter E. Hottle, Robert C. Wiles, Kenneth C. May, for the Bloomington-Nash Motor Co., Bloomington. Archt. receiving bids on the front portion of the building, approx. 60x60, balance of work will mature later. Brick, concrete, steel truss, built-up roof, stone trim, 2 sty. & bas.

Reformatory: \$900,000. Appropriated for site and buildings. Archt., Herbert Foltz, 847 Lemcke Annex, Indianapolis. Owner, Trustees of State Reformatory, and Governor McCray, State House, Indianapolis. Archt., selected. Details undecided. Site will be purchased within the next few days.

***Asylum:** Laundry Bldg. 1 sty. 100x64. Power Plant, 1 sty. 74x60. Recreation Bldg., 1 sty. 80x48 dining room building 1 sty., 82x46. Main Building, 2 sty. 42 x 83. Cottages (6) 1 sty. 38x106 each. Hospital Bldg. 2 sty. 24x86. Receiving Bldg. 2 sty. 86x32 Industrial Bldg. 1½ sty. 32x89. \$400,000. Newcastle, Ind. Archt., Herbert Foltz, 843 Lemcke Bldg., Indpls. Mechanical Engineer, McMeans & Tripp, 510 Majestic Bldg., Indianapolis. Owner, Indiana Village of Epileptics, Dr. W. C. Van Nuys, Supt. Newcastle, Ind. Owner taking bids to close January 31st. (See sealed proposal). Brick, reinf. conc. slab & beam floor & roof constr., hollow

tile, glazed & fire brick, slate stairs, radial brick stack, 154 ft. high by 60 inches in diameter, cut stone, steel roof constr. spiral stairs, steel window sash, tile and terrazzo work, alternate on comp. floors, fly screens, dumb waiter, roof ventilators, tin clad doors, metal ceiling, tile, slate, tar and gravel roofs, Gypsum tile roof, underground heating system, electric service and telephone system, sewerage and roof water disposal.

***Hotel & Cottages:** \$400,000. 3 sty. & bas. 75 to 100 rooms, Lake Tippecanoe, Ind. Archt., L. H. Sturges, 527 Board of Trade Bldg., Indianapolis. Owner, Dr. Frank Peterson, Milford, Ind., in charge. Plans nearing completion. Owner will be ready for bids soon. Stucco will include cottages, 18 hole golf course, retaining walls, ball room, dining rooms, and kitchen.

Duplex Residence: 2 sty. & bas. (5 rooms each side) Lebanon, Ind. Archt., L. H. Sturges, 527 Board of Trade Bldg., Indpls. Owner, Harry Bohanon, 709 East Washington St., Lebanon, Ind. Plans in progress. Frame and stucco, steam heat.

***Apartment Building:** (and Rem. large Residence.) \$350,000. (64-5 & 6 room apts.) 3 sty. & bas. approx. 235x197. 34th and Meridian "The Harvey," Indianapolis. Archt., J. E. Salie, 519-20 Empire Building, Birmingham, Alabama. Owner, H. N. Maloney Apartment Co., % the Archt. and % Harvey Coonse, Prest. Coonse & Caylor Co., 71 So. Tuxedo St., Indpls. Archt. receiving bids to be in his office by January 15th, 12 o'clock noon. Brick, stucco, hollow tile, cut stone trim, Pyrobar floor tile of reinf. concrete constr., tile roof, Rubberoid rolled roofing, marbleoid flooring, metal doors, metal stairs, ash can hoist, hot water heating system, boilers.

***Power Plant** (3200 H. P.) \$300,000. "City Sewage Disposal Plant." Engineer, Chas. H. Hurd, 1405 Merchants Bank Bldg. Owner, Board of Sanitary Commissioners, City Hall. Plans in progress. Owner will advertise for bids in about 60 days. Brick, reinf. concrete & steel, steel sash, comp. roof, radial brick stack, 10 fans, air compressor, blowers, turbine generator sets, automatic stokers. Boilers.

Office Building & Garage: \$250,000 (Probably 7 sty. & bas) 60x200. S. E. corner of Alabama and Market St. Archt., Chas. H. Byfield, 923 Peoples Bank Bldg. Owner, Ira M. Holmes and Associates, 218 American Central Life Bldg. Preliminary plans in progress. Details undecided. Brick, stone or terra cotta trim.

***Bank** (rem from store room), 139 East Market St. Archt., Chas. H. Byfield, 923 Peoples Bank Bldg. Owner, Marion County State Bank, J. L. Duvall, Prest., 139 East Market St. Archt. will be ready to receive bids Jan. 10. Work will consist on new terra cotta front, tile floors, lighting fixtures, bank furnishings, and general interior alterations.

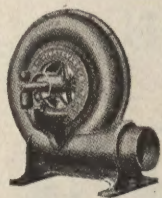
Cattle Barn: \$150,000. Swine Barn, \$75,000 and Administration Building, \$25,000. "State Fair Grounds," Indianapolis. Owner, Indiana Board of Agriculture, I. Newton Brown, Secy., State House, Indianapolis. Owners voted to build early spring. Definite data later. Brick.

***County Hospital:** \$95,000. 2 sty. & bas., Greencastle, Ind. Archt., D. A. Bohlen & Son, 1001 Majestic Bldg., Indianapolis. Owner, Board of County Commissioners, R. E. Knoll, auditor, court house, Greencastle, Ind. Plans completed. Owner will advertise for bids in February.

***Memorial Hospital:** (rem. of a 2 sty. residence into hospital, erection of an add. and rem. present barn into a nurses home) \$47,000. Martinsville, Ind. Archt., D. A. Bohlen & Son, 1001 Majestic Bldg., Indianapolis. Owner, Board of County Commrs., H. H. Nutter, auditor, and the trustees of the Morgan County Hospital, J. W. Hussey, Secy., Martinsville. Bids rejected. Owner will readvertise for new bids shortly.

School (Township Grade) \$80,000. 2 sty. & bas. 6 rooms, library, gymnasium, auditorium, manual training and domestic science depts. Center School Township, Indianapolis, Ind., Raymond Street. Archt., Donald Graham, 1128 Hume-Mansur Bldg. Owner, William H. Evans, trustee, Center township trustee's office, 412-14 Saks Bldg., Indianapolis. Plans in progress. Brick, stone or terra cotta trim,

(Continued on Page 15)



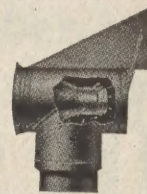
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Residence (new hot water heating system) 3335 No. Penn. St. Archt., Donald Graham, 1128 Hume-Mansur Bldg. Owner, Frank B. Flanner, % Flanner & Buchanan, 320 No. Illinois St. Plans in progress.

Residence (Italian Type of Architecture.) 10 rooms, 3 baths, sun and sleeping porches, lounge and billiard room in basement. 2 sty. & bas., 4176 Washington Boulevard. Archt., George & MacLucas, 1153 Lemcke Annex. Owner, Paul A. Bessire, Prest., Bessire & Co., 101-19 East South St. Plans in progress. Buff brick, Bedford stone trim, Spanish green tile roof, tile vestibules and baths, marble floor in halls, vapor steam heating, laundry tubs and dryers, vacuum cleaning system, hardwood floors, metal weatherstrips.

***School** (Central Grade) 2 sty. & bas. Peru, Ind. Archt., Bass, Knowlton & Co., 801 Hume-Mansur Bldg., Indianapolis. Owner, Board of Education, F. E. Lund, Prest., Mrs. Richard Edwards, Secy., Peru, Ind. Plans and specifications completed. Owner will advertise for bids the latter part of January.

***Fraternity House:** \$60,000. 3 sty. Greencastle, Indiana. Archt., Robert Frost Daggett, Lemcke Annex, Indianapolis. Owner, Phi Kappa Psi Fraternity, Guernsey VanRiper, Chmn. Bldg. Comm., Merchants Bank Bldg., Indianapolis. Substructure let to Walter R. Heath, Greencastle, Ind. Archt. drawing plans for superstructure. Brick.

Township School (rem & add) Huntington Township, Huntington County, Indiana. Archt., Elmer E. Dunlap & Co., State Life Bldg., Indianapolis. Owner, J. H. Heaston, Trustee, 334 E. Matilda St., Huntington, Indiana. Plans nearing completion. Owner will advertise for bids about Feb. 1st.

Factory: \$20,000. 1 sty. 45x202. So. New Jersey St. Archt., Russell N. Edwards Co., 45 Union Trust Bldg. Owner, The Reedy Elevator Co., Daniel V. Reedy, Prest., 1026 Kentucky Ave. Plans in progress. Ready for bids soon. Brick. steel sash, wood block floors. 4 ply asbestos roof.

***Church** (auditorium & gymnasium). \$40,000. Oxford St. near 10th. Archt., Honeywell & Parker, 620 State Life Bldg. Owner, Centenary Christian Church, William J. Montgomery, Pastor, 622 No. Gray St. Owner receiving bids. Brick.

Residence (rem. and addition) Moores-

ville, Ind. Archt., Layton Allen, 401 Lombard Bldg., Indpls. Owner, H. C. Searce, Mooresville. Plans in progress. Owner will build by day labor. Work will consist of adding 1 sty. top add., furnace, plumbing, electric work, hardwood floors. Frame.

Contracts Awarded.

***Apartment Building** (24 apts.) \$150,000. 1540 No. Meridian St. Archt., Donald Graham, 1128 Hume-Mansur Bldg. Owner, The Lumley Bldg. Co., % Archt. General contractor, Leslie Covin, 4140 Ruckle St. Excavating let to Jack Douglass, Court House. Start work at once. Brick.

Swimming Pool: "Douglass Park." Archt., W. Binz, Lansing, Mich. Owner, Board of Park Commissioners. General contract let to R. H. Scott & Co., 945 No. Olney St., Indpls. \$39,968.95. Plumbing, lighting and filtration plant let to J. W. & W. C. Martin, Indpls. \$15,393.00. Start work soon.

***Store** (rem) Mass. Ave. Archt., Chas. H. Byfield, 923 Peoples Bank Bldg. Owner, Chas. C. Hauger Co., 237 Mass. Ave. General contract let to Joseph Sertell, American Central Life Bldg.

Building Permits.

Factory: 1 sty. 45x100. 16th Place.

(Continued on Page 19)

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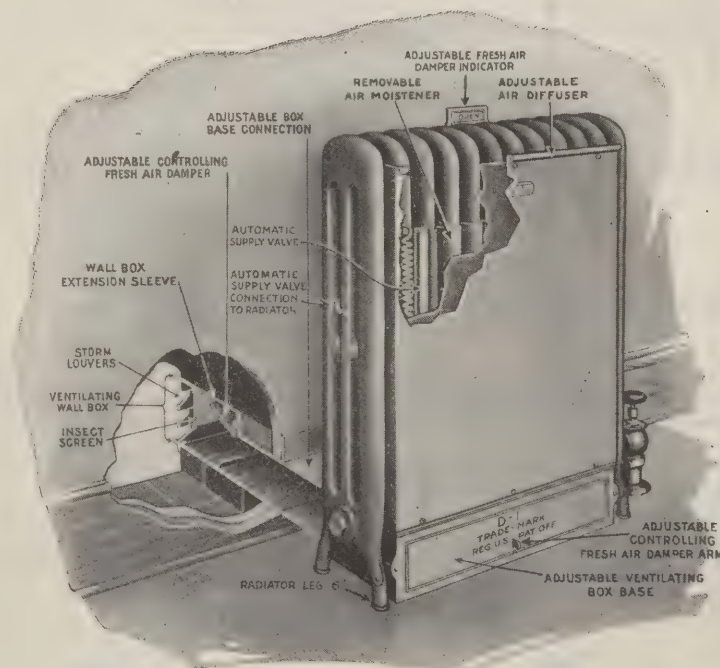
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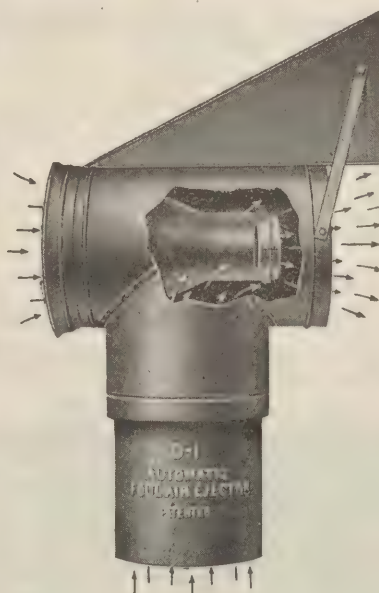
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ANDERSON.

*Bank & Office Bldg: 5 sty. & bas. 70 x 150. 10th and Meridian Sts. Archt. and Builder, Hoggson Bros., 485 Fifth Ave., New York City and Chicago, Ill. Owner, Anderson Banking Company, Jesse L. Vermillion, Prest., Miron G. Reynolds, Vice-Pres., 1001 Meridian St., Anderson, Ind. Plans in progress. Brick, stone, reinforced concrete, steel frame.

*Hotel: Archt. Wm. E. Russ, Meridian Life Bldg., Indianapolis. Owner, Stock Company, N. W. McCullough, Prest., Anderson. Owners financing, definite data later.

Contracts Awarded.

*Office Building (alt) \$7,000. Archt., E. R. Watkins, 337 Farmers Trust Bldg. Owner, Farmers Trust Bldg. (formerly Union Bldg.) Lessee, Fair Dept. Store, Chicago, Ill. General contract let to Ben Wright, Anderson.

BLOOMINGTON.

Memorial Buildings (Auditorium and Men's Bldg., \$500,000. Women's dormitory, \$250,000. Stadium, \$250,000. "University Campus," Owner, Indiana University, Memorial Committee, Wm. L. Bryan Chmn., V. H. Smith, Treas., W. A. Alexander, Secy., John W. Cravens, all of Bloomington. Owners financing. Definite data later.

*Furniture Factory & Power Plant: \$1,000,000. Archt., Engineers and Builders, H. K. Ferguson Co., Vickers Bldg., Euclid Ave., Cleveland, Ohio. Owner, Showers Brothers Furniture Co. Chas. A. Sears, Prest., Bloomington. Plans in progress. Engineers making surveys, probably start work shortly. Brick, concrete and steel, steel sash, comp. roof. Brick radial stack, 14-200 H. P. Boilers. Automatic stokers, complete power plant equipment.

Brick & Tile Plant: \$200,000. Archt., private plans. Owner and builder, Bloom-

ington Brick & Tile Co., Thomas J. Sare, Secy., Bloomington. Plans in progress. Mature about March 1st. Brick. 12-32 ft. kilns, 2 radial brick stacks, 2 150-H. P. boilers.

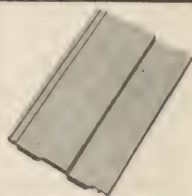
FT. WAYNE.

Lodge Building: \$75,000. 2 sty. & bas. 332 West Jefferson Street. Owner, Home Lodge No. 881 and Home Rebekah Lodge No. 817 I. O. O. F. Plans were submitted and preliminary sketches approved. Mature late winter. Brick.

*Hotel and Stores: (Hotel Keenan) 12 sty. & bas. Harrison & Washington Sts. Archt., Chas. R. Weatherhogg, Citizens Trust Bldg. Owner, The Keenan Hotel Co. James Keenan, Prest., % The Anthony Hotel, Ft. Wayne. Plans in progress. Plans will be ready for figures about Mch. 1st. Brick.

*High and Grade School: 2 sty. & bas. North Manchester, Indiana. Archt., Chas.

(Continued on Page 21)



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Contracts Awarded.

*Residence: \$25,000. 918 W. Rudisill Blvd. Archt., Perry W. Fair, 501 Bass Block. Owner, Horace Mariotte. General contractor, Brown & Young, 1614 West Main St. Foundation in. Brick & tile.

*Ventilating System (alt.) Courthouse. Archt., Chas. R. Weatherhogg, Citizens Trust Bldg. Owner, Board of County Commrs. Low bidders, Sanitary Engineering Co. & Jos. P. Martin Co., Ft. Wayne.

Residence: \$5,000. 924 Florida Drive. Owner, H. G. Schapenburg, Ft. Wayne. Owner builds. Start work shortly. Frame.

Residence: \$6,000. 2812 So. Lafayette. Owner, Martin & Gerardol, 735 Hoffman St. Owner builds. Foundation in.

GARY.

*Apartment (8) and Stores (5) \$60,000. Archt., Jos. M. LeVee, 673 Broadway. Owner, Walter Symon, 1448 Adams St. Foundation in. Ready for bids on superstructure about March 1st. Brick and hollow tile.

Residence: \$10,000. Johnson St. Owner, Frank Hartzler. Foundation in. Owner will resume work about March 1st on balance of work. Brick.

Store Building (add & rem) \$9,000. Broadway. Owner, E. Rothchild, 618 Broadway. General contract let to General Constr. Co., 477 Broadway.

HUNTINGTON.

*County Jail Building: \$85,000. 2 sty. Byron & State Sts., Huntington. Archt., Samuel Craig & Co., 721 Warren St., Huntington. Owner, Board of County Commissioners, Joseph Shideler, Auditor, Court House, Huntington. Excavation and sewers were let to Hipskind Bros., Wabash, Ind., last year. Owner will advertise for bids on superstructure in February.

*Grade School: \$75,000. 2 sty. & bas. 50x115. Warsaw, Ind. "East End School." Archt., Samuel Craig, 721 Warren St., Huntington, Ind. Mechanical Eng., Ammerman & McColl, Indianapolis. Owner, Board of Education, Flint Bash, Secy., Warsaw, Ind. Owner will advertise for bids in February. Brick.

*Parochial School: 2 sty. & bas. 86 x 182. Archt., Samuel Craig & Co., 721 Warren St. Owner, St. Mary's Catholic

Church, Rev. John F. Nolf, Pastor, 931 Jefferson St., Frank Book, Chmn. Bldg. Comm., Huntington. Plans completed. Owner expects to be ready for bids about January 15th on foundation. Superstructure will mature late winter. Brick. about March 1st on superstructure. Brick veneer.

*Grade School: (12 rooms) Archt., Elmer E. Dunlap & Co., State Life Bldg., Indianapolis. Owner, Board of Education, Huntington. Plans in progress. Mature this winter. Brick. Fireproof constr.

Grade School: 2 sty. & bas. Archt., Everitt I. Brown, Studebaker Bank Bldg., Bluffton, Ind. Owner, Board of Education, Huntington. Architect selected. Brick.

KOKOMO.

School (add) \$22,000. Butler Township, Miami county, Ind. Archt., Elmer E. Dunlap & Co., Harrison Bldg., Kokomo. Owner, Willis E. Compton, trustee, Perry, Ind., Rural Route No. 11. Plans completed. Owner will advertise for bids in February. Face brick, stone trim, fire escape, iron columns, beams, 2 rolling partitions, skylights, comp. roof, Bell system.

School: \$18,000. 1 sty. & bas. near Old

(Continued on Page 22)

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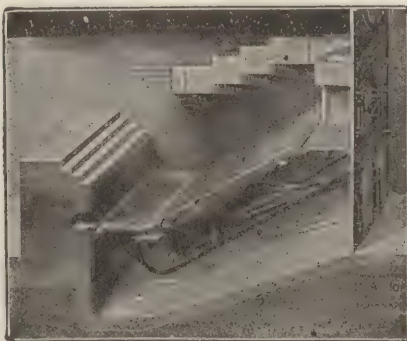
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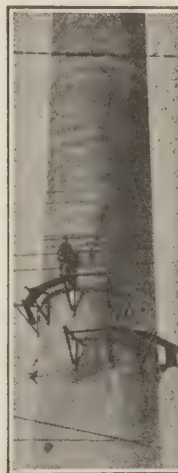
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Sante Fe, Miami county, Ind. Archt., Elmer E. Dunlap & Co., Harrison bldg., Kokomo. Owner, Willis Compton, trustee, Perry, Ind., Rural Route No. 11. Plans completed. Owner will advertise for bids in February. Brick veneer, concrete, stone trim, face brick, hollow tile, cement blocks, Spanish tile roof.

MARION.

***Church:** \$250,000. 2 sty. & bas. (seating 2,500, 40 rooms, auditorium, galleries, Sunday school rooms, gymnasium, banquet room, kitchen) Adams St., Marion. Archt., Max Dunning, Room 1210, No. 304 South Wabash Ave., Chicago, Ill. Owner, First Methodist Episcopal Church, E. M. Ellsworth, pastor, Marion. Architect selected. Preliminary plans in progress. Brick and stone.

***Grade & Junior High School:** \$300,000. 2 sty. & bas. 217x170. (20 class rooms, gymnasium, domestic science and manual depts., agricultural, special rooms and an athletic field) 35th St. East of Carey. Archt., H. G. Bowstead, 410 Glass Building. Owner, Board of Education, W. D. Moss, Prest., Willard Elkins, Treas., F. A. Priest, Marion. Plans about completed. Owner is taking bids on \$300,000 bonds to close January 18th. Owners will advertise for bids on construction soon after bonds are disposed of.

***Hotel:** 8 sty. 60x60. Archt. not selected. Owner, Stock Company, R. J. Spencer, in charge, Marion. Owners financing through the Strauss system. If finances can be arranged, project will mature late winter.

Consolidated School: \$60,000. Richland Township, Grant county, Ind. Archt., Hiram Elder, Custer Bldg., Marion. Owner, George W. Mark, Trustee, Marion, Ind., R. R. No. 10. Plans in progress. Brick, semi-fireproof constr., comp. slag roof, septic tank, steam heat, will contain auditorium and gymnasium.

Bank (rem) Archt., Hiram Elder, Custer Bldg. Owner, Farmers Trust Co., Rome T. Callender, Prest., 326 So. Washington St. Plans in progress. Work will consist of bank fixtures and mezzanine floor, and general alterations.

Schools: (new heating plant and ventilating systems) Grade schools, Elwood, Ind. \$35,000. Archt., Hiram Elder, Cus-

ter Bldg., Marion. Owner, Board of Education, Elwood. Plans in progress.

***Hotel (rem)** "Spencer House" Archt., Bert French, Iroquois Bldg. Owner, R. J. Spencer. May revise plans and take new bids in the spring. Owners financing.

Lodge Building (rem and add) \$75,000. Owner, Loyal Order of Moose, William Bressler, Ed Kline, Building Committee. Contemplated. Probably mature early spring.

MICHIGAN CITY.

***Hotel:** A new hotel to be known as The Spaulding, as a tribute to Mrs. Howard H. Spaulding, of Chicago, Ill., biggest individual contributor to the hotel. Will be built in Michigan City. Definite data later.

Residence: 1 sty. & bas. "Long Beach". Archt., Private Plans. Owner, G. T. Vail, 6th and Franklin Sts. Plans in progress. Stucco.

Contracts Awarded.

***Theater** (Fire rebuild) Stores and Offices, \$225,000. Franklin near 6th. Archt., Henry L. Newhouse, 4620 Prairie Ave., Chicago. Owner, Michigan City Theater Corp. General contractor, Henry Kohlin, 317 East 5th St., Michigan City. Work started.

RICHMOND.

***Bank Building** (add) \$150,000. 2 sty. & bas. 38x114, 7th and Main Sts., Richmond. Archt., H. H. Hiestand, Eaton, O. Asso. Archt., C. C. & E. A. Weber, Miller Bldg., Cincinnati, O. Owner, First National Bank, A. D. Gayle, Prest., Richmond. Plans completed. Owner will be ready for bids about February 1st. Brick, stone trim, comp. roof, steam heat, tile and marble work, bank fixtures.

TERRE HAUTE.

***High School:** \$80,000. Shelburn, Ind. Archt., Johnson, Miller & Miller, 30 No. 5th St., Terre Haute. Owner, Basil Thomas, Trustee, Farmersburg, Indiana. Revised plans completed. Owner will advertise for bids at once. Brick. 2 sty. & bas. Will contain auditorium, gymnasium, manual training and domestic science depts., agriculture room.

***High School** (add) \$45,000. 2 sty. 69 x 53. Farmersburg, Ind. Archt., John-

son, Miller & Miller, 30 No. 5th., St., Terre Haute. Owner, Basil Thomas, trustee. Farmersburg, Ind. Revised plans completed. Owner will advertise for bids at once. Will contain auditorium, gymnasium and class rooms. Brick.

***Residence:** \$8,000. 2 sty. & bas. 28 x 36, Jasper, Ind. Archt., Johnson, Miller & Miller, 30 No. 5th St., Terre Haute. Owner, Dr. L. A. Salb, Jasper, Ind. Owner ready for bids shortly. Brick veneer.

***Boiler House:** \$25,000. Owner, American Car & Foundry Co., 165 Broadway, New York City. General contract let to North-Raffin Constr. Co., Terre Haute Trust Bldg., Terre Haute.

VINCENNES.

Garage & Salesroom: 1 sty. 100x134. Archt., John Bayard, 320½ Main St. Owner, Buick Sales & Service Station, M. T. Johnson, Mgr. Plans in progress. Brick, reinf. concrete, steel sash, steam heat, tile floors, copper front.

Country Residence: \$45,000. 2 sty. & bas. 74x37. Near Lawrenceville, Ills. Archt., L. H. Osterhage & Byron Sutton, Citizens Trust Bldg., Vincennes. Owner, James M. Groff, Bridgeport, Ill. Archt. preparing plans, ready for bids early spring. Brick (1st flr) stucco (2nd flr) concrete, imperial tile roof, vapor heat, hardwood floors & trim, marble & tile hearths & bathrooms, 2 baths, 2 separate toilets, Porte Cochere, Terrace, front porch, sleeping porch, breakfast room, sun porch, den-living room, large stair hall, billiard room, 4 bed rooms.

Grade & High School: \$18,000. 1 sty. & bas. 82x65. Glendale, Ind., Harrison Township, Daviess County. Archt., L. H. Osterhage & Byron Sutton, Citizens Trust bldg., Vincennes. Owner, Walter G. Smoot, Trustee, Glendale, Ind. Plans in progress. Owner will advertise for bids in early spring. Brick, concrete, comp. roof, D. I. steam heat, struct. steel, pine interior trim, private water system, lighting system & sewage system will come up later.

***Grade School:** \$36,000. 2 sty. & bas. 84x50. New Laurel Grade School, Seymour, Ind. Archt., L. H. Osterhage & Byron Sutton, Citizens Trust Bldg., Vincennes, Ind. Owner, Board of Education,

(Continued on Page 23)

What's What in Indiana Building?

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Clark B. Davis, Secy., Seymour. Plans nearing completion. Owner will advertise for bids about January 20th. Brick, concrete, composition roof, D. I. steam heat, reinf. concrete corridors & stairways, struct. steel, pine interior trim.

WARREN.

City Hall: \$10,000. Archt., not selected. Owner, City of Warren, % City Clerk, Warren. Owners recently purchased site and will probably build in the spring. Frame.

*Memorial Home (add) \$40,000. 2 sty. Archt., Private Plans. Owner, Methodist Memorial Home, Rev. B. S. Hollowpeter, Huntington, Ind. General contractor, G. W. Heinzemann & Sons, Marion, Ind. Elect. wiring let to Warren Electric Co., Warren, Ind. Heating and plumbing let to Hartford Hardware Co., Hartford City, Ind. 2 sty. & bas. Brick. Start work soon.

MISCELLANEOUS CITIES.

Garrett: Ice Plant (50 ton daily capacity). Owner, Garrett Ice Co., Inc., J. I. Morrison, % The Montague Iron Works, Chicago, Ill., A. O. Brong, Albert A. Cole, A. R. Moore and Monte L. Green, all of Garrett. Archt., Private Plans. Plans in progress. Brick and concrete. Comp. roof.

*Laporte: Residence and Garage, \$50,000. Archt., Chatten & Hammond, 64 East Van Buren St., Chicago, Ill. Owner, Maurice Fox, Laporte, Ind. Plans about completed. Mature late winter. Brick and hollow tile.

*Mishawaka: Bank Building, 2 sty. & bas. 33x140. Archt., K. M. Vitzthum & Co., 21 East Van Buren St., Chicago, Ill. Owner, Merchants & Farmers Trust Co., John Herzog, Prest., Mishawaka, Ind. Archt. receiving bids to close shortly. Brick. Reinf. concrete floor and roof constr.

Contracts Awarded.

*Hartford City: Memorial Hospital, \$80,000. Archt., E. Hill Turnock, 501 Monger Bldg., Elkhart. Owner, Board of Trustees, Memorial Hospital, Hartford City, Ind. General contractor, G. W. Heinzmann & Son, Marion, Ind. Steel let to Hetherington & Berner, Indianapolis. General contractor desires bids on metal trim, and mosaic lobby 8x16 feet. Foundation in.

ROADS—BIDS WANTED.

Indianapolis: January 26, 1922, at ten a. m., by Commissioners of Marion county, at Indianapolis, Ind., for the construction of one concrete road and four bridges. Charles F. Hessong et al., road on Northwestern avenue, at an estimated cost of \$243,029, under the County Unit road law. Washington Township Bridge No. 571, Station 11, Charles F. Hessong

road, estimated cost \$15,575.00; Pike Township Bridge No. 672, Station 149, Charles F. Hessong et al., road, estimated cost \$5,525.00; Pike Township Bridge No. 673, Station 162, Charles F. Hessong et al., road, estimated cost \$9,375.00; Pike Township Bridge No. 674, Station 181, Charles F. Hessong et al., road, estimated cost \$2,975.00. As on specifications. Leo K. Fesler, auditor.

Evansville: January 26, 1922, at ten a. m., by Commissioners of Vanderburgh county, at Evansville, Indiana, for the construction of a rock road in Knight township, to be known as the Ross Avenue and Diamond Avenue road; petitioned for by August Willenberg et al. The estimated cost of said road is \$19,571. Willis M. Copeland, auditor.

Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field. Copy should reach us, at the latest, Wednesday of the week of publication.

ASYLUM BUILDINGS.

NOTICE TO BIDDERS.

Bids will be received by the Board of Trustees at the office of Herbert Foltz, Architect, 845 Lemcke Annex, Indianapolis, Indiana, until 2 o'clock P. M., of Tuesday, January 31, 1922, for the construction of and the power, heating, plumbing and electric generating and wiring installations in, to and between fourteen buildings for the Female Group for the Indiana Village for Epileptics, near New Castle, Indiana, in accordance with the drawings, the specifications, and all contract documents therein referred to and attached, which drawings and specifications will be on file at the Architect's office on and after Tuesday, January 10, 1922.

Proposals to be entitled to consideration must be made in accordance with the following instructions:

(a) Proposals shall be made according to the form attached to the specifications and each shall be delivered in a sealed envelope addressed to Dr. Wilmer Christian, President of the Board of Trustees, marked "Proposal," bearing the title of the work and the name of the bidder.

(b) All signatures shall be in long-hand; all blank spaces fully filled in; the completed form shall be without interlineations, alternations or erasure.

(c) Proposals will be considered singly or in any combination on the following branches of work: (1) General Construction; (2) Steam Heating inside Buildings; (3) Power House Equipment and Underground Steam Distribution; (4) Electrical Generating Equipment in Power House; (5) Electrical Distribution and Telephone Systems; (6) Electric Wiring and Fixtures inside Buildings; (7) Plumbing; (8) Tile Sewers and Manholes; (9) Water Supply and Distribution.

(d) Each proposal must be accompanied by a certified check payable to the Board of Trustees in a sum equal to

three per cent (3%) of the amount of the proposal, in accordance with conditions included in the Proposal Form, which check shall be forfeited in case of failure of any bidder to enter into a contract within eight (8) days after notification of acceptance of his proposal.

(e) The competency and responsibility of bidders will be considered in making the award. The Board of Trustees is not obligated to accept the lowest or any other bid submitted, but reserves the right to accept any proposal or to reject any or all proposals.

(f) A deposit of Fifteen Dollars (\$15.00) will be required of prospective bidders for each set of drawings and specifications taken from the architect's office, which amount will be refunded in full in case the following two conditions are complied with, viz: (1) The return of the drawings and specifications to the Architect within ten days from the date of their leaving his office and (2) The delivery to the Board of Trustees of a bona fide proposal at the time and place fixed for receiving bids. Should the bidder fail in the observance of either of these conditions, he shall be entitled to a refund of Ten Dollars (\$10.00); should he fail in the observance of both conditions he shall forfeit the full amount of his deposit. A charge of Five Dollars (\$5.00) will be made for the use of the drawings and specifications beyond the ten day period allotted to each bidder. All refunds shall be conditional upon the return of the drawings and specifications complete and in good order to the office of the Architect.

(g) Requests from sub-contractors for drawings and specifications should be made to bidders on the major contracts, as the Architect does not undertake to furnish drawings and specifications to sub-bidders unless sets should become available for this purpose after the demands of general contractors have been met.

(h) Each bidder shall either stamp or mark his name on the back of the drawings and the cover of the specifications used by him in preparing his proposal.

(i) It is not the intention to award separate contracts for the construction of single buildings in the Female Group or installations therein, unit proposals being desired as a basis for ascertaining the completed cost of each structure, to facilitate the preparation of estimates during construction, and to permit the elimination of any building and its installations from the contract should it be found necessary or desirable so to do. It is the intention to have only a single contractor for all general construction work and one contractor for each respective branch of work or combination of branches covered by the several installations in this group.

By order of the Board of Trustees.

H. C. SCEARCE, Secretary.
Jan. 7-14, 1922.

WANTED.

ARCHITECTURAL DRAFTSMAN of several years experience capable of making complete working drawings from sketches. State salary, experience, etc. in first letter. Address A-12 Indiana Construction Recorder, 312 East Market Street, Indianapolis, Indiana.

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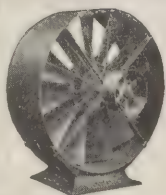
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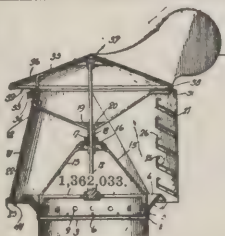
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INDIANAPOLIS

Official Paper

Indiana Society of Architects

Office of the Secretary
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Indianapolis, Ind.

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SOCIETY DIRECTORS TO MEET SATURDAY, JAN. 14.

The next regular meeting of the board of directors of the Society will be held at the Lincoln Hotel, Indianapolis, Saturday, Jan. 14th, and should be an interesting affair as there are several important matters to be taken up for consideration. The board members, fully realizing that the prospects for building the coming season are most promising, are anxious for the Society to be in a position to take an active part in forward movements of all kinds that will lend encouragement to a general revival of building construction, to take a hand in civic moves for improvements, and to co-operate with other building interests for the advancement of the building industry.

Among other things to be taken up at the approaching meeting will be the report of the Public Action Committee on what is being done by the employers and employees to effect satisfactory working conditions for the season of 1922-23. This is a new venture on the part of the Society which is to hereafter interest itself in and familiarize itself with the labor situation, so as to be able to offer its aid should the necessity arise.

Further consideration is also to be given to the matter of where public work is concerned. A committee from the society has been working with the State Board of Accounts for some months in this matter, and while certain features have been definitely decided upon there are still several points at issue.

ARCHITECTURE HAS BIG INFLUENCE FOR GOOD ON MORALS OF A COMMUNITY.

The effect of their surroundings upon people has, within the last few years been more and more elaborately developed until there now exists a well defined group of people who contend that environment is a greater force in individual, and hence group, culture than those in-

herited instincts that form the basis of education. Whichever be the greater, it is true that surroundings produce a subtle influence for good or ill according to their worth.

Architects more than any other group, may be influential in creating surroundings that, in their effect, will be wholesome and salutary. While it is undoubtedly true that the client who draws the purse strings must be pleased it is also true that wholesomeness is not dependent on large expenditures. Many clients require only the stimulation of an architect's enthusiasm for his ideals to see their justice, especially when they are not costly.

Many of the Indiana Architects are more than beautifying the many parts of the state. Each home or group of homes and the many new commercial and industrial buildings built in this state have been monuments of beauty and an asset of importance to the locality in which they have been built. In the instances where clients are obdurate, a dignified publicity is helpful. Discussion, publicity and emphasis of the ideal, is what is desired.

ASSIGNS EACH TO HIS PLACE.

In speaking before a gathering of Illinois contractors on the subject of "The Architect and the Builder," Mr. F. E. Davidson, president of the Illinois Society of Architects, said, in part: "I know of no reason why the architect should be named first in the subject assigned to me unless it be that general building stagnation hits the architect first and possibly the hardest; although when a man is knocked out, it is little solace to him to know that the other fellow is groggy and hanging over the ropes. Indeed, a knockout to either the architect or the builder is a knockout to both.

"In the topic assigned me, that of 'the architect and the builder' the 'and' is significant for many reasons.

"First—It is significant that we of the architectural profession and of the building business have begun to see sufficiently far to appreciate that the title and the problem is not 'architect' and 'builder'; that one is not synonymous with the other; that one is not and can not be the other. Architecture is a profession and

is the most complex, intricate and difficult profession in the world. Architecture is also the most ancient as well as the most important to civilization. The successful architect has devoted years to the study of his art, to the mastering of the many branches of engineering involved, to the study of commercial law, to the problems of business administration, and the services which he renders his client are professional.

"The builder on the other hand is concerned chiefly with the business problems of construction, and what he may know about commercial law, what he may have learned about art or any of the other subjects which must be at the finger ends of every architect, are only incidental to his work as a builder.

"As society is now organized, it requires the architect and the builder to produce the finished structure. Just as 1 and 1 equals 2, so does it require the team play of the two interests for the best interests of each other, the owner and for the public good."

NEW ARCHITECTURAL PARTNERSHIP AT INDIANAPOLIS

Architects Merritt Harrison and L. A. Turnock, Indianapolis, have formed an architectural partnership, the offices to be continued at Mr. Harrison's former address, 500 Board of Trade Bldg.

Architect Harrison, a graduate of Cornell University, Class of 1911, has been identified with Indianapolis architectural circles almost continuously since that time, having been engaged in independent practice for the last five years.

Mr. Turnock graduated from Illinois University in 1913 and was associated with his father, Mr. E. Hill Turnock, at Elkhart, Ind., up to the time he entered service in the war. He was commissioned a First Lieutenant, and attached to the Construction Quartermaster's Division of the 13th Provisional Division, where he supervised the construction of a hospital consisting of 16 units. At the close of the War he returned to Elkhart resuming practice with his father, and in March, 1921, went to Indianapolis and became associated with Mr. Harrison, this association terminating in the partnership which has just been announced. The new firm now is working on plans for a 15 story office building at Detroit, Mich.

Official Paper

Building Trades Employers Ass'n OF THE CALUMET DISTRICT

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If You are Contemplating any kind of Construction Work, you should Communicate with
General Office for Information

MEETING NIGHTS

General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.

STRONG FOR CITIZENS COMMITTEE.

Thursday evening, December 29th, a meeting was held at the Chamber of Commerce rooms in Hammond, which we believe will result in bringing about conditions in the Calumet District that will be of great benefit to the building industry of the district. Letters were sent out by the committee appointed by the different civic bodies calling the meeting for the purpose of getting the sentiment of the public regarding the organizing of a Citizens' Committee similar to the committee in Chicago which was organized to enforce the Landis Wage Award. F. W. Armstrong, General Manager and Thos. E. Donnelly, Chairman of the Chicago Committee were present and gave a very interesting talk on why and how the committee was formed and what had been accomplished. There was a very good turn out of representative men, including several representatives of the building trades, to hear what the visitors had to say. At the close of Mr. Armstrong's remarks a motion was made and carried instructing the Calumet District committee to pro-

ceed with the formation of a Citizens' Committee to represent the public in an endeavor to get a satisfactory adjustment of the present difficulties in the building industry, so that building, of which the city is so much in need, could proceed without fear of interruption. After the close of the meeting the committees went into executive session with Messrs. Armstrong and Donnelly to formulate plans for the guidance of the local committee, in the work to be done. We feel sure of the ultimate success of the undertaking.

RUBBING IT IN.

John Gohman was somewhat surprised Thursday when he received a claim for \$30.00 damage inflicted on the claimant's car when it was damaged on Western Avenue in Chicago by Gohman's car driven by the parties who had stolen it that evening from his garage.

ALL SET.

Virgil Walls has succeeded in getting together a crew of first class journeymen plasterers and is now prepared to take care of all contractors' plastering on the open shop basis. Sure it can be done if you make up your mind to do it.

PICKING THEM OFF.

Rufus Danner was awarded the contract for the erection of a \$10,000 residence on the south side.

GETTING UP IN THE AIR.

Matt Lavene has the brick work story high on the Caledrone job on Hohman street.

THE ROOFERS FAILED TO FALL THIS TIME.

The Business Agent from the Building Trades Council tried to pull the roofers off Charley Rhoads job on Highland street, Tuesday, but they said, "Nothing doing."

WHAT WERE THEY DRINKING?

Several large flocks of wild geese were seen going north Friday, which the old timers say is a sure sign of spring. We are afraid the old timers and the geese will get fooled.

RESOLUTION ADOPTED.

A noted astronomer has discovered that the moon is losing time and the days are getting longer at the rate of one minute in a thousand years and eventually there will be no night. But we have resolved not to let it add to our worries.

E. E. COLE.

CALUMET DISTRICT

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125,000 PEOPLE. 205 MANUFACTURING INDUSTRIES

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More Home Owners Than Found in Any Other District of Like Size

Official Paper

Associated Building Contractors of Indiana

A. J. HOFFMAN, President
Evansville

C. C. PIERSON, Secretary
Indianapolis

ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller President
Chas. Scarborough Secretary

327 Sycamore Street
Phone 536

EVERYTHING READY FOR ANNUAL CONVENTION OF A. B. C. OF INDIANA.

The Associated Building Contractors of Indiana announce that the Fourth Annual Convention of the organization will be held at the Chamber of Commerce Rooms, Old State Bank Building, Evansville, Tuesday and Wednesday, January 24th and 25th.

This convention will be a meeting of business men of the Indiana building contracting fraternity to discuss business matters as they pertain to their industry. That great good may accrue to the benefit of the Indiana contractors as a result of this gathering they are asked to lay aside their business routine for a couple of days, journey to Evansville and aid in the discussions that are to be indulged in for the purpose of threshing out intricacies that have had a tendency to impede contracting affairs and building construction affairs in general.

Among the matters to be taken up for consideration will be, Working Agreements, Wage Scales, Apprentice Question, Revision of the Constitution and By-Laws, and such other matters as affect the Indiana building industry.

It is the hope of the officers and executive board to make this the most important meeting ever held by Indiana contractors. It will be inspired by the atmosphere of "get-together" that all may appreciate the common, mutual interest that every contractor has, or should have, in working to the betterment of working conditions and influences, and the advancement of the industry for the general good of all Indiana builders.

On Tuesday evening, Jan. 24th, those attending the convention will again be the guests of the Builders and Manufacturers Mutual Casualty Co., of Chicago, at a banquet to be given at the McCurdy Hotel.

The headquarters of the A. B. C., of Indiana, during the convention, will be at the McCurdy Hotel.

Let "On To Evansville" be the slogan of Indiana contractors for the next few weeks.

ANOTHER THOUGHT FOR CONTRACTORS TO WEIGH.

There is a lot said about concentration these days.

Now that the new year is here, why would it not be a good thing for the contractors to devote a little attention to concentration? It might help things a bit.

As matters have been going, the average contractor goes along sort of care-free and easy, apparently oblivious to really important things that have a bearing on his business. These really important things keep growing. Then, all of a sudden, the influence they exert falls like a ton of brick on the contractors and they rush into the association and yell for help, though for weeks they have neglected to lend their aid to the efforts of the association.

Indiana contractors! Why not concentrate more on the influences that mean so much to your business welfare? Inconsequential? Seemingly so, and yet many are the times that they have developed into menaces to throw you into a quandry because you refused to be bothered by them when the going was easy.

FT. WAYNE

BUILDERS' EXCHANGE
Member State A. B. C.

Max Irmscher President
Eph Dailey Secretary
825 Calhoun St.

Phone 2001

ALL FT. WAYNE BUILDING RECORDS SMASHED BY 1921.

Though building conditions in Ft. Wayne in 1921 were far from propitious, nevertheless, a record for building construction was established for this territory. During the twelve months just ended there were 1529 permits issued for a total estimated valuation of \$4,799,756. This was far and away in excess of the 1920 totals when 894 permits

were granted for a total of \$2,929,942. January with estimated costs of \$93,325 was the leanest month, while November, with \$1,178,760 was the banner building period of the year.

DECEMBER ADDED NICELY TO BUILDING VOLUME.

Once more referring to building activities in Ft. Wayne, it is gratifying to be able to report that the records of the city building inspector's office show that building operations in December, held up well considering the lateness of the season. When compared with the December, 1920, figures this December's totals show a substantial increase both in the number of permits issued and the money involved.

These are the figures just issued by Inspector Gustave Lindeman:

December, 1921—No. permits, 78; estimated valuations, \$279,370.

December, 1920—No. permits, 38; estimated valuations, \$95,169.

Gain in permits, 95 percent. Gain in estimated valuations, 193-[-] percent.

ODD FELLOWS TO BUILD.

Plans for the new I. O. O. F. lodge building, to be erected at 332 W. Jefferson street, have been submitted to the building committee for approval. The plans call for a two-story building to cost \$75,000. Work on the project will be started in the spring.

NEW BUILDING INSPECTOR.

Herman Korte, the new inspector at the city building inspection department has assumed his duties at the city hall.

FIRE LOSSES REDUCED IN 1921

It is interesting to note in the annual report of the fire department for 1921, shows that the greatest number of fires in Ft. Wayne during the year were due to a combination of sparks and wooden shingles causing 251 roof blazes or about one third of all the fires in Ft. Wayne in 1921. Fifty-eight fires were attributed to defective electric wiring, making this item second in the list of contributory causes.

While there was a slight increase in the number of alarms in 1921 over 1920 the losses were less than one-third of the total loss in 1920.

INDIANAPOLIS

Building Contractor's Association
Member State A. B. C.

T. B. Hatfield.....President
C. C. Pierson.....Secretary

5th Floor Chamber of Commerce
Phone Main 0535

MEETINGS.

Executive Committee meets second Tuesday each month.

General Contractors meet second Friday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

Brick Mason Contractors meet every Thursday.

ANNUAL ELECTION MONDAY.

The nominating committee of the Building Contractors Association, realizing that the prospects for a good building year be ahead and no chances must be taken on impairing those prospects, have sought to officer the organization strongly for 1922. There are bound to be dangerous situations to be met within the next twelve months and tact and diplomacy will be needed to keep things on an even keel.

After mature deliberation the nominating committee has named this ticket to be ballotted on at the regular annual election, Monday, January 9th:

President—Fred W. Jungclaus.

First Vice-Prest.—Robert Berner.

Second Vice-Prest.—William Carper.

Third Vice-Prest.—G. C. Wege.

Fourth Vice-Prest.—J. E. Hall.

Treasurer—W. W. Wise.

The election will be held at the Association headquarters, 509 Chamber of Commerce Bldg., on the above date. The polls will be open from 11 a. m., to 2 p. m.

BUILDING STATISTICS SHOW BIG GAINS FOR DECEMBER AND ENTIRE YEAR.

The report issued by City Building Inspector Walter B. Stern, Jan. 1st, was satisfactory all the way round. It not only took into consideration the building activities for the month of December this year and last, but also included the figures for the years of 1921 and 1920 setting forth big gains both for the month and the year. Not only that but December, just past, even outstripped November of this year—to the extent of \$791,785.

There were 488 permits, for an estimated valuation of \$1,863,104, issued in December, 1921, while in December, 1920, there were but 350 permits issued with a total estimated valuation of \$414,650.

As for the entire twelve months in

1921 the records show these figures: permits issued, 10,135, estimated valuation, \$18,328,965; during the same period in 1920 there were 7,640 permits issued for an estimated valuation of \$15,284,119. This means a gain, in building activity in 1921 over 1920, of 45 per cent with a gain of 19 per cent in the money involved.

CONSTITUTIONAL CHANGES PUT UP TO A. B. C. MEMBERS.

The present constitution and by-laws of the Associated Building Contractors of Indiana was written and adopted when the association was young and the membership small with but little thought as to future requirements. These articles were fully adequate to the needs of the association at that time and for some period afterward. However, the original organization, a mere handful of men, has grown far beyond the fondest hopes of the original coterie of contractors and new requirements have arisen.

There is a vast field for the expansion of the activities of this association which can only be properly accomplished by a more comprehensive Constitution and By-Laws revised so that it will be applicable to changed conditions of the day.

Copies of the completely revised Constitution and By-Laws have been sent out to the various subsidiary city contractors' associations for perusal and consideration that they may be carefully studied so that the delegates to the convention at Evansville may be thoroughly familiar with the proposed revisions, and be in a position to approve or disapprove the proposition when it is brought up for final action.

ALL DOWN THE LINE.

Who's who?

That building construction activity may be kept up, everything depends on conditions.

The prospective owner needs favorable conditions or he can't afford to build.

If the owner is not inclined to build the architects have no work.

If the architects have nothing to be figured or to be built the contractors are "out-of-luck."

If the contractors have no work there is no employment for the craftsmen.

If the craftsmen, through their efforts, are not consuming the output of the material supply men there is no business for the latter.

When the building fraternity, any part of it, fails to realize the mutuality at stake, when it fails to take into consideration its responsibility for favorable conditions, a cog slips and there is going to be trouble ahead, not for one, but for the whole crowd.

MUNCIE

Associated Building Contractors
Member State A. B. C.

Chas. RowePresident
J. A. Gallivan.....Secretary

314 Main Street

BIG BUILDING PROGRAM**EXPECTED AT MUNCIE**

The new year has dawned brightly for the building contracting fraternity of Muncie and unless things go mighty much amiss there should be a nice lot of business in 1922 for those who devote their efforts to construction work. There has never been a time when the prospects for future building were brighter in the local field.

It is still too early to get a line on what may be expected along the lines of residential building, but there are any number of good sized semi-public and public projects that bear every indication of maturing in the early spring. Approximately there is \$1,500,000 worth of work upon which local architects are engaged and the chances are that contracts for these projects will be let as soon as the new building season opens up.

CARPENTERS' AND CONTRACTORS' COMMITTEES MEET.

A special committee from the Carpenters' Union met this week with a committee appointed by the Muncie A. B. C., to talk over the labor situation and the question of wages for the coming year. Both the contractors and the carpenters are anxious to get the wage angle adjusted before the season opens so that there may be no delays when work does begin to crop out.

OLD BUSINESS PRACTICALLY CLEANED UP.

Now that winter has arrived the contractors have just about cleaned up all their work for the year and there will be no hang-overs to interfere with a new start this spring. Joseph Snyder and Fred Illingsworth have finished the plastering and are ready for the interior trim on the grade school they have been erecting; Charles Morrow is putting on the finishing touches at the Lincoln School in addition to having completed the new High School building; nice progress has been made on the new Elks Temple and the chances are that this building will be enclosed and finished up before spring. Taken all in all the year just closed was not such a bad one after all for Muncie contractors.

INDIANA CONSTRUCTION RECORDER

FOR
ARCHITECT
ENGINEER

Devoted to the
Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

VOL. III

INDIANAPOLIS, INDIANA, JANUARY 14, 1922

No. 41

INDIANA CONSTRUCTION RECORDER

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A. B. C. CONVENTION HOLDS MUCH FOR INDIANA CONTRACTORS.

The Fourth Annual Convention of the Associated Building Contractors of Indiana at Evansville, Jan. 24 and 25, undoubtedly will be the most important gathering the contractors of Indiana have ever held. It comes at a time when every effort is being made to inject stability into the building construction industry that building operations in 1922 may live up to, or be given a chance to live up to, the promise that is held forth by indications. It will mark another milestone in the progress of the state association, an association that was formed by a small coterie of enthusiastic contractors back in 1918 who then little realized the wonderful strides their efforts would develop into in four years time and the big field of endeavor that the future would hold forth to the organization. With but few exceptions the original members are still affiliated with the A. B. C.'s of Indiana, acknowledged by outsiders to be one of the best and foremost of any state contractors' association in the country.

Wherever possible the members of the State Association should bend every effort to attend the Evansville convention.

The Evansville A. B. C.'s, is composed of an energetic set of building men who since the inauguration of their local association have frequently demonstrated their ability to cope successfully with annoying situations through their willingness to co-operate with each other and they appreciate the honor that was conferred upon them when the annual convention was assigned to Evansville. Those who journey to the metropolis of "The Pocket" may be assured that the annual contractors' convention will not only be a memorable and enjoyable affair to themselves personally but that it will

also be one of vast importance to the future growth and expansion of the entire organization. This gathering will bring Indiana contractors closer to their colleagues in the various sections of the state, expand acquaintanceships and inspire an increased co-operation that greater advancement and good may come to the building contracting industry. This event will give the Indiana contractors the opportunity of meeting face to face, of knowing just who is who, what has been accomplished and what is in contemplation.

That there is a desire for co-operation amongst the builders of Indiana has been demonstrated clearly in the past and not only that but it has been put into practice successfully. However, there is room for greater co-operation, a closer affiliation between the state association and the local city associations, and also between the city associations themselves one with the other. It is to bring these things about that the state convention is held for it is through this channel that the opportunity is afforded for paving the way to greater efforts in seeking to advance the common good of all those engaged in the building contracting business and the building industry in its entirety.

BUILDING SUPPLY DEALERS TO MEET AT INDIANAPOLIS, JAN. 16 AND 17.

There will be a big gathering of building supply men in Indianapolis the coming week when the Indiana Builders Supply Association holds its fifth annual convention at the Claypool Hotel, Jan. 16th and 17th. There are about 400 dealers in the state and a large proportion of these are expected to attend.

A directors' meeting will be held at 10:30 a. m., Monday and the convention proper will get underway at 2 p. m., when reports of the officers will be read. During the afternoon there will be addresses by these men: Address of Welcome, Arthur E. Bradshaw, Indianapolis, Prest. National Builders Supply Assn., E. T. Sturtevant, Secy., Hollow Building Tile Assn., E. O. Fippin, Genl. Mgr., National Lime Assn. At 7 P. M. there will be a dinner for the Board of Directors and District Officers at the Columbia Club.

The session Tuesday morning will consist of reports by the various committees, and talks by W. D. Gerber, Engineer, Clay Products Assn., Leslie Allen, of the Cement Products Division of the Portland Cement Assn. Further reports of committees will be made at the afternoon meeting together with addresses from Burt T. Wheeler, Prest.,

Kimbell-Wheeler Brick Co., and Alfred T. Martin, Atty., "The Banker and Business." Then will follow the report of the nominating committee and the annual election of officers.

The convention will be topped off Tuesday with a banquet in the Riley Room, Claypool Hotel, at 6:30 P. M. Speakers at the banquet will be Walter O'Keefe, Notre Dame University, Monologue; Judge Charles Orbison, Indianapolis, and Colonel Bullock, Chicago.

INTERESTING PROGRAM ARRANGED FOR ENGINEERS' CONVENTION.

While the building supply men and lumber interests of the state are holding their annual sessions at Indianapolis the Indiana engineers, members of the Indiana Engineering Society, will, the latter part of the week, gather at Lafayette where they will hold their regular yearly meeting at the Electrical Building, Purdue University, Jan. 19th and 20th.

This will be the forty-third annual convention of the society and quite an elaborate program, covering the various phases of engineering practice, has been arranged for the occasion. In addition to the regular addresses there will be general discussions and round table talks. Thursday evening at 8 p. m. there will be a smoker and special entertainment for the delegates at the Lincoln Club. Then on Friday at 6:30 p. m. the convention will be brought to a close with a dinner at the Lahr House.

LUMBERMEN TO GATHER IN INDIANAPOLIS.

Still another very important meeting having to do with the building industry will occur at the Claypool Hotel, Indianapolis, next week, Jan. 18 and 19, the occasion being the regular annual meeting of the Indiana Retail Lumber Dealers' Association. This is the big event of the year among Indiana lumbermen and they are preparing to come in in goodly numbers. The attendance at these meetings averages about five hundred and the discussions cover a broad scope taking in all phases of the retail lumber business as it pertains to the Indiana field.

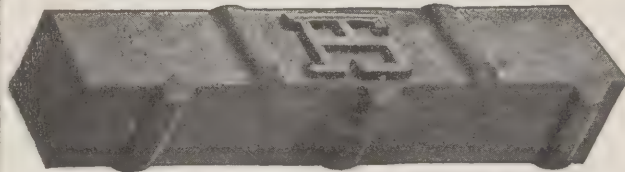
The convention will cover a two day period and close with a banquet Thursday evening. George Osterhage, Vincennes, and C. D. Root, Crown Point, are president and secretary respectively of the association.

Following the retail lumbermen's convention, the Indiana Hardwood Lumbermen's Association will meet at the Claypool Hotel, January 20th.

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News of the Week

The asterisk (*) prefix to an item indicates additional information to report published in previous issue.

INDIANAPOLIS

Arch't., Mac Turner, Ruff Bldg. Owner, Wm. Kuhn, 403 State St. Plans in progress. Brick.

Store Building: \$30,000. 2 sty. & bas. Arch't., Mac Turner, Ruff Bldg. Owner, Louis Roth, % Arch't. Plans in progress. Mature early in February. Brick.

Offices & Stores: \$25,000. Whiting, Ind. Arch't., Mac Turner, Rux Bldg., Hammond. Owner, P. D. Sullivan, 603 119 St., Whiting. Plans about completed, ready for bids shortly.

Residence: \$15,000. Arch't., Mac Turner, Ruff Bldg. Owner, Dr. Benjamin W. Chidlaw, Hammond. Plans in progress.

Store Building & Residence: \$16,000.

Warehouse: 2 sty. & bas. 80x200. Mon-on R. R. and 23d St. Arch't., D. A. Bohlen & Son, 1001 Majestic Bldg. Owner, Taggart Baking Co., Alexander L. Taggart, Prest., 333 East Market St. Preliminary plans in progress. Brick.

***Parochial School:** 2 sty. & bas. 65x100. Beech Grove, Ind., Marion county. Arch't. Elmer E. Dunlap & Co., State Life Bldg., Indpls. Owner, Rev. Peter Killian, Pastor, Catholic congregation, Beech Grove. General contractor, Agit Sahm, Five Points, Ind. (mail Indpls.) On foundation.

Armory: Kokomo, Ind. \$40,000. 2 sty. 177x60. Arch't., Elmer E. Dunlap & Co., Harrison Bldg., Kokomo. Owner, State Armory Board, State House, Indpls. Receiving bids to close January 18th. Brick and steel.

Turbine Building: \$42,000. 1 sty. 63 x 90. West and Kentucky Ave. Arch't., private plans. Owner, Indianapolis Light & Heat Co., Monument Place. Owner will build by day labor. Brick.

Business Building: \$50,000. 1 sty. 120 x 190. 740 No. Meridian St. Arch't., Private plans. Owner, Harry C. Stutz, 848 No. Meridian St. Start work soon. Brick.

Residence (double) \$7,500. 1801 W. Morris. Owner, Owen Quigley, 1801 West Morris. Owner will build by day labor. Brick veneer and stucco.

Residence: \$6,500. 4450 Central. Owner, M. M. Andrews, 3055 No. Meridian. Owner builds. Brick veneer and frame.

Contracts Awarded.

Warehouse: \$800,000. 8 sty. & bas. N. W. Corner of Illinois & South Sts. Arch't., Fermor S. Cannon, 21 Virginia Ave. Owner, The Postal Station Building Co., Raymond Brown, Prest., 1033 No. Meridian, Dick Miller, V. P. % City Trust Co., Milton Kelly, Secy., % City Trust Co. Lessee of 2 floors for parcel post department.

U. S. Government, Washington, D. C. General contract awarded on percentage basis to the Hall Construction Co., Board of Trade Building, Indpls. Plans about completed. Start work in 30 days. Reinf. concrete, electric elevators, steel sash, concrete floors, comp. roof, steam heat.

CROWN POINT.

Sanitarium, Power Plant & Theater: \$400,000. Arch't., J. N. Coleman, 3251 St. Lawrence Ave., Chicago, Ill. Asso. Arch't., Nat. L. Smith, Crown Point. Owner, Board of County Commrs., George M. Foland, Auditor, Crown Point. Plans completed and bonds were disposed of. Owner will advertise for bids shortly. Brick.

School (High & Grade) alt. & rem. \$30,000. Wheeler, Ind. Arch't., C. E. Hendricks, Gary, Ind. Asso. Arch't., Nat. L. Smith, Crown Point. Owner, Board of Education, Wheeler, Ind. Plans in progress. Work will consist of new brick front, comp. roof, fire escape, heating system, private water system, maple floors.

Apartment & Store: 2 apts. & 1 store. Arch't., Nat. L. Smith, Crown Point. Owner, William Steeb, Crown Point. Plans in progress. Brick, 2 sty. 50x90.

***Hotel:** \$100,000. 2 sty. & bas. 58x160. Arch't., Nat. L. Smith. Owner, A. C. Grove, % Arch't. Plans in progress. Brick, terra cotta front, comp. roof, steam heat.

EVANSVILLE.

School (add) Jackson Township, Spencer County, Ind., at Gentryville. Arch't., Clifford Shopbell & Co., Furniture Bldg., Evansville. Owner, G. W. Harris, trustee, Gentryville, Ind. Plans completed. Owner will advertise for bids soon. Brick, stone trim, rolling partitions, 4 ply asbestos built-up roof.

Contracts Awarded.

Fabricating Plant: 1 sty. 100x200. Division and Kerth Ave. Owner, Evansville Structural Supply Co. Start work soon.

***Residence:** \$30,000. Hart Place. Owner, Fred Weber, % International Iron & Steel Co. General contract let to Jacob Bippus & Son.

***Ice Plant (rem. & add.)** and new equipt. Owner, F. W. Cook Co. General contract let to Christ Kanzler, Furniture Bldg., Evansville.

Store (rem.) 3d and Main. Owner, The Cleveland Insurance Co. Lessee, Kenilworth Gift Shop. General contract let to Jacob Bippus & Son.

FRANKFORT.

***Memorial Hospital:** \$125,000. 2 sty. & bas. Arch't., Rodney Leonard, Peoples Life Bldg., Frankfort. Owner, Board of County Commrs., Edward Spray, Auditor, Frankfort, Board of Trustees, Frank Coulter and Mose Epstein, Frankfort. Owner receiving bids to close Feb. 23 at 10 a. m.

Garage & Livery: \$20,000. 2 sty. Wash. & Columbia Sts. Arch't., Rodney Leonard, Peoples Life Bldg. Owner, C. K. Smith, Frankfort. Plans in progress. Stucco or brick, steam heat, radiation only, electric elevator, concrete floor, steel sash.

FT. WAYNE.

Insurance Building: \$300,000. Arch't., name withheld for present. Owner, Lincoln Life Insurance Co., S. M. Foster, Prest., Walter T. Shepherd, V. P., Lincoln Life Bldg., Ft. Wayne. Preliminary plans. Details undecided. Definite data later.

Office Building: \$75,000. 2 sty. & bas. Arch't., private plans. Owner, The Wayne Oil Tank & Pump Co., W. M. Griffin, Prest., H. C. Berghoff, V. P., R. F. Diserens, General Manager, Canal and Nickel Plate R. R. Plans in progress. Owner will be ready for bids in February. Brick and reinf. concrete.

Apartment Building: (4 apts.) \$20,000. 2 sty. 42x70. Arch't., A. M. Strauss, 701 Shoaff Bldg. Owner, Henry Frosh, 1029 West Washington Boulevard. Plans in progress. Brick veneer and frame, hardwood floors, incinerators, vapor heat, shingle roof.

Commercial Building (alt. & add.) \$20,000. 3 sty. 45x132. Wabash, Ind. Arch't., A. M. Strauss, 701 Shoaff Building, Ft. Wayne. Owner, M. C. Honeywell, Wabash, Ind. Plans in progress. Work will consist of new brick front, electric passenger elevator, copper set store front, maple floors, stone trim.

Residence (add. & alt.) & garage: 2 sty. 30x40. Arch't., Perry W. Fair, Bass Block. Owner, John A. Rheinhart, 726 Washington Blvd. Plans in progress. Brick veneer & frame, steam heat, boiler, and general alterations.

Stadium & Athletic Field: So. Side High School. Arch't., Griffith & Goodrich, 211 East Berry. Owner, Board of Education, H. J. Bowerfind, Secy. Plans completed. 587x60. Oval shape, concrete, steel flag pole, iron gates.

Sanitary sewer: \$70,000. 8 to 15" vitrified sewer. Engineer, A. K. Hofer, 509 Bass Block. Owner, Board of Public Works, City Hall. Owner receiving bids to close January 26th.

Building Permits.

Residences (3) \$5,800, \$7,300, \$5,800. Oakdale Drive. Arch't., private plans. Owner, Albert Weinman, 807 West Creighton St. Owner builds.

Residence: \$5,000. 127 Fairfield. Owner, H. C. Pequignot, Physicians Defense Bldg. Owner builds.

Residence: \$4,300. 3520 Bowser Ave.

(Continued on Page 9)



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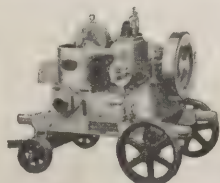
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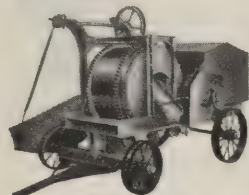
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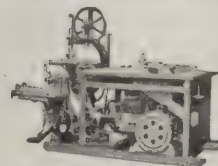


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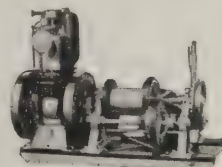
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HAMMOND.

Apartment (4) & Stores (2): \$30,000. Archt., Mac Turner, Ruff Bldg. Owner, Wm. Kuhn, 403 State St. Plans in progress. Brick.

Store Building: \$30,000. 2 sty. & bas. Archt., Mac Turner, Ruff Bldg. Owner, Louis Roth, % Archt. Plans in progress. Mature early in February. Brick.

Offices & Stores: \$25,000. Whiting, Ind. Archt., Mac Turner, Rux Bldg., Hammond. Owner, P. D. Sullivan, 603 119 St., Whiting. Plans about completed, ready for bids shortly.

Residence: \$15,000. Archt., Mac Turner, Ruff Bldg. Owner, Dr. Benjamin W. Chidlaw, Hammond. Plans in progress.

Store Building & Residence: \$16,000. Archt., Mac Turner, Ruff Bldg. Owner, George M. Brusel, % Brusel Bros., 476 Hoffman St. Plans about completed. Owner ready for bids shortly. Brick.

Store Building: \$25,000. Archt., Jos. T. Hutton & Son, 314 Hammond Bldg. Owner, Michael Kodicek, % Archt. Archt. ready for bids. 1 sty. 72x80. Brick walls.

Store Building: \$30,000. Archt., private plans. Owner, Leon Granger, Hammond. Owner receiving bids. Brick walls, ordinary constr.

LAFAYETTE.

Residence: 2 sty. & bas. Archt., Kashner & Gault, Wallace Building. Owner, Samuel M. Loeb, Lafayette. Plans in progress. Brick and stucco.

Fraternity House: 2 sty. & bas. Archt., Kashner & Gault, Wallace Bldg. Owner, Lambda Chi Alpha Fraternity, 213 Russell St., West Lafayette, Lafayette. Plans in progress. Brick.

Nurses Home: \$9,000. Wabash, Ind. Archt., Nicol, Scholer & Hoffman, Ross Bldg., Lafayette. Owner, Board of County Commrs., Wabash. Contract let to Chas. Paulus, Wabash.

MARION.

Government Hospital (80 beds) \$100,000. "National Sanatorium," Marion, Indiana. 1 sty. & bas. 315x42. Archt., Schenck & Williams, Mutual Home Bldg., Dayton, Ind. Owner, U. S. Government, Board of Managers, National Home for Disabled Soldiers, George W. Wood, Prest., Dayton, Ohio. Archt. revising plans, will increase capacity.

Contracts Awarded.

***Water Works:** \$75,000. Engineer, Alvord & Burdick, 8 So. Dearborn St., Chicago, Ill. Owner, Board of Public Works, Claude Hamilton, Clerk, City Hall, Marion. General contract let to C. W. Barley, Marion, Ind.

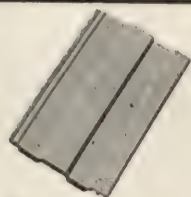
MUNCIE.**Contracts Awarded.**

***Storage & Manufacturing Plant:** \$100,000. 2 sty. 90x300. Archt., Cuno Kibele, 335 Johnson Bldg., Muncie. Owner, Ball Brothers Glass Manufacturing Co., F. C. Ball, Prest., 9th near Macedonia Sts., Muncie. Excavating. Owner builds. Brick, steel sash, comp. roof, concrete floors, refrigerating system, cafeteria.

***Fire Stations (2)** \$10,000 each. Archt., Houck & Smenner, 123½ West Main St. Owner, Board of Public Safety, Muncie. General contract let to Mike Wurtzler, 619 No. Mulberry St. Heating and plumbing let to Jerry A. Gallivan, 314 East Main St.

TERRE HAUTE.

***County Hospital:** \$135,000 to \$175,000. Clinton, Ind. Archt., Thomas & Allen, (Continued on Page 11)

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25½ South 5th St., Terre Haute. Owner, Board of Trustees, Hulbert M. Ferguson, Levi H. Aikman, Pleasant Kelsheimer, Quincy A. Meyers. Owner receiving bids to close March 8th at 2:15 p. m. at the office of the Vermillion County Auditor, Newport, Indiana. All previous bids rejected.

***School and Garage:** \$45,000. 2 sty. & bas. Honeycreek Twp., Youngstown, Ind. Archt., Shourds-Stoner Co., 511 Tribune Bldg., Terre Haute. Owner, Edwin R. Halstead, trustee, Youngstown, Ind. Owner receiving bids to close February 4th at 3 p. m. on general contract, heating plant, plumbing and electric wiring systems.

High School (add) \$50,000. "Rosedale School, Florida Township, Parke County, Indiana. Archt., Johnson, Miller & Miller, 30 No. 5th St., Terre Haute. Owner, James A. Taylor, trustee, Rosedale, Indiana. Plans in progress. Brick walls, semi-fireproof constr.

MISCELLANEOUS CITIES.

***Butler:** School & Power Plant (Reconstruction of Old Bldg. and new bldg. and the erection of a power plant. Butler, Ind. Archt., A. H. Elwood & Sons, Haynes Bldg., Elkhart, Ind. Owner, Board of Education, L. H. Higley, Prest. A. S. Powers, Secy., Butler, Ind. Owner receiving bids to close February 2nd.

Laporte: Store Building. Owner, Leo A. Moores. Owner builds. 1 sty. & bas. Brick.

Mishawaka: Dairy Building, \$30,000. Archt., private plans. Owner, Mishawaka Dairy Co., Mishawaka. General contract let to H. G. Christman Co., 306 Notre Dame Ave., South Bend, Ind. Brick. Start work soon.

***Richmond:** Residences (2) \$7,000 each. "Insane Hospital" near Richmond. Archt., John Hasecoeter, Richmond. Owner, Eastern Indiana Hospital for the Insane, Richmond. Start work soon.

Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field. Copy should reach us, at the latest, Wednesday of the week of publication.

SCHOOL HOUSES.

NOTICE TO CONTRACTORS.

Notice is hereby given that the Trustee and Advisory Board of Curry School Township, Sullivan county, Indiana, will receive sealed bids at the office of said Trustee in the Colonial Theatre Building in the town of Farmersburg, Sullivan County, State of Indiana, until Tuesday, February 7th, 1922, at 1:30 p. m., for the following construction work, to-wit:

For repairs and addition to the present school building in the town of Farmersburg, Curry School Township, Sullivan County, Indiana; also for the erection of a new school building at the north edge of the town of Shelburn, said Curry School Township, Sullivan County, Indiana, on land owned by said township, lying along the new Dixie Bee Line Highway.

Separate bids will be received on all work and materials in each class upon each of the proposed buildings as shown in the plans and specifications.

Said buildings are to be completed and

ready for occupancy on or before August 15th, 1922.

The estimated cost of the repairs and addition to the said school building at Farmersburg, Curry Township, Sullivan County, Indiana, is \$40,000.00. The estimated cost of the erection of the said new school building at Shelburn, Curry Township, Sullivan County, Indiana, is \$50,000.00.

The right to reject any and all bids is expressly reserved. The bids must be in writing and on the blank form provided by the trustee and must be accompanied by a certified check or cash for 4 per cent of the bid, guaranteeing that the bidder will execute contract and bond in the full amount of the bid or bids to secure the completion of the work if contract is awarded to him. Plans, specifications and estimates of said work and blank bid forms may be obtained for use of each bidder from said Trustee at Farmersburg, Indiana, or from Johnson, Miller & Miller, Architects, 30 North Fifth Street, Terre Haute, Indiana.

Dated January 7th, 1922.

BASIL THOMAS,

Trustee Curry School Township,
Sullivan County, Indiana.

Jan. 14-21-28.

ASYLUM BUILDINGS.

NOTICE TO BIDDERS.

Bids will be received by the Board of Trustees at the office of Herbert Foltz, Architect, 845 Lemcke Annex, Indianapolis, Indiana, until 2 o'clock P. M., of Tuesday, January 31, 1922, for the construction of and the power, heating, plumbing and electric generating and wiring installations in, to and between fourteen buildings for the Female Group for the Indiana Village for Epileptics, near New Castle, Indiana, in accordance with the drawings, the specifications, and all contract documents therein referred to and attached, which drawings and specifications will be on file at the Architect's office on and after Tuesday, January 10, 1922.

Proposals to be entitled to consideration must be made in accordance with the following instructions:

(a) Proposals shall be made according to the form attached to the specifications and each shall be delivered in a sealed envelope addressed to Dr. Wilmer Christian, President of the Board of Trustees, marked "Proposal," bearing the title of the work and the name of the bidder.

(b) All signatures shall be in long-hand; all blank spaces fully filled in; the completed form shall be without interlineations, alternations or erasure.

(c) Proposals will be considered singly or in any combination on the following branches of work: (1) General Construction; (2) Steam Heating inside Buildings; (3) Power House Equipment and Underground Steam Distribution; (4) Electrical Generating Equipment in Power House; (5) Electrical Distribution and Telephone Systems; (6) Electric Wiring and Fixtures inside Buildings; (7) Plumbing; (8) Tile Sewers and Man-holes; (9) Water Supply and Distribution.

(d) Each proposal must be accompanied by a certified check payable to the Board of Trustees in a sum equal to

three per cent (3%) of the amount of the proposal, in accordance with conditions included in the Proposal Form, which check shall be forfeited in case of failure of any bidder to enter into a contract within eight (8) days after notification of acceptance of his proposal.

(e) The competency and responsibility of bidders will be considered in making the award. The Board of Trustees is not obligated to accept the lowest or any other bid submitted, but reserves the right to accept any proposal or to reject any or all proposals.

(f) A deposit of Fifteen Dollars (\$15.00) will be required of prospective bidders for each set of drawings and specifications taken from the architect's office, which amount will be refunded in full in case the following two conditions are complied with, viz: (1) The return of the drawings and specifications to the Architect within ten days from the date of their leaving his office and (2) The delivery to the Board of Trustees of a bona fide proposal at the time and place fixed for receiving bids. Should the bidder fail in the observance of either of these conditions, he shall be entitled to a refund of Ten Dollars (\$10.00); should he fail in the observance of both conditions he shall forfeit the full amount of his deposit. A charge of Five Dollars (\$5.00) will be made for the use of the drawings and specifications beyond the ten day period allotted to each bidder. All refunds shall be conditional upon the return of the drawings and specifications complete and in good order to the office of the Architect.

(g) Requests from sub-contractors for drawings and specifications should be made to bidders on the major contracts, as the Architect does not undertake to furnish drawings and specifications to sub-bidders unless sets should become available for this purpose after the demands of general contractors have been met.

(h) Each bidder shall either stamp or mark his name on the back of the drawings and the cover of the specifications used by him in preparing his proposal.

(i) It is not the intention to award separate contracts for the construction of single buildings in the Female Group or installations therein, unit proposals being desired as a basis for ascertaining the completed cost of each structure, to facilitate the preparation of estimates during construction, and to permit the elimination of any building and its installations from the contract should it be found necessary or desirable so to do. It is the intention to have only a single contractor for all general construction work and one contractor for each respective branch of work or combination of branches covered by the several installations in this group.

By order of the Board of Trustees.

H. C. SCEARCE, Secretary.

Jan. 7-14, 1922.

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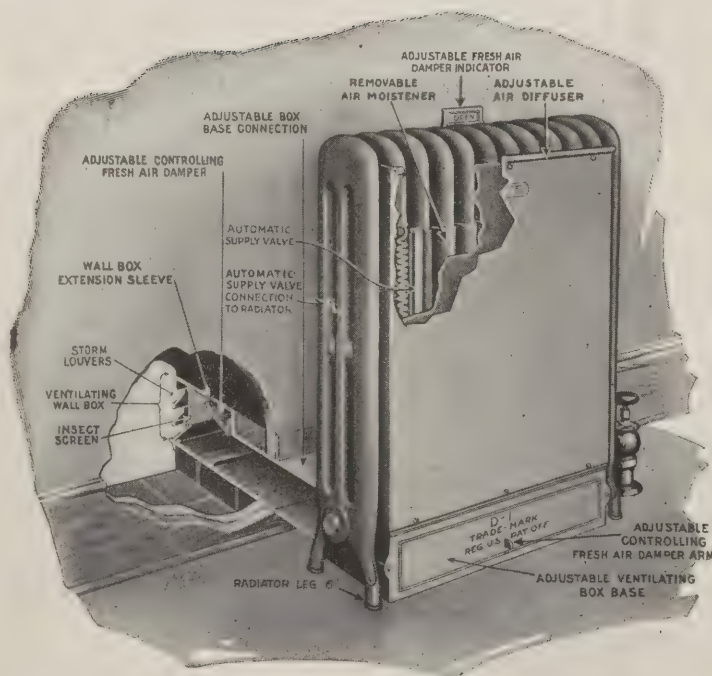
NOKOMIS TOWNSHIP HIGH SCHOOL BUILDING

Nokomis, Illinois

Architects: N. S. Spencer and Son, Chicago, Illinois. **General Contractors:** I. M. Hill, Nokomis, Illinois. **Heating and Ventilating Contractors:** Fowler Brothers, Centralia, Illinois. This building is equipped with the D-I Ventilating and Humidifying System. It has 15 rooms and was erected in 1919.



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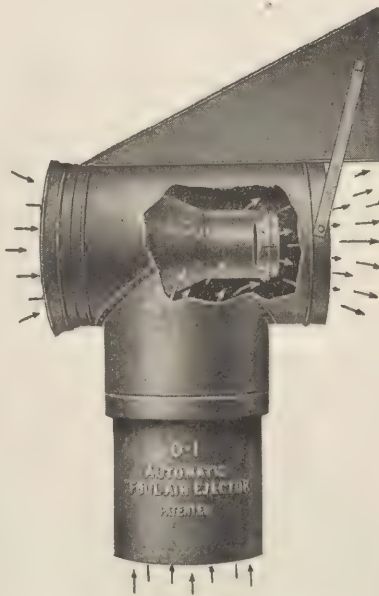
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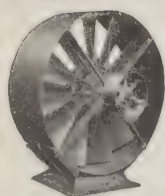
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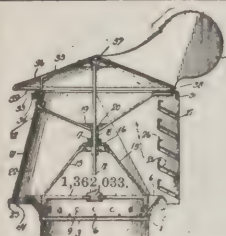
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STATE OFFICIALS AND ARCHITECTS DECIDE ON STANDARD CONTRACT FORM.

That tangible, beneficial things for the profession and the individual architect may be secured through concentrated co-operative effort has been clearly demonstrated during the past week here in Indiana through the securing from the State Board of Accounts of an approved standard contract to be used between Indiana public officials and architects where public building projects are concerned.

The idea of such a contract was conceived by the State Board of Accounts months ago and the Indianapolis Architects' Association was advised that it was proposed to put it into effect. A tentative draft of the contract consisting of numerous articles with subsidiary clauses was submitted to the Indianapolis architects for approval. A study of the proposed contract revealed much that was objectionable to and considered unfair by the architects, resulting in the appointment of a special committee to meet with the State Board of Accounts to confer on the points at issue. The contract proposition was also referred to the Indiana Society of Architects and a special committee from that body was also named to work in conjunction with the committee from the Indianapolis Architects' Association and the Board of Accounts.

Many sessions were held and while certain revisions were made in the original draft still there were sections that it seemed utterly impossible upon which the architects and the Board of Accounts could reach a satisfactory conclusion. There appeared to be a deadlock and months slipped by without a definite decision being reached. Finally, in December, the architects received notification that soon after the first of the year the new contract, as it then stood was to be printed, distributed to public officials, and put into effect.

While in the main the contract was acceptable to the architects there were still clauses that were not exactly agreeable to them and it was decided to call a special meeting of the I. S. A., and the I. A. A., members to meet once more with

the Board of Accounts in a final effort to arrive at a contract basis that would be agreeable and acceptable to all. This meeting was held Tuesday, Jan. 10th, the architects holding a preliminary meeting at the Lincoln Hotel earlier in the day and arriving at definite proposals and suggestions to be submitted to the Board of Accounts in a final effort to get the contract still further revised.

Having arrived at definite conclusions the architects then adjourned to go in a body to the State House to meet with State Examiner Jesse Eschbaugh and his building plan inspector Walter Twiname. There were some twenty architects present and Mr. Eschbaugh and Mr. Twiname immediately went into a detailed discussion of the proposed contract with them. The contract was taken up article by article and section and each objection of the architects was thoroughly aired and received with every display of fairness on the part of the Board of Accounts' representatives. Several hours were consumed by the conference and at the windup both the architects, who secured quite a few modifications, and the state officials expressed themselves satisfied with the conclusions reached.

The document as it now stands is the result of the hearty co-operation thrown into the matter by the architects, and had it not been for this there is no question but that a much less desirable standard contract would have resulted. Here was a case where there was an opportunity for the architects to seize upon and through united effort protect themselves, and they not only did that, but, by their actions and accomplishment, demonstrated the power of organization.

PLAYING IT SAFE.

Recently at Indianapolis when the Board of Directors of the American Institute of Architects were in conference with building material manufacturers relative to advertising and the best methods to use to reach the architect it was acknowledged that many architects are following old procedures which might be discarded or abbreviated for the good of all concerned.

Mr. Robert Kohn, prominent New York architect, took the floor and after discussing various features of the architect's work referred to specifications and to their voluminous proportions in some

instances, and argued for a cutting down of them wherever possible.

"For instance," he said, "many of us set forth pages and pages of general conditions that are confusing, ambiguous and really don't mean a whole lot. We simply follow precedent and go on rolling out these pages because someone before us did. How many contractors or others take out time to read these general conditions?"

"I met an Irish contractor who did read them.

"I was on a train near Buffalo recently and a man came in and sat down along side of me. We got into a conversation and I learned he was a contractor and he discovered I was an architect. Then he told me he had just figured a bungalow, which he described, and asked me if I thought his bid of \$8,800 was reasonable.

"Again he described the bungalow and I, thinking \$8,000 would have been a fair figure, asked him how he arrived at the \$8,800 figure?"

"Sure, I figured the whole thing and came to \$8,000. Then I noticed there were a lot of general conditions; so, I counted the pages—there were forty of them, and, figuring that each page meant just twenty dollars worth of trouble for me, I multiplied the 40 by \$20 and added the \$800 to my regular bid so I would be on the safe side."

"There you are," was Mr. Kohn's conclusion.

INDIANA ARCHITECTURAL FIRM TAKES DOWN HONORS IN BIG REGULATED COMPETITION.

Word has just been received from Milwaukee that gives the Indiana architectural profession a good rating as compared with that of other localities, New York and Illinois included.

The Elks of the above Wisconsin city had in mind a handsome \$1,000,000 temple, and to select an architect decided to arrive at the process of elimination by holding a regulated competition according to the provisions as set forth by the American Institute of Architects.

Among the architects, of whom there were thirty-one, who entered the competition were Architects Johnson-Miller and Miller, of Terre Haute, Ind., and they have just been notified that they have the final decision of the judges awarding them third prize.

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General Office for Information

MEETING NIGHTS

General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.

SLOWED UP SOME, BUT FUTURE
OUTLOOK GOOD.

Building is very quiet at the present. The contractors that have work are getting along without much friction with both union and non-union men working on the same jobs, something that we would have thought impossible a few years ago, but, times change, so do conditions. The architects report the outlook for spring work good providing that conditions get settled so there will be no interruption of work. The Citizens Committee are not fully organized yet, but efforts are being made to get the organization completed just as soon as possible. The Organization Committee has had some trouble getting people to thoroughly understand what the committee is expected to do, and to get men that are able to devote their time to the proper functioning of the committee. However, the indications are that they will be able to overcome these obstacles soon.

THE CONVERT.

There was a man in our town, whose last name was Wise,
He jumped into the building game clear up unto his eyes,
And then the business agents came and told a lot of lies,
And tried to mark and gum the cards and put him on the shelf.

Then, when he saw the deal all through, he stood to lose some pelf.
"Not yet," sez he. "I'll run my jobs myself."

"I think I am a man, not a monkey with a tail,
The 'B. T. E. A.' has made a stand to enforce the Landis scale
And if I don't just fall in line my business ought to fail.
So I'll go in and see the boys who play an open game,
They are working open shop men now. I'll get some of the same,
And even if I don't go so fast, I'll have an honest name."

And so he came as others have, oft many times before,
And found a hearty welcome when he came within our door.
The help he wished he had secured before he left the floor,
And now he has decided, that he will cast his lot
With all of us while yet his feet are hot.

To show us that his heart was right, he chipped into the pot;
We hope that in the after years he freely will confess,
He lent his shoulder to the wheel, helped clean the building mess,
And inch by inch, and foot by foot, he saw the town progress.

The moral of this little yarn is told upon the street,
Likewise like Wise you would be wise, to never get cold feet.
*Note—Contributed by one of the B. T. E. A. members.

OVERLOOKING NOTHING.

Several of our contractors are making arrangements to attend the Builders and Manufacturers Mutual Casualty Company's banquet in Chicago, January 18th. Those carrying their compensations with the company have received invitations. Perhaps the secretary will be there also.

LOCAL BUILDING FIGURES FOR
1921 SLIGHTLY OFF.

While Hammond did not make a flashy showing in the way of building operations in 1921, nevertheless, when one considers the labor troubles that infested building construction circles in this territory during the past year, the total result of the 12 months' building activity was not so bad. There were more permits issued in 1921 than in 1920, 599 again 488, but the total estimated valuations for 1920 exceeded the 1921 valuations by \$344,814.

SAVE OUR FORESTS.

"How's this, waiter? You've charged me two dollars and a half for planked steak!"

"Sorry, sir, but lumber's gone up again."—(Master Builders of Wisconsin Bulletin.)

NOT THE KIND THAT COUNTS.

There was quite a fall in fresh beef when the street car hit the Swift & Company trucks on Sheffield avenue, Thursday night.

NO WONDER.

The cold weather Thursday and Friday put a crimp in all the outside building that was going on.

E. E. COLE.

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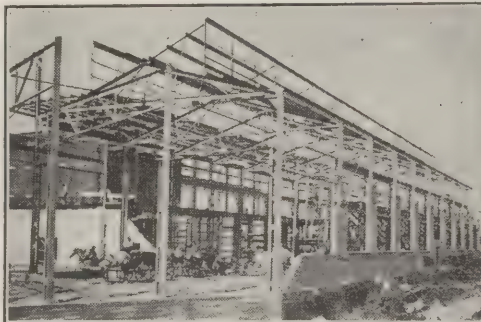
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Official Paper

Associated Building Contractors of Indiana

A. J. HOFFMAN, President
Evansville

C. C. PIERSON, Secretary
Indianapolis

ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller.....President
Chas. Scarborough.....Secretary

327 Sycamore Street
Phone 536

CONVENTION PLANS COMPLETED.

Latest advices from State A. B. C. headquarters at Indianapolis are to the effect that practically all arrangements have been completed for the annual convention of the state contractors' association at Evansville, January 24 and 25.

In connection with the convention the Builders and Manufacturers Mutual Casualty Co., of Chicago, will give an informal dinner at the McCurdy Hotel, on the night of Jan. 24, at which all the delegates will be guests. This will be the feature event of the convention and the insurance company has arranged a most entertaining program part of which will consist of vocal selections by a prominent local singer, and instrumental music by a five piece orchestra. John Andres will be the toastmaster and the speakers for the evening will be Andrew Lanquist, Chicago, President Associated Building Contractors of Illinois; H. B. Barnard, Treasurer, Associated Builders, Chicago; Harry Fenton, General Counsel for A. B. C., of Indiana, and attorney for Builders and Manufacturers Mutual Casualty Co., and Charles E. Watkins, Muncie, Director of Personal Service and Employment, Muncie Products Division of the General Motors Corporation and also Governor of International Rotary, District No. 11.

Mayor Benjamin Bosse will deliver the address of welcome to the delegates at the opening of the convention and Rev. Leslie Whitcomb will pronounce the invocation. The convention will be held at the Chamber of Commerce and the headquarters of the State A. B. C. will be at the McCurdy Hotel.

1,082 PERMITS.

More than 1,082 building permits were issued in Evansville during 1921. This is 30 less than were granted in 1920.

PETITIONS FOR CHANGE OF FIRM NAME.

The Evansville Paint and Varnish Company has petitioned the Vanderburg county circuit court here to change its name to the Red Spot Paint and Varnish Company. Harry D. Bourland is the president and general manager of the company.

NEW RULES AT CITY BUILDING INSPECTION DEPARTMENT.

City building inspector Edward Kerth has made some new rulings to take effect at once in regard to the issuance of building permits by his department hereafter.

No permit for over \$1000 will be issued unless accompanied by a complete set of plans and specifications.

No work, including excavating, to start until plans are approved by the department and a permit issued.

The cost of the building must be determined by the department, in case of a controversy, a sworn statement from the applicant, as to the cost must be turned in to the department.

CHIPS AND SHAVINGS.

Contractors J. Bippus and son, have just been awarded the contract for repairing the fire damage recently caused at the Kenilworth Building at 3rd and Main streets.

The F. W. Cook Co. awarded the contract for the erection of its new ice plant to Christ Kanzler & Son.

Harry Bullen announces he will build a new \$15,000 brick veneer home at Kentucky and Jefferson avenues.

The Evansville Structural Supply Co., contemplates building a new warehouse and steel fabricating plant at Division and Kerth avenues, in the early spring.

FT. WAYNE

BUILDERS' EXCHANGE
Member State A. B. C.

Max Irmscher.....President
Eph Dailey.....Secretary
825 Calhoun St.

Phone 2001

INCREASED ACTIVITY SHOWN BY YEARLY FIGURES.

A review of the activities of the Fort Wayne building inspection department for 1921 shows that a new record was made not only in the estimated cost of construction, but also in the number of new residences for which permits were issued.

During the year just closed, 521 new homes were erected, as against 301 in 1920.

November showed the highest monthly total for the past year.

The largest number of permits issued in a single month was 179. March, April and August all showed that num-

ber. Thirty-nine permits were issued in January; 57 in February; 179 in March; 179 in April; 166 in May; 154 in June; 145 in July; 179 in August; 133 in September; 137 in October; 83 in November, and 75 in December.

More than half of the permits for December were issued for new residences. Of the 75, 39 were for residences and 18 for garages.

1,528 Permits Issued.

During the year, 1,528 permits were issued. This is almost double the number for 1920, when only 894 permits were issued. The estimated cost per individual job shows a trifle higher average for 1920 than for 1921. The average for the year just closed was \$3,142, and for the preceding year \$3,279.

A comparison of total costs for 1921 and 1920, month by month, follows:

	1921	1920
January	\$ 93,325	\$114,580
February	208,600	108,630
March	370,345	323,746
April	275,802	531,871
May	420,978	404,565
June	303,735	487,285
July	355,628	271,556
August	570,105	291,255
September	327,343	123,480
October	410,765	241,005
November	1,178,760	115,800
December	280,620	95,169

BUILDING TO RENT NOT AN ATTRACTIVE PROPOSITION.

There is no reason homes should be built to rent. It may be all right to build apartments for rent, but there is much doubt about this, especially in the medium sized cities as it is not an ideal way to live. If building homes for rent were a profitable business money would be engaged in the business and who ever heard of a company building for rent single houses. Permit and make it possible for every family to own their own home and they immediately look on life from a different viewpoint. The big thing for the realtor is to solve the problem as to the best plan and method of helping the home buyers. Of course in order to buy a home the buyer must have at least enough money to make an initial payment. It is a sad comment on our present day life that only a small percent of the people save any of their earnings. We should offer every encouragement to everything that in any way helps educates and encourages the saving of money.—(From speech by Vernon Hastings, President Indiana Real Estate Association at Inaugural Banquet at Fort Wayne Realtors' Board.)

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FOR
CONTRACTOR
SUPPLYMAN

VOL. III

INDIANAPOLIS, INDIANA, JANUARY 21, 1922

No. 42

INDIANA CONSTRUCTION RECORDER
Published Every Saturday

DONALD CAMPBELL Publisher
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JOHN H. OWENS Field Manager

312 E. Market Street,
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PHONE—MAIN 5673

TERMS OF SUBSCRIPTION

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Advertising forms close Saturday of week pre-
ceding date of issue.

Entered as second class matter August 29, 1919,
at the Post Office at Indianapolis, Indiana, under
the Act of March 3, 1879.

News of the Week

The asterisk (*) prefix to an item indicates ad-
ditional information to report published in pre-
vious issue.

INDIANAPOLIS.

**Garage, Automobile Storage & 5
Stores:** 5 sty. & bas. 135x195. No. Illi-
nois St. near Tippecanoe St. Archt.,
Bass, Knowlton & Co., 801 Hume-Man-
sur Bldg. Owner, Company Organizing,
% Willia H. Barrere, 4th flr. Merchants
Bank Bldg. and Dick Miller, Prest. City
Trust Co., Market and Delaware Sts.
Plans in progress. Owners financing.
Reinf. concrete, terra cotta front, steel
sash, elevators, comp. roof, steam heat.

Country Club & Caddy House: near
Shelbyville, Ind. Archt., J. Edwin Kopf
& Woolling, 402 Indiana Pythian Bldg.,
Indpls. Owner, Blue River Country Club
Association, H. A. Lawson, Chmn. Bldg.
Comm., Shelbyville. Frame. 1 sty. 60x70.
Shingle roof, hot water heating plant.
Plans completed. Owner will build at
once.

Agricultural Building & Gymnasium:
\$45,000. Shelbyville, Ind. Archt., J. Ed-
win Kopf & Woolling, 402 Indiana Pyth-
ian Bldg., Indianapolis. Owner, Board of

School Commissioners, D. Wray DePrez,
Prest., Shelbyville. Will include agricul-
ture laboratory, 30x60, agricultural class
rooms 30x30, gymnasium, 90x120, stage,
boys and girls locker and shower rooms,
bicycle and general storage. Brick walls,
steel sash, steel truss roof, comp. roof-
ing. To be built in connection with
present high school group. Architect
completing plans. Ready for bids Feb-
ruary 1st.

Parochial School: 2 sty. & bas. 62x92.
Corner Shelby and Tabor Sts. Archt., J.
Edwin Kopf & Woolling, 402 Indiana
Pythian Bldg. Owner, St. Catherine of
Sienna Parish, Rev. James M. Downey,
pastor, 1108 East Kelly St. Plans in
progress. Will include school rooms, as-
sembly room and living quarters. Work
will consist of brick walls, flat roof, con-
crete and terrazzo floors in corridors, etc.

***School:** \$62,000. Lancaster Township,
Jefferson county, Ind. Archt., Elmer E.
Dunlap & Co., State Life Bldg., Indpls.
Owner, Charles L. Rutledge, trustee,
Dupont, Ind. (Jefferson county). Owner,
receiving bids to close February 1st.

***Residence** (7 rooms) \$12,000. 3348
Guilford. Archt. Myers and Coffin, 412
Traction Terminal Bldg. Owner, Phoebe
R. Curryer, 724 East 15th St. Archt. re-
ceiving bids to close Feb. 1st.

Contracts Awarded.

Commercial Garage (Automobile Ho-
tel) \$250,000. Designed for a 5 sty. bldg.
70x200. 3 sty. to be built at present. 424
No. Illinois St. Archt., Mothershead &
Fitton, 540 No. Meridian St. Owner,
Illinois Building Company, Leon T.
Leach, in charge, 402 Merchants Bank
Bldg. General contract awarded to
Builders Construction Co., 540 No. Meri-
dian St. Wrecking old buildings on site.
Start work shortly. Brick, struct. steel,
steel lumber, steel sash, reinf. concrete,
concrete floors and concrete circular
ramp, gravel roof, fire doors, tile and
marble work, terra cotta, elevator, steam
heat.

***Church** (Colored Baptist) 2 sty. &
bas. 60x115. North Indpls. Archt., W. H.

Garns, Fletcher Trust Bldg. Owner, First
Baptist Congregation (Colored). Rev.
Frank Young, Pastor, 1001 Edgemont
Ave. General contract awarded to J. G.
Karstedt Constr. Co., Lemcke Bldg.
Heating, plumbing, wiring not let.

Apartment Building (6 apts.) Maple
Road and Broadway. Owner, Ernest R.
Walker, 134 No. Delaware St. General
contractor, Walker-Brooks Realty Co.,
134 No. Delaware St. Brick. Owner
taking bids on material.

Building Permits.

Residence: \$12,000. 3668 No. Delaware.
Owner, American Estates Co., 801 Occi-
dental Bldg. General contract let to A.
Jeffers, 3124 Walker St. Brick veneer.

Residence: \$5,500. 60 No. Kenmore.
Owner, A. L. Avey, 10th and Bradley.
Owner builds.

Residence: \$5,000. 3316 College. Own-
er, Clyde E. Hawkins, 701 E. 21st. St.
General contract let to S. A. Davis, 309
No. State Ave.

Residence: \$7,000. 4625 College. Own-
er, John A. Welch, % G. C. Contract
let to Michaelis Bros., 821 Parker.

Double Residence: \$7,500. 811-13 E.
46th. Owner, L. E. Kunkler, 1432 Belle-
fontaine. Owner builds. Brick veneer
and stucco.

BLUFFTON.

***School** (Joint High & Grade) \$150,-
000. Montpelier, Ind. Archt., Everitt I.
Brown, Bluffton. Owner, M. C. Bebout,
trustee, and Board of Education, Mont-
pelier, Ind. General contractor, L. W.
Kimmel, Poneto, Ind. On foundation.
Steel let to The Engineering Co., Ft.
Wayne. Stone to Ittenbach Co., Indpls.
Plastering and painting, general contrac-
tor does by day work.

School: \$100,000. Wells county, Lan-
caster township, Ind. Archt., Oscar Hoff-
man, Decatur, Ind. Owner, Alex Hunt,
trustee, R. F. D. 5, Bluffton, Ind. General
contractor, Hisey & Bebout, Rockford, O.
Contract will be signed and work started
soon as bonds are sold.

(Continued on Page 7)



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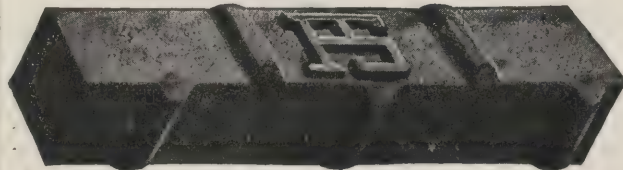


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ELKHART.

***School & Power Plant:** \$100,000. Butler, Indiana. Archt. A. H. Elwood and Sons, Elkhart. Owner, Board of Education, A. S. Powers, Secy., Butler. Bids close Feb. 9th at 1:30 p. m. (Note extension of closing date).

***Schools** (2) "Rowl school" \$18,000. "Dunlap school" \$45,000, both Concord twp. Archt. Roy L. Simmons, Elkhart, Owner, W. J. Sigerfoos, Trustee, Elkhart. General contract let to Wm. Brumbaugh, Goshen, Ind. Htg. to Leo Beall, Sturgis, Mich. Plmg. to J. B. Leonard, Wakarusa, Ind. Elect. to Schuler Elect. Co., Elkhart.

EVANSVILLE

School: \$30,000. 1 sty. & bas. 54x82. Center Township, Vanderburgh County, Ind. Archt., Anderson & Stingle, 108 Upper 4th St., Evansville. Owner, Clyde M. Hesmer, trustee, Evansville, Ind., R. F. D. No. 5. Plans in progress. Brick.

Housing (20 residences) \$4,000 each. Archt., Anderson & Stingle, Evansville. Owner, Richard & Biber, Evansville. Plans in progress. Owner will build by day labor. Frame, asphalt shingle roofs, furnaces.

Duplex Apartment & Garage: 2 sty. and bas. First & Mulberry Sts. Archt. and owner, Frank J. Schlotter, 113½ Upper 4th. Plans in progress. Ready for bids late winter. Brick.

Residence: \$30,000. Winnetka, Illinois. Archt., Clifford Shopbell & Co., Furniture Bldg., Evansville. Owner, G. F. Gonsaloes, Winnetka, Ill. Plans completed.

Bank Building: \$25,000. Ferdinand, Ind. Archt., Clifford Shopbell & Co., Furniture Bldg., Evansville. Owner, Beckman State Bank, Ferdinand, Ind. Plans completed. Brick.

Residence: \$20,000. Leopold, Ind. Archt., Clifford Shopbell & Co., Furniture Bldg., Evansville. Owner, Rev. W. V. Bolland, Leopold, Ind. Work started.

Bank: \$15,000. Hanover, Ill. Archt., Clifford Shopbell & Co., Furniture Bldg., Evansville. Owner, Hanover Union Bank, Hanover, Ill. Plans completed. Brick.

Residence: \$20,000. Eureka, Ind. Archt. Clifford Shopbell & Co., Furniture Bldg., Evansville. Owner, N. W. Montgomery, Eureka, Ind. Work started.

Office Building & Warehouse: \$30,000. West Franklin St. Archt., H. Gilbert Karges, Furniture Bldg. Owner, The Chero-Colo Co., 320 Lower 2nd St. Archt. receiving bids. Brick.

FT. WAYNE.

***Commercial Bldg:** \$25,000. Archt., A. M. Strauss, 705 Shoaff Bldg. Owner, Seelberg & Weil, % Archt. Ready for bids Feb. 1st. Brick. 2 sty. 40x70.

***Residence:** \$10,000. Albion, Indiana. Archt., A. M. Strauss, 705 Shoaff Bldg. Ft. Wayne. Owner, Fred A. Moor, Albion, Ind. Plans completed. Ready for bids February 1st.

Contracts Awarded.

***Store Building:** \$125,000. 2 sty. 40 x 150. Archt., A. M. Strauss, 705 Shoaff Bldg. Owner, W. C. Quimby, % Archt. Lessee, Joseph Goldstein. General contract let to Max Irmischer, carpentry to Henry Kaiser. Archt. taking bids on htg., plmg. and wiring. Start work soon.

HAMMOND

Office Bldg: (Fire rebuild) \$100,000. Archt., A. C. Berry. Owner, The Ruff Bldg. Plans in progress. Brick.

Steel Plant: 1st unit will consist of coke plant, 4 blast furnaces, 4 steel furnaces, rolling mill, open hearth furnace. Archt., Engineering Dept. of Owners. Owner, Jones & Laughlin Steel Co., Pittsburgh, Pa. Plans in progress.

Church: \$20,000. Archt., J. E. O. Pridmore, 38 So. Dearborn St., Chicago, Ill. Owner, St. Paul's Church, Hammond. Plans in progress.

HUNTINGTON.

***County Jail:** \$65,000. Archt., Samuel Craig & Co. Owner, Board of County Commissioners, Joseph E. Shideler, Auditor, Court House, Huntington. Owner receiving bids to close March 10th at 2 p. m.

***Schools** (2) 12 room grade bldg. \$60,-

000. Heating and plumbing, \$22,500. Elect. wiring, \$5,000. Archt., Elmer E. Dunlap & Co., State Life Bldg., Indpls. Ward bldg., 10 room addition, \$52,000. Heating and plumbing, \$22,000. Electric wiring, \$3,000. Archt., Everitt I. Brown, Studebaker Bank Bldg., Bluffton, Ind. Owner, Board of Education, Marion B. Stults, Prest., Thad Clark, Secy. Owner receiving bids to close February 7th at 10 a. m. on both buildings.

***Warsaw:** Grade school: \$75,000. 2 sty. & bas. "East Ward School Bldg." Warsaw. Archt., Samuel A. Craig Co., Warren St., Huntington, Ind. Owner, Board of Education, Flint E. Bash, Secy., Warsaw, Ind. Owner receiving bids to close February 7th at 11 a. m.

LAFAYETTE.

***School Building:** \$92,000. Fairfield School Township, Tippecanoe County, Indiana. Archt., Kashner & Gault, Wallace Block, Lafayette. Owner, H. W. Eberhardt, trustee. Office, Court House, Lafayette, Ind. Owner receiving bids to close February 6th at 12 o'clock noon.

School: \$90,000. 2 sty. & bas. Battle Ground, Indiana. Archt., Nicol, Scholer & Hoffman, Ross Bldg., Lafayette. Owner, Chester Walters, trustee. Battle Ground. Plans in progress. Owner will advertise for bids in February.

School: \$50,000. 2 sty. & bas. 80x85. Madison Twp., Jay county, Ind. Archt., Nicol, Scholer & Hoffman, Ross Bldg., Lafayette. Owner, Wm. A. Roush, trustee, Portland, Ind., R. R. No. 1. Plans in progress. Brick.

SOUTH BEND.

Church: \$75,000. 2 sty. & bas. Archt., Liese & Ludwick, 618 Temple Bldg., Danville, Ill. Owner, M. E. Congregation, Mr. Hollister, Chmn. Bldg. Comm., % Hollister-French Lumber Co., 217 Farmers Trust Bldg., South Bend, Ind. Plans in progress. Brick and stone.

Garage: (add. and alt.) \$80,000. Archt. Austin and Shambleau, South Bend.

(Continued on Page 9)

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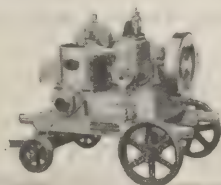
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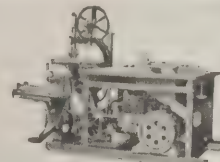
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TERRE HAUTE.

*Schools (2) addition and repairs to school bldg. at Farmersburg, Ind. \$40,000, and a new school building at Shelby, Ind. \$50,000. Both Curry Twp., Sullivan County, Ind. Archt., Johnson, Miller & Miller, 30 No. 5th St., Terre Haute. Owner, Basil Thomas, trustee, Colonial Theater Bldg., Farmersburg, Ind. Owner receiving bids to close February 7th, 1:30 p. m. Brick.

*Store & Office Bldg. (9 stores and 42 offices) "Pig & Whistle Building," 6th and Cherry. Archt., Shourds-Stoner Co., 511 Tribune Bldg. Owner, Demas Deming, Prest., First National Bank, Terre Haute. Plans nearing completion. Owners will start work soon as old buildings on present site can be wrecked.

Church: \$30,000. 1 sty. & bas., 67x67. Archt., Leonard F. W. Steube Co., 415 Adams Bldg., Danville, Ill. Owner, United Brethren Church, J. A. Bray, pastor, Terre Haute, Ind. Plans in progress. Mature late winter. Brick.

VINCENNES.

*Masonic Temple: \$70,000. 3 sty. Greencastle, Ind. Archt., J. W. Gaddis, American National Bank Bldg., Vincennes. Owner, Temple Lodge, No. 47, F. & A. M., Greencastle. Archt. ready for bids shortly. Brick, Bedford stone facings, flat tile roof, steam heat.

MISCELLANEOUS CITIES

Knox: Grain Elevator. Archt., Miller, Holbrook & Warren, Milliken Bldg., Decatur, Ill. Owner, Farmers Co-Operative Grain Co., William Quick, Mgr., Knox, Ind. Plans in progress. Brick and concrete.

Prather: School, \$43,000. Archt. P. E. Moosmiller, 9th & Market Sts., New Albany, Ind. Owner, Omega Lentz, Utica, Ind. Charlestown, R. R. No. 2, Charlestown, Ind. Owner receiving bids to close Jan. 27th at 2 p. m. Brick.

WANTED.

Position—Architectural draftsman desires position in Indianapolis office; thoroughly competent; 14 years all around experience with Chicago architects. Address, Draftsman, % Indiana Construction Recorder, 312 E. Market St., Indianapolis, Ind.

WANTED.

ARCHITECTURAL DRAFTSMAN of several years experience capable of making complete working drawings from sketches. State salary, experience, etc. in first letter. Address A-12 Indiana Construction Recorder, 312 East Market Street, Indianapolis, Indiana.

Sealed Proposals

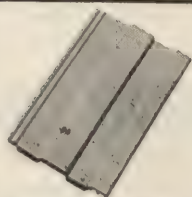
An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field. Copy should reach us, at the latest, Wednesday of the week of publication.

SCHOOL HOUSES.

NOTICE TO CONTRACTORS.

Notice is hereby given that the Trustee and Advisory Board of Curry School Township, Sullivan county, Indiana, will receive sealed bids at the office of said Trustee in the Colonial Theatre Building

(Continued on Page 11)



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in the town of Farmersburg, Sullivan County, State of Indiana, until Tuesday, February 7th, 1922, at 1:30 p. m., for the following construction work, to-wit:

For repairs and addition to the present school building in the town of Farmersburg, Curry School Township, Sullivan County, Indiana; also for the erection of a new school building at the north edge of the town of Shelburn, said Curry School Township, Sullivan County, Indiana, on land owned by said township, lying along the new Dixie Bee Line Highway.

Separate bids will be received on all work and materials in each class upon each of the proposed buildings as shown in the plans and specifications.

Said buildings are to be completed and ready for occupancy on or before August 15th, 1922.

The estimated cost of the repairs and addition to the said school building at Farmersburg, Curry Township, Sullivan County, Indiana, is \$40,000.00. The estimated cost of the erection of the said new school building at Shelburn, Curry Township, Sullivan County, Indiana, is \$50,000.00.

The right to reject any and all bids is expressly reserved. The bids must be in writing and on the blank form provided by the trustee and must be accompanied by a certified check or cash

for 4 per cent of the bid, guaranteeing that the bidder will execute contract and bond in the full amount of the bid or bids to secure the completion of the work if contract is awarded to him. Plans, specifications and estimates of said work and blank bid forms may be obtained for use of each bidder from said Trustee at Farmersburg, Indiana, or from Johnson, Miller & Miller, Architects, 30 North Fifth Street, Terre Haute, Indiana.

Dated January 7th, 1922.

BASIL THOMAS,

Trustee Curry School Township,
Sullivan County, Indiana.

Jan. 14-21-28.

SCHOOL HOUSE

NOTICE TO CONTRACTORS.

Sealed proposals will be received by the Trustee and the Advisory Board of Fairfield School Township, Tippecanoe county, Indiana, until 12:00 noon on the 6th day of February, 1922, at the Trustee's office in the Court House at Lafayette, Indiana, for the erection and completion of a one story and basement, brick and reinforced concrete school building in said Fairfield Township, at an estimated cost of Seventy One Thousand Dollars (\$71,000). The plans and specifications for said building were prepared by Kashner & Gault, Architects, copies of which are now on file in the Trustee's office, in the office of the State Board of Accounts, at the State House, Indianapolis, Indiana and in the office of the Architects, Wallace Block, Lafayette, Indiana.

At the same time and place separate bids will be received for furnishing and installing a complete heating plant and the plumbing and sewerage for the above named building at an estimated cost of Twenty-One Thousand Dollars (\$21,000). All bids must be in writing, sealed, and with the envelope endorsed, giving the bidder's name and the class of work upon which

bids are submitted. All bids will be opened and read publicly at the time and place fixed in this notice. All bids should be on forms prescribed by the State Board of Accounts. The successful contractors will be required to complete their work on or before the first day of September, 1922.

The Trustee and the Advisory Board reserve the right to reject any and all bids and to take time to investigate the bids and the qualifications of the bidders.

Each bidder shall file with his bid the Statutory affidavit required under the laws of the State of Indiana and each bid shall be accompanied by a certified check equal to Three Per Cent (3%) of the bid, made payable to H. W. Eberhardt, Trustee of Fairfield School Township, which checks will be held as a guaranty of good faith that the bidder will enter into a contract and execute a bond approved by the Trustee for the due performance thereof, if his bid or bids are accepted. The checks of those bidders who fail to be awarded contracts shall be returned to them when the contracts are let.

If the successful bidder or bidders fail to enter into such contract and execute such bond then he or they shall forfeit the amount of such certified check as liquidated damages for the use and benefit of the proper fund of the Fairfield School Township, Tippecanoe County, Indiana.

Copies of the plans and specifications may be obtained from the Architects upon deposit of Twenty-five dollars (\$25) for each set. Said deposit will be returned to the bidder upon the safe return of the plans and specifications to the Architect's office on or before the day and hour set for receiving bids.

Dated this 16th day of January, 1922, in Fairfield Township, Tippecanoe County, Indiana.

A. W. EBERHARDT,

Trustee of Fairfield School Township,
Tippecanoe County, Indiana.

Advisory Board:

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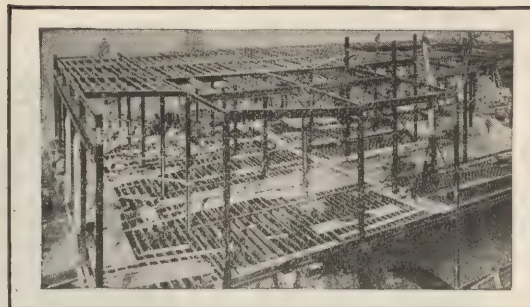
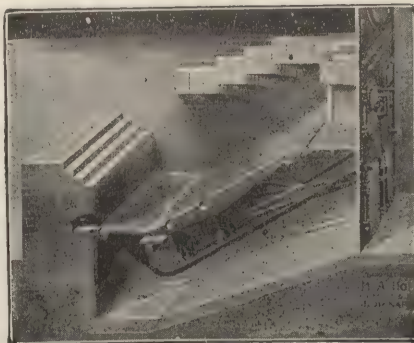
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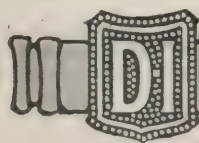
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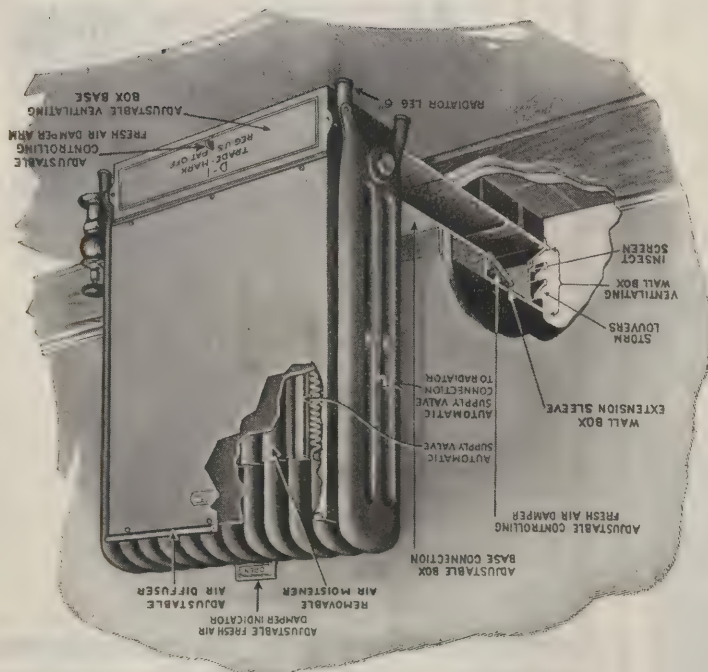


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Architects: Ashby, Ashby and Schulze, Chicago, Illinois. General Contractors: James Boswell, Bloomington, Indiana. Heating and Ventilating Contractors: Lee Dodds, Ladoga, Indiana. This building is equipped with the D-I Ventilating and Humidifying System. It has 11 class rooms, auditorium, gymnasium, and was erected in 1917.

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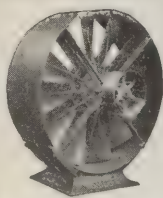
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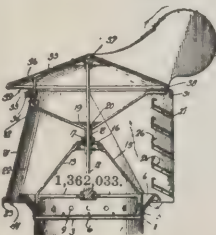
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ARCHITECTS ARISE TO THE DEFENSE OF THE PROFESSION.

Sometime ago there was published an article criticizing architects for incompetency, impracticability and the attitude assumed toward those with whom they came in contact. This criticism aroused certain members of the profession and to refute the attack questionnaires were sent out over the country with the request that answers be returned immediately.

There was a hearty response to the request, a composite summary of which reads like this:

Arrogance—This is evidently true of many architects. His position of dictator of what is to be done tends to make him positive. The acts of many contractors and sub-contractors may well make him chary of accepting all suggestions. This is largely a matter of temperament and probably in the individual decreases with age. In some cases it is the display of authority by subordinates.

Contractors—A register of Contractors, graded for competence would be welcomed by architects. Incompetent contractors are the greatest source of trouble and expense to architects. He doesn't intentionally employ them or foster them.

Contractors—Contractor might be of value in consultation with Architect from the start, but not necessarily the same Contractor for all jobs. There are different types of Contractors that fit different types of work.

Fails to Investigate Contractors, Encourages Incompetent Ones—Doubtless true in a degree, but believe slight. Builders will recite however the difficulty of getting into a new office. Architects always prefer to deal with known contractors. The owner frequently forces them to new ones and often to incompetent ones.

To Protect Sub-Contractor—The architect may not, probably does not, exercise this function as extensively as he should. He has officially expressed his willingness to in the Standard Documents. The sub-contractor and material men should act to protect themselves when continuing to deal with irresponsible general contractors.

Blankets Owners from Contractor—To a certain extent. But contractor generally useless until the owner's problem is translated into sketch plans to determine area and cube. Architect's judgment as to cost in normal times and for regular types of building apt to be accurate as a builder's, before plans are definitely developed.

Does Not Acknowledge His Errors, Etc.—This, where it exists, is clearly against his professional code and any standard code of behavior. The Standard Documents provide means of protection to the contractor against it. We have no evidence by which to judge but cannot believe it is widely done in serious matters. The Architect generally feels he has a certain bank account to his or the owner's credit for things done wrong or poorly that cannot be corrected against which he draws in many minor matters which are inevitable in all jobs.

Importunes Clients—It is evident that a great many do. Proportion unknown. The ordinary business man tends to expect it, judging on a commercial basis. Thinks it strange that Architects won't exhibit their wares for comparison. The lawyer on committees tends to judge it from a professional viewpoint, and is prejudiced by such acts.

Experts—Experts very widely employed. Civil engineers in matters of structure, Mechanical Engineers for Heat, Elec. Elev. Plumbing, Vaults, Landscape Architects. The owner himself, who generally, in business buildings controls the fundamentals of plan and refuses and accepts schemes. Buildings of multiple occupancy such as Office

Fails to Inspect—The Architect generally is at the work occasionally, except when clerk of the works is employed. He must trust largely to mechanic and foreman, with occasional inspection unless owner is ready to pay for the continuous supervision. Even then the clerk of the works can only see a small part of actual application of many materials. The general method may be noted and o. k. but material fail, due to variations in application by mechanic. This responsibility lies with the contractor who also fails in giving adequate notice of time for inspections.

Fails to Investigate Material—Architects are generally slow to use new materials. Advertisements of new materials flood our waste baskets. A minority seem to justify investigation and interest. Statements in these frequent false, undependable. We doubt if an Architect ever uses a new material without supporting evidence. It may prove inadequate and untrue.

Interest in Labor—Has not in past mixed in labor problems. Has recently been forced to do so. He is interested in conditions under which he works, so as to get good results (incl. pay). He is interested in method of training to get skill. He is not interested in details of how he is hired.

Relation to Payments—Assumption of responsibility is his own only. He does not assume the General Contractor's responsibility though he often has to exercise it. Until the Contractor assumes and is permitted to occupy a professional position towards the owner, the architect's supervision of all phases of his work must continue. This supervision is of necessity frequently ineffective. It no more assumes responsibility than the auditor assumes responsibility of the bookkeeper.

Relations with Distributors—Many different channels needed to get full information. Impartial investigations needed, such as the Structural Service Committee of the A. I. A.

Samples—This is a personal matter and depends on the individual architect and the results desired.

Standard Quality of Service—Except for certain practical phases the architect's service is a strictly personal service and cannot be standardized. The amount of service can be standardized. The quality of service cannot be. License or Registration Laws can test certain minimum requirements but cannot even test the minimums of judgment, common sense, perception, business ability, knowledge of human nature and imagination which enter into the Architects's service as a whole and which largely control its successful performance. Individual methods widely differ. Some cannot even draw and yet by criticism can control results of the actual drafting of others.

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**ASSOCIATED BUILDING CONTRACTORS
OF INDIANA**

Official Paper

Building Trades Employers Ass'n OF THE CALUMET DISTRICT

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JOHN GOHMAN, 1st Vice-Pres.
J. K. DOPPLER, 2nd Vice-Pres.
E. E. COLE, Sec., Bus. Mgr.
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CONSISTING OF

Hammond Indiana Harbor
East Chicago Whiting
General Headquarters
108 Citizens National Bank Bldg.
Hammond, Indiana
Phone 3298
Member of State A. B. C.

Directors

L. J. GRANGER
M. L. KLINE
M. A. DICKOVER
JAS. HARBAUGH
H. L. MORRIS

If You are Contemplating any kind of Construction Work, you should Communicate with
General Office for Information

MEETING NIGHTS

General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.

BIG INDUSTRIAL AWAKENING LOOMS FOR THE FUTURE.

The Jones-Laughlin Steel Co. has purchased 1,000 acres of land lying between Sheffield Ave., on the west, Oak Ave. on the east, (this is the east line of East Chicago), Goslin St. on the north, and 121 St. on the south. This is the last large tract within the corporate limits of Hammond that is suitable for a manufacturing plant.

On the above site will be erected, within the next five years, one of the largest steel mills in the West. The Jones-Laughlin Co. has been contemplating for some time the purchase of a location in the Calumet District. The purchase price is reported to have been \$2,000 per acre.

It will take at least a year to prepare the site for the new plant as Lake George, commonly known as Mud Lake, will have to be filled in, the canal lengthened, and docks will have to be built.

Predictions have frequently been made that the Calumet District would eventually become the steel center of the West and it begins to appear that such will be the case.

The principal reason for the selection of the Hammond site is due to the fact that the ore can be shipped by boat from the mines to the plant, then with the completion of the Sag canal the company will be able to ship steel by water to southern points and to the seaboard on the Gulf. When the Pittsburg plus freight rate is repealed the company will be on an equal footing with other western plants. The new site will be within easy reach of the proposed Indiana, or Wolf Lake Inland Harbor, that the promoters claim will be built within the next few years.

When all the above comes to pass the Calumet region will become the greatest manufacturing district in the West.

In view of all this, do you blame Hammond for feeling a little chesty?

SEE SAW.

There is not very much new in the local building situation.

The plasterers have voted to reduce their scale to \$1.10 per hour, but this means little to the Association contractors unless this craft is willing to accept the working conditions advocated by Judge Landis.

The bricklayers and the electricians accepted the Landis scale and conditions

when tendered originally. Since then the carpenters, plumbers, cement finishers and plasterers have reduced their wage scale at least.

NAME OFFICERS FOR THE YEAR.

The new officers of the B. T. E. A., elected Jan. 10th, were: President, J. Wesley Reed; 1st Vice-Pres., John Gohman; 2d Vice-Pres., J. K. Doppler; Treas., J. W. Beckman; Sentinel, C. J. Myers; directors for two years: John Jones, Chas. S. Rhoads.

TAKING A BIG CHANCE.

The Chicago Building Trades Council is going to ask Judge Landis to again endeavor to adjust its difficulties with the contractors. It looks as if they will be out of luck if they go before the Judge again. The next time he is liable to give them less than he did before, and if he is in the right humor he may be still more drastic.

BAD FIRE VISITS HAMMOND.

Architect A. C. Berry is preparing plans for the rebuilding of the Ruff Building which was badly damaged by fire Friday night. The entire inside of the three stories was destroyed together with the contents. The loss was about \$100,000.

E. E. COLE.

CALUMET DISTRICT

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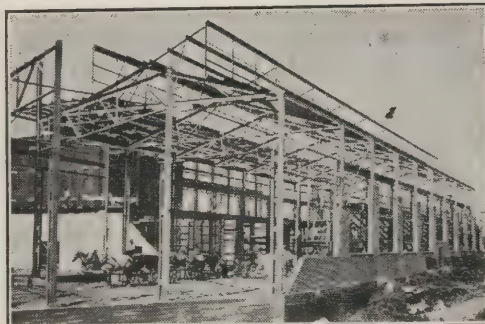
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FORT WAYNE, -:- INDIANA

Official Paper

Associated Building Contractors of Indiana

A. J. HOFFMAN, President
EvansvilleC. C. PIERSON, Secretary
Indianapolis

ORGANIZATION AND CURRENT NEWS

EVANSVILLEAssociated Building Contractors
Member State A. B. C.Geo. L. Miller.....President
Chas. Scarborough.....Secretary327 Sycamore Street
Phone 536**ALL IN READINESS.**

Final arrangements in the way of details have been completed by the local Associated Building Contractors and everything is in ship shape for the opening of the Fourth Annual Convention of the A. B. C., of Indiana at the Chamber of Commerce in the Old State Bank Building, Tuesday, January 24th.

George L. Miller, president of the Evansville A. B. C's, has appointed the following as a reception committee to look after the visiting delegates: John R. Anderson, William Abeler, Michael Elpers, C. E. Jett, and Chester Vaught.

WOULD CONFER WITH CONTRACTORS ON NEW BUILDING CODE.

A communication has been received by the local A. B. C's, from City Building Inspector Edward Kerth in which he expresses the preparation of a new city building code.

For sometime the city officials, those interested in building, and others, have realized that the growth of the city and the resultant changing conditions have necessitated a revision of the present building code. Mr. Kerth is now at work on a new code and announces that as soon as the rough draft is made up he will be glad to go over it with the contractors association.

LOCAL BUILDING PROSPECTS GROW PROMISING.

That prospects for the new year in building operations is brightening, and that there can be no doubt that many residences will be built this year, is noted in the fact that architects are making tentative plans for homes for which commissions have been given, and that even now new homes are being started in the face of weather conditions that may change at any time.

Thus far the winter has been open, and there have been few days when workmen have been forced to lay off because of stress of weather. Building has continued steadily through the fall, and it is estimated that 500 houses have been built during the year.

CHIPS AND SHAVINGS.

Architect Frank J. Schlotter will erect for himself one of the most modern duplex apartment buildings in the city at the corner of First and Mulberry streets, early in the spring. He is now preparing the plans.

The Evansville Milk Co., has announced that it has under advisement a plan for expansion that will require quite extensive alterations and improvements of the plant at Eighth and Walnut streets. Among other things the scheme takes into consideration a new power plant with a 70 foot frontage on Seventh street, near Walnut.

Aaron Fuchs has under contemplation a new two story store building at Main and Iowa streets.

Henry Vogt contemplates rebuilding on the site of his country home that was destroyed by fire Saturday, January 14.

Anderson & Veatch, general contractors, will start soon on the erection of a new warehouse at 520 Upper Seventh street.

FT. WAYNEBUILDERS' EXCHANGE
Member State A. B. C.Max Irmscher.....President
Eph Dailey.....Secretary
825 Calhoun St.

Phone 2001

BUILDING NEWS WORTH WHILE.

Considerable activity along building construction lines has been apparent in Ft. Wayne during the first few weeks of the New Year. For one thing, the unusually mild weather for this season of the year has permitted work on new construction to proceed almost uninterrupted.

Much more important than this, however, the city did not have long to wait this year to see developments of real importance in building. The very first week of the year saw an announcement which is especially significant for local trade and business circles.

The first important piece of building news to crop out was that the Lincoln Life Insurance company, of this city, having outgrown its present quarters on East Berry street, plans to erect a large new office building for its use. The build-

ing is to be thoroughly modern in every respect and is to be erected on the east side of Harrison street, between Douglas and Brackenridge streets. Work on the building will be started late in the spring or early summer.

MOVE FOR NEW CHURCH GETS UNDER WAY.

Much has been said about quite a building program that Ft. Wayne churches have under contemplation. Now to start things off the South Wayne Baptist Church comes forward with the information that the congregation has decided to take immediate steps toward building a new auditorium to cost approximately \$50,000.

Committees are to take the matter in hand at once and get the work under way. The pastor, Rev. James Strachan, has been authorized by the congregation to appoint a committee on building plans and another on building funds.

Upon the completion of the new structure, the present building is to be remodeled, according to present plans. It is to be fitted up for Sunday school rooms and for various gatherings.

INDEED PROMISING.

The factors underlying the rapid evolution which has made Fort Wayne what it is have been greatly augmented in recent years. Competent authorities say that the industrial development of northern Indiana is still in its infancy.

If such is the case there should be a bright building future ahead for the city and her building construction interests. Industrial development will make for more factories, increased population, and these, in turn, will call for increased construction work both in industrial buildings and homes.

READY TO LEAVE FOR CONTRACTORS' CONVENTION.

The delegation from the Ft. Wayne Builders' Exchange, headed by Max Irmscher and Secretary Eph Dailey, will leave Monday for Evansville to attend the Fourth Annual Convention of the Associated Building Contractors of Indiana. This is expected to be the most important meeting ever held by Indiana builders and Ft. Wayne is going to be well represented and have a voice in the deliberations.

INDIANAPOLIS

Building Contractor's Association
Member State A. B. C.

President—Fred W. Junglaus.
C. C. Pierson.....Secretary

5th Floor Chamber of Commerce
Phone Main 0535

MEETINGS.

Executive Committee meets second Tuesday each month.

General Contractors meet second Friday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

Brick Mason Contractors meet every Thursday.

INDIANAPOLIS STEEL MEN LOOK FOR BIG BUILDING REVIVAL.

Revival of the construction of large buildings, both privately and publicly financed is to be witnessed during 1922, according to views of Indianapolis steel warehouse operators. They also expect prices to move upward during the coming few months. Improvement will be slow and will come for those who are willing to give a dollar's worth for a dollar and who are willing to put forth every effort to gain the confidence of the consumer. Strictest economy must be used toward reducing the overhead of all plants, dealers say.

Minimum Prices.

At present prices in the steel trade, dealers say, are near a minimum. During 1921 they declined 35 to 50 per cent. on plates, structural sheets and other grades and during the year when reductions were expected almost daily, comparatively little construction was done, except where necessity demanded it. Business men and public officials, realizing that prices can go little lower if any, are beginning to let the contracts for construction of buildings under consideration for the last two or three years.

Warehouses are preparing for better business by increasing their stocks, which because of small capacity operations of steel mills are necessarily low. Steel mills are increasing the capacity of plants and adding men to working forces, but it will be some time before the output will reach the level above possible shortage, should the demand increase as expected.

There are some inside the trade who expect prices to be shaded slightly below the present level, local operators say, but they believe this expectancy is not well founded because of three factors.

Steel Trade.

These are small surplus stocks, low output capacity because of shortened forces of mill workers and better business conditions of 1922, which are bound to come, and freight rates. Lower rates, they say, will not affect steel prices because mills report that the present prices are made in anticipation of lower freight rates. It is generally acceded, steel men say, that the largest mills of the country are losing heavily at present.

INDIANA A. B. C's. OFFICIALS AT-TEND ILLINOIS CONTRACTORS' CONVENTION.

Secretary C. C. Pierson of the Indianapolis Building Contractors' Association and the Associated Building Contractors of Indiana, Field Representative J. H. Owens, and Attorney Harry Fenton, General Counsel of the State A. B. C's, left for Chicago, Tuesday night, to attend the annual meeting of the Associated Building Contractors of Illinois, January 18th and 19th. While in Chicago they also attended the annual dinner tendered the Illinois contractors by the Builders and Manufacturers Mutual Casualty Co.

BUILDING SUPPLY DEALERS HOLD ANNUAL MEETING.

Several hundred building supply dealers gathered in Indianapolis the past week to attend the annual convention of the Indiana Builders' Supply Association at the Claypool Hotel, it being one of the largest affairs of the kind ever held by the association, drawing the dealers from all sections of the state.

The convention lasted two days during which an interesting program having to do with materials and their uses was put on for the information of the delegates. One of the big features of the convention was the exhibit conducted in connection with the event by many building material manufacturers and their representatives.

Throughout the whole two days' sessions one point seemed to stand out stronger than any other in the various addresses and that was to the effect that building material costs have just about reached bed rock and very few reductions can be looked for in the future.

At the annual election of officers these men were named: J. Frank Smith, Lafayette, President; T. H. Holdeman, Elkhart, Ernest Ellis, Kokomo, C. E. Ellenwood, Ft. Wayne, William Cornelius, Indianapolis, and Morris Clark, Liberty, Vice-Presidents; H. A. Rogers, Indianapolis, Treas.; J. Frank Smith and E. E. Dubbs, Indiana Harbor, Directors. The secretary will be named later by the directors.

CARPENTERS HOLD SESSION AT INDIANAPOLIS.

A general survey of economic conditions and decisions on a number of important problems placed before the body by the local unions in the country made up the principal work of the general executive board of the International Brotherhood of Carpenters and Joiners at a meeting, which convened Tuesday at the national headquarters, 222 East Michigan street, Indianapolis.

The following officers and district representatives were present: General president, William L. Hutcheson; first general vice-president, John T. Cosgrove; second general vice-president, George H. Lakey; general secretary, Frank Duffy; general treasurer, Thomas Neale, all of Indianapolis; general executive board, First district, T. M. Guerin, Troy, N. Y.; Second district, D. A. Post, Wilkesbarre, Pa.; Third district, John H. Potts, Cincinnati; Fourth district, James P. Ogletree, Nashville, Tenn.; Fifth district, J. W. Williams, St. Louis, Mo.; Sixth district, W. A. Cole, San Francisco, Cal.; Seventh district, Arthur Martel, Montreal, Quebec, Canada.

MUNCIE

Associated Building Contractors
Member State A. B. C.

Chas. RowePresident
J. A. Gallivan.....Secretary

314 Main Street

SUGGESTION FOR 1922.

Since other business men seem to realize that the big duty that confronts them is to seek a restoration of business that affairs may be brought back to normalcy, does not the same duty confront the contractor and all those engaged in building construction?

The building season about to dawn bears every evidence of promise and yet the fulfillment of that promise will depend upon the co-operative effort the various building interests exert to encourage the prospective builder. There must be a spirit of "one for all and all for one," a willingness to give and take; an inclination on the part of the contractor, the craftsmen, the building material supply men to do anything, sacrifice, if need be, to get building under way and in full momentum. It is that spirit and that only, which will mean success and ultimate prosperity for all the building construction interests in 1922.

If, instead of the above, each individual interest is going to set out to "get his," regardless there will be another story to tell when the year has run its course.

The contractors, generals and subs, must pull together; each trade may be different, and yet in the end there is a mutual interest between them all that can not be denied. Then, too, there is the contractor and the craftsman, the employer and the employe, the one essential to the other. Now, if these men, despite their positions, insist on pulling apart, rather than together, each will impair the usefulness of the other.

Deadlocks will get the building interests nowhere; let's all pull together.

PROGRESS FELT.

Another year has rolled around; another A. B. C's, convention is at hand. Three conventions so far have marked the progress of the State Association, progress is used advisedly, for progress has been made during the few short years of the existence of the state contractors organization. A baby first has to crawl before it walks; just so is the advance of an organization recorded.

When the state association was first conceived there was much for the promoters to accomplish, yet they went at their task nobly and the achievements of the succeeding years bespeak success. First the contracting fraternity had to find, then weld itself together. That done, came broader policies to be pursued, a greater field to be covered, an increasing scope to the work in hand.

The state association has measured up to its task and Muncie will be on hand next week at Evansville to further lend its aid to the influence for good the parent organization is seeking to exert.

INDIANA CONSTRUCTION RECORDER

FOR
ARCHITECT
ENGINEER

Devoted to the
Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

VOL. III

INDIANAPOLIS, INDIANA, JANUARY 28, 1922

No. 43

INDIANA CONSTRUCTION RECORDER
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the Act of March 3, 1879.

IMPORTANCE OF BUILDERS POSI- TION MADE IMPRESSIVE.

There gathered at Evansville the past week the most representative body of Indiana building contracting men ever brought together in this State. Contractor delegates were present from practically every section of Indiana, representing approximately one thousand general and sub-contractors. The occasion for this assemblage was the fourth annual convention of the Associated Building Contractors of Indiana, held at the Chamber of Commerce, Jan. 24th and 25th, and attracted over one hundred builders who showed a deep and lively interest in the proceedings.

Mayor Benjamin Bosse, Evansville, in his address of welcome to the delegates, showed a keen appreciation of the value of the building industry to the country, and impressed upon the assembled builders the importance of the position in the process of reviving prosperity that had been delegated, by circumstances, to their fraternity. He said in part:

"Gentlemen, it gives me pleasure to welcome to our city a crowd such as you, men of responsibility, for, your responsibility is great. In my association with different groups of business men in the last few years I know of none of these who occupies a more important position at this time than you builders. Building, right now is the big question; the building of homes, for the need of the country is more and better homes.

"Things are all out of joint, they must be gotten back to a sound basis. Confidence must be re-established amongst the building public. We must have more building and it depends on you men, the

attitude you assume and the encouragement you offer for a revival of building construction. You all must work for the time when men can build and, building, know that when their projects are completed the investment has been made judiciously.

"Prosperity is ours if we will work for it, and you contractors have a big part to play in the game. Transportation and freight rates have had a retroactive effect on building construction but it appears that these things will be relieved shortly. However, there are certain prices that some are seeking to maintain on an unwarranted level and such action serves not the country. The country must be served. The building industry can perform this function, and those therein engaged can greatly aid in putting things back to normal if, by their actions, they can convince financial interests that investments can be made in building operations on a sound basis.

"Don't forget that more building means more business for all. Homes, offices, mercantile buildings, call for equipment, furnishings, etc., and to meet this demand factories must resume operations, which will mean more employment for the workers.

"The thing to do is to encourage building, it is up to you men."

Following Mayor Bosse's address, the delegates plunged into the business at hand, the most important of which had to do with the question of a definite policy as regards the arbitration of labor troubles, and the non-cessation of work pending same. Another matter of importance to which considerable time was devoted was the recommendation for the adoption of a new Constitution and By-Laws, this matter being referred to General Counselor Harry Fenton for approval, and a special committee same to be reported back with recommendation to the Executive Board.

The annual election of officers resulted as follows: Prest., F. W. Jungclaus, Indianapolis; 1st Vice Prest., A. E. Kemmer, Lafayette; 2nd Vice Prest., Ross Eshelman, Anderson; 3rd Vice Prest., Walter Fassnacht, South Bend; Secy., C. C. Pierson, Indianapolis.

Michigan City was selected as the site for the 1923 convention.

CONTRACTORS GUESTS AT DE- LIGHTFUL FUNCTION.

Never before have Indiana contractors been more royally entertained than they were at Evansville, Tuesday night, Jan. 24th, when the delegates to the Indiana A. B. C's convention gathered in the main dining room at the McCurdy Hotel,

as the guests at a dinner tendered them by the Builders and Manufacturers Mutual Casualty Co., of Chicago.

The dinner was par excellence, as was the delightful musical program, both instrumental and vocal, that was rendered while the inner man was being satisfied. And still there was more consisting of edifying and informative speeches, the excellence of which it would be difficult to approach and impossible to excel.

In the absence of Mr. Arthur Lanquist, Prest. of the Builders & Manufacturers Mutual Casualty Co., who was in Iowa at a State Contractors' Assn. convention, Mr. C. G. Fanning, Treasurer of the company spoke to the Indiana contractors on the subject of mutual compensation insurance and briefly reviewed the progress that had been made by his company in its endeavor to aid the contractors along the lines of one of their big problems.

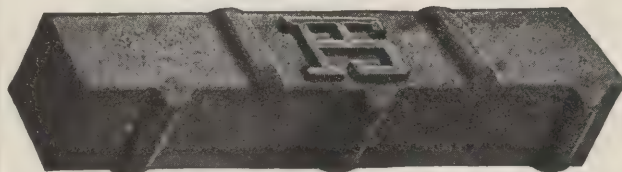
Next followed Chas. Watkins of Muncie, who spoke on "Organization and the Human Element." This was one of the most delightful features of the evening and the message he brought to the contractors went straight to the mark. In language of appealing simplicity, enshrouded with dramatic intensity, the speaker gripped his auditors and held them spellbound as word by word, phrase by phrase and sentence by sentence he drove his points straight home. The substance of his remarks was, that there is one element above all others paramount in business and that one is the human element. All other problems may be whipped into solution, but the human element never; it is always there to confront and must be reckoned with eternally. He pleaded with the contractors never to forget or overlook, in their various organization problems, this human element. He exhorted them to come to understand their men, to know them, to give them a square deal. He said there may be differences of opinions, differences of conditions and so forth, and yet, as Robert Burns said, "A man's a man for a' that." In conclusion, he said that in this great busy day of stupendous organization the world was suffering most from the lack of personal contact and he hoped the contractors would remember this and act accordingly.

Other speakers were: Rev. Leslie Whitcomb, Evansville, "Build Homes, Not Houses"; H. B. Barnard, Treasurer Associated Builders of Chicago, "The Chicago Situation"; Atty. Harry Fenton, Indianapolis, "The Indiana A. B. C.—What It Is Doing"; Harold Van Arman, Evansville, "Address of Welcome"; John Andres, Evansville, was toastmaster.

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News of the Week

The asterisk (*) prefix to an item indicates additional information to report published in previous issue.

INDIANAPOLIS.

Apartment Building: (66 apts.) \$350,000.00. 2 units, 3 sty. & bas. 60x170. No. Pennsylvania. "The William Penn." Architect, George & MacLucas, 1153 Lemcke Annex. Owner, The Northern Realty Co., % Architects. Plans nearing completion. Archt. will award separate contracts: Brick, stone or terra cotta trim, comp. roof, 2 pipe vapor heating system, tile, marble and terrazzo work, hardwood floors.

Amusement Bldg. & 2 sty. top add to garage: \$125,000. 332 No. Illinois St. Archt., private plans. Owner, H. B. & Isaac Marks, 517 So. Delaware St., and the Union Investment Co., G. A. Showalter, Prest., % B. F. Keith's Theater. General contract let to T. A. Moynahan, 207 No. Delaware St. Plans in progress. Start work soon. Brick, steel frame and concrete constr. Will contain bowling alleys and billiard rooms.

***School:** \$125,000. 2 sty. & bas. 124x97. Ridgeville, Ind. Archt., Bass, Knowlton & Co., 801 Hume-Mansur Bldg., Indpls. Owner, Albert Collins, Trustee, Ridgeville. Archt. revising plans. Mature soon.

***Office Bldg.:** \$500,000. 12 sty. & bas. "Roosevelt Bldg.," Ill. & Wash. Sts. Archt., Vonnegut, Bohn & Mueller, Indiana Trust Bldg., Indpls. Owner, The Libby Realty Co., Silas Liebshutz Libby, Prest., W. B. Frankenstein, Louis Leiser, all of Chicago. Plans completed. Struct. steel let to Hetherington & Berner, Indianapolis. Archt. ready for bids on general contract in two weeks.

Apartment Bldg. (3 apts rem. from (Residence.) 2421 No. Ill. St. Archt., S. A. Hastings, R. R. O. Box No. 334, Indpls. Owner, Nick Dold, 2421 No. Ill. St. Plans in progress. Bids will be taken about March 1st. Frame, brick sun porch, steam heating plant, plumbing.

***School:** \$62,000. Lancaster Township, Jefferson County, Ind. Archt., Elmer E. Dunlap & Co., State Life Bldg., Indianapolis. Owner, Chas L. Rutledge, Trustee, Dupont, Ind. (Jefferson county.) Bids were to have closed on February 1st, but owing to a misunderstanding between the owner and the State Board of Accounts bids will be re-advertised for at a later date.

Residence: \$10,000. Irvington. Archt., private plans. Owner, William G. Kay, 5009 East Michigan St. Plans in progress. Stucco.

Traction Line: \$3,000,000. From Rushville, Ind. to Cincinnati, O. Engineer, A. H. Moore, % Owners. Owner, Indpls.

& Cincinnati Traction Co., Chas. L. Henry, Prest., Terminal Bldg., Indpls. Plans in progress. About 70 miles of track, new stations, power plant adds.

Community Houses (2) \$40,000 & \$55,000. Brightwood and Douglas Park. Archt., private plans. Owner, Board of Park Commrs., R. W. Jarvis, Supt. Plans in progress. Brick. Mature in spring.

***Factory:** Denny St. Archt., private plans. Owner, The Alena Steam Products Co., Hume-Mansur Bldg. Owners financing. Indefinite as to when bids will be received.

Contracts Awarded.

***Automobile Service & Sales Bldg.:** 319 No. College Ave., Bloomington, Indiana. Archt., J. Edwin Kopf & Woolling, 402 Indiana Pythian Bldg., Indpls. Owner, Walter E. Hottle, Robert C. Wiles, Kenneth C. May, for the Bloomington-Nash Motor Co., all of Bloomington. Archt. will probably award contract to State Construction Co., Indiana Pythian Bldg., Indpls., within the next few days.

***Bank** (rem. from store room) East Market St. Archt., Chas. Byfield, Peoples Bank Bldg. Owner, The Marion County State Bank, 139 East Market. General contract let to Jos. Sertell, American Central Life Bldg.

Building Permits.

Residence: (double.) \$8,500. 5134-36 Broadway. Owner, Parker Gray, 5018 Broadway. Owner builds. Brick veneer.

Residence: (double.) \$6,000. 441-43 No. Rural. Owner, J. F. Cantwell Co., Lemcke Bldg. Owner builds. Frame.

Residence: (double.) \$5,500. 609-11 Sherman Drive. Owner, John Phrlegley, at site. Owner builds. Frame.

Residence: (double.) \$8,500. 3037-39 N. Delaware. Owner, Jennie Rice, % Contractor. General contract let to Ora C. Pierson, 5445 No. Delaware.

Residence: \$3,700. 4806 Guilford Ave. Owner, R. H. Shelhorn, 2453 No. New Jersey St. General contract let to W. Clay Westall, 2618 No. Dearborn.

Residence: \$5,000. 976 No. Emerson. Owner, Chas. C. Brian, 3802 E. Michigan St. General contract let to Federal Investment & Loan Co., 758 Lemcke Annex.

Residences: (2) \$4,500 each. 222-226 E. 46th. Owner, W. F. Parrish, 2458 No. Delaware St. Owner builds. Frame.

BEDFORD.

***Hotel & Stores:** \$200,000. Archt., Nicol, Scholer & Hoffman, Ross Bldg., Lafayette, Ind. Owner, The Greystone Hotel Corporation, Bedford. Plans in progress. All the stock has been sold and bids will probably be asked for shortly. Brick and limestone.

BLOOMINGTON.

High School (add) & Central Heating Plans: \$175,000 (26 class rooms). Archt.

Alfred Grindle, 122½ No. Walnut St. Owner, Board of Education, Roy O. Pike, Secy. Plans in progress. Brick, stone trim, frpf. constr.

***Store & Apt. Bldg.:** 2 sty. 32x75. Connersville, Ind. Archt., John L. Nichols, Bloomington. Owner, C. M. Spicely, 1502 Grand Ave., Connersville. Plans completed. May mature late winter. Brick.

ELKHART.

***School:** \$60,000. 2 sty. 60x110. Clinton Township. Archt., A. H. Elwood & Son, Elkhart. Owner, W. A. Stiver, Trustee, Goshen, Ind. Owner will advertise for bids in February.

***Hospital** (40 rooms) rem from res. Coldwater, Mich. Archt., A. H. Elwood & Son, Elkhart. Owner, Dr. Robert L. Wade, Fremont, Ind. Owner ready for bids shortly. Brick.

***Residence:** \$15,000. 2 sty. 47x50. Archt., Roy L. Simmons. Owner, Floyd F. Bolling. Owner ready for new bids soon. Brick.

***Residence:** \$12,000. 2 sty. 38x56. Archt., Roy L. Simmons. Owner, E. J. Klick, 1402 So. Main St. Owner taking bids. Brick veneer over frame.

EVANSVILLE.

Factory: (addition) 1 sty. 120x240. Owner, Bucyrus Steam Shovel Plant. Ready for bids. Brick, mill construction.

Housing (100 houses) 4 rooms each, not modern. Idlewild & Varnerton Additions. Owner, West Side Insurance & Realty Co., H. M. Dickman, Mgr. Start work on 6 houses at once. Frame.

***Office Bldg. & Warehouse:** \$30,000. West Franklin St. Archt., H. Gilbert Karges, Furniture Bldg. Owner, Cherokee Bottling Co., 320 Lower 2nd St. General contract let to M. J. Hoffman Constr. Co., Furn. Bldg., Evansville. Start work soon. Brick, mill construction.

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passengers and freight. The road nearly 500 stations thru its connections in Ohio, Kentucky, Illinois and Michigan. Tickets can be purchased, or freight shipped. Call on any regular agent of the township. **School:** Piercetown, Ind.

Archt., Griffith & Goodrich, Ft. Wayne, Ind. Owner, A. J. Menzie, Trustee, Piercetown, Ind. Plans in progress. (note selection of new architect.)

School: (4 rooms). Vawter Park, near Syracuse, Ind. Archt., name withheld. Owner, Stephen Greeman, Trustee, Turkey Run Twp., Syracuse, Ind. Preparing sketches. Brick.

***Office Bldg.:** \$80,000. 2 sty. & bas. (Continued on Page 9)



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MAIN 7170



No. 6 C. H. & E. Saw Rig



No. 3 C. H. & E. Hoist

Arch., Chas. Weatherhogg, Citizens Trust Bldg. Owner, Wayne Oil Tank & Pump Co. Ft. Wayne. Plans in progress. Ready for bids in February.

*Church (add) \$50,000. Archt., Guy Mahurin, Lincoln Life Bldg. Owner, So. Wayne Baptist Congregation, L. C. Yapp, Chmn. Bldg. Comm., 1150 Packard Ave., Ft. Wayne. Plans in progress. Brick, stone trim.

and general alterations.

Alexandria: Portable Gymnasium. \$50,000. 1 sty. Owner, Board of Education. Will advertise for bids soon. Frame.

***Decatur:** County Hospital, \$85,000. Archt., Oscar Hoffman, Decatur. Owner, Board of County Commissioners. Residence: \$15,000. 2 sty. & bas. Upland, Ind. Elmer E. Dunlap & Co., Harrison Bldg., Kokomo. Owner, Dr. F. L. Ressler, Upland, Ind. Owner receiving bids. Brick veneer over frame.

Contracts Awarded.

***Armory:** \$40,000. 2 sty. 177x60. Archt., Elmer E. Dunlap & Co., Harrison Bldg., Kokomo. Owner, State Armory Board, State House, Indpls. General contract let to Braun & Whetsell, Kokomo. Htg. to Lane-Pyke-Werkhoff Co., Lafayette. Plmg. to Braun & Auleitner, Ko-

komo. Elec. work to Carter Elect. Co., Kokomo. Start work shortly.

SOUTH BEND.

***School:** \$600,000. 1 sty. & bas. 300 x 200. "Nuner Elementary." Archt., Freyermuth & Maurer, 654 Farmers Trust Bldg. Owner, Board of Education, W. W. Borden, Prest. Owner will readvertise for new bids February 1st. Exact date not set.

***Church:** \$75,000. 1 sty. & bas. 65x90. Archt., Austin & Shambleau. Owner, Sunnyside Presbyterian Church, Rev. M. M. Rodgers, Pastor. Archt. ready for bids about Feb. 15th.

***Ice Plant:** 90x90. Archt., private plans. Owner, South Bend Brewing Co. General contractor, H. G. Christman Co. On Feb. 1st.

***Church:** \$40,000. Archt., Honeywell & Parker, State Life Bldg., Indpls. Owner, First Church of Brethren, P. J. Stanley, Chmn. Bldg. Comm. General contractor, Hay & Weaver, South Bend. Foundation lin. Will resume work shortly.

Residence: \$6,500. 1116 East Honeywell, private plans. Owner, George Miller, 826 East Sorin St. General contract let to Home Constr. Co. Frame.

***Residence & Garage:** \$35,000. E. Jeff. Blvd. Archt., E. W. Young, Dean Bldg.

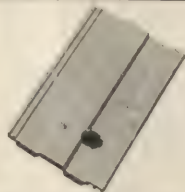
TERRE HAUTE.

Power Plant (addition & new equip.) Terre Haute. Owner, Terre Haute, Indpls. & Eastern Traction Co., Terminal Bldg., Indianapolis. Contemplated.

***Hospital** (add) \$200,000. 4 sty. 45 x 120. Archt., J. G. Vrydagh, 1515 So. 8th St. Owner, St. Anthony's Hospital, 1021 So. 6th St. General contractor, John A. Schumacher Co., 818 E. St. Clair St., Indianapolis. Foundation in. Will resume work in spring.

For repairs and addition to the present **Church:** \$75,000. 2 sty. & bas. Archt., Liese & Ludwick, 618 Temple Bldg., Danville, Ill. Owner, Methodist Episcopal Congregation, H. P. Iley, pastor, Whit-

(Continued on Page 11)



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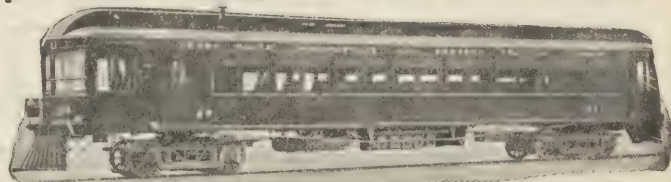
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ing, Ind. Plans in progress. Brick and stone.

MISCELLANEOUS CITIES.

Auburn: Hotel (add. & rem.) \$50,000. "Swineford Hotel." Owner, Swineford Hotel, P. W. Haifley, Mgr. Plans in progress. Work will consist of a side addition, new front, new lobby, new steam heating plant, dining room, baths and general alterations.

Alexandria: Portable Gymnasium. \$5,000. 1 sty. Owner, Board of Education. Will advertise for bids soon. Frame.

***Decatur:** County Hospital, \$85,000. Archt., Oscar Hoffman, Decatur. Owner, Board of County Commissioners and Board of Hospital Trustees, A. J. Smith, Decatur, Frank Hieman, Decatur. Plans completed. Owner will advertise for bids about February 10th.

***Frankfort:** Theatre (fire rebuild) "Blynn Theatre." Archt., Rodney Leonard, Peoples Life Bldg. Owner, M. L. Connelly. Plans in progress.



Greencastle: Publishing Bldg. (rem.) Archt., private plans. Owner, Greensburg Daily News. Plans in progress. General alterations.

Jeffersonville: Masonic Lodge Bldg. Archt., Loomis & Hartman, Todd Bldg., Louisville, Ky. Owner, Masonic Lodge, T. J. Lindley, Chmn., Jeffersonville. Plans in progress. Brick.

***Laporte:** Residence, \$12,000 2 sty. 30 x 60. Archt., Geo. Allen & Son, 721 Main St. Owner, George Gross, Archt. taking bids to close Feb. 1st. Brick over hollow tile.

***Marion:** Hospital (80 beds) \$100,000. Archt., Schenck & Williams, Dayton, O. Owner, U. S. Govt. Bd. of Managers, National Home for Disabled Soldiers, Geo. W. Wood, Prest., Dayton, Ohio. Owner receiving new bids.

Milford: Garage, \$15,000. Archt., private plans. Owner, Josh Estep, Milford. Contemplated. Probably mature about March 1st.

Monticello: Consolidated school, Union Township, White County, Indiana. Owner, S. C. Orr, Trustee, Monticello, and Board of Education, Monticello. Citizens vote on building new building Feb. 14th. If carried a joint school will be built, if defeated Monticello will build a new grade school. Archt. not selected.

***Muncie:** Science Hall, \$250,000. Archt. Cuno Kibele, 335 Johnson Bldg., Muncie. Owner, Indiana State Normal School, L. N. Hines, Prest., Muncie. Plans completed. Owner will advertise for bids at once, definite closing date not set. Brick.

***Portland:** City Community Bldg. \$40,000. 2 sty. 100x100. Archt., Nicol, Scholer & Hoffman, Lafayette, Ind. Owner, Chamber of Commerce, Keith Spade, Secy., Portland, Ind. Plans completed. Ready for bids about Feb. 15th. Brick and steel.

ROADS—BIDS WANTED.

Angola: 2 gravel roads, \$7,912.30 and \$9,086.15. Frank O. Watkins, Auditor. Bids close Feb. 6th at 1:30 p. m.

Bedford: 2 roads. Wm. M. Dennison, Auditor. Bids close Feb. 6th at 1 p. m.

Bluffton: Stone road, \$7,527.12 E. B. Fishbaugh, Auditor. Bids close Feb. 6th at 10 a. m.

Columbus: Gravel road. Ray Henderson, Auditor. Bids close Feb. 7th at 10 a. m.

Cannelton: Limestone or gravel road, 15,840 feet. Wm. Rickenbaugh, Auditor. Bids close Feb. 6th at 2 p. m.

Decatur: 4 macadamized roads. Owner, Martin Jaberg, Auditor. Bids close Feb. 7th, at 10 a. m.

Evansville: Rock and screenings road, \$40,619. Owner, W. M. Copeland, Auditor. Bids close Feb. 6th.

Lawrenceburg: Broken stone roads (3) 67,665 ft. Owner, A. E. Jackson, Auditor. Bids close Feb. 6th, at 12 noon.

Marion: 2 crushed stone roads, 13,250 and 10,633 ft. Owner, A. D. Hunt, Auditor. Bids close Feb. 7.

Noblesville: Gravel road (2). Owner, C. C. White, Aud. Bids close Feb. 7th at 10 a. m.

Plymouth: Gravel road. \$6,000. Z. M. Tanner, Aud. Bids close Feb. 7 at 2 p. m.

Rockport: 5 roads. Owner, R. W. Richards, Aud. Bids close Feb. 7th at 2 p. m.

Rushville: 2 gravel roads, \$54,213. Owner, Phil Wilk, Aud. Bids close Feb. 6th at 2 p. m.

Shoals: Road. Owner, B. L. Newland, Auditor. Bids close Feb. 6th.

Terre Haute: Road, \$42,472.49. Owner, Chas. M. Lee, Auditor. Bids close Feb. 7th, 11 a. m.

Valparaiso: 3 gravel roads, \$119,298.10. Owner, B. H. Kinne, Auditor. Bids close Feb. 7th.

Versailles: 6 roads, 3 miles, 14,270 ft., 12,000 ft., 15,694 ft., 13,000 ft., 2,890 ft. Owner, W. D. Robinson, Auditor. Bids to Feb. 6th.

Wabash: 2 gravel roads. Owner, Ben Banister, Auditor. Bids to Feb. 7th at 10 a. m.

Williamsport: Gravel road, \$17,502.47. Owner, W. H. Stephens, Auditor. Bids close Feb. 6th.

Winamac: Gravel road, 45,110 ft. Owner, Jerome C. Howe, Auditor. Bids close Feb. 7th.

Williamsport: Gravel road, \$9,403.66. Owner, Wm. H. Stephens, Auditor. Bids close Feb. 6th.

Knox: Gravel road. Owner, Henry A. Smith, Aud. Bids close Feb. 6th noon.

Paoli: 6 roads, 77,606 feet. Owner, P. M. Stephenson, Auditor. Bids close Feb. 6th at 2 p. m.

Fowler: Gravel road, 15,830 feet. Owner, Sherman N. Geary, Aud. Bids close Feb. 6th, 1 p. m.

Rushville: Gravel road, Phil Wilk, Aud. Bids to Feb. 6th.

ATTENTION.

Certain trade journals and daily building reports have reported that we have the general contract for building the proposed factory building for the Alena Steam Products Co., Indianapolis. This report is not true, we do neither general contracting nor architectural work.—James H. Carnine. 808 Fidelity Trust Building, Indianapolis, Indiana.

WANTED.

Position:—Architectural draftsman desires position in Indianapolis office; thoroughly competent; 14 years all around experience with Chicago architects. Address, Draftsman, % Indiana Construction Recorder, 312 E. Market St., Indianapolis, Ind.

Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field. Copy should reach us, at the latest, Wednesday of the week of publication.

SCHOOL HOUSES.

NOTICE TO CONTRACTORS.

Notice is hereby given that the Trustee and Advisory Board of Curry School Township, Sullivan county, Indiana, will receive sealed bids at the office of said Trustee in the Colonial Theatre Building in the town of Farmersburg, Sullivan County, State of Indiana, until Tuesday, February 7th, 1922, at 1:30 p. m., for the following construction work, to-wit:

For repairs and addition to the present school building in the town of Farmersburg, Curry School Township, Sullivan County, Indiana; also for the erection of a new school building at the north edge of the town of Shelburn, said Curry School Township, Sullivan County, Indiana, on land owned by said township, lying along the new Dixie Bee Line Highway.

Separate bids will be received on all work and materials in each class upon each of the proposed buildings as shown in the plans and specifications.

Said buildings are to be completed and ready for occupancy on or before August 15th, 1922.

The estimated cost of the repairs and addition to the said school building at Farmersburg, Curry Township, Sullivan County, Indiana, is \$40,000.00. The estimated cost of the erection of the said new school building at Shelburn, Curry Township, Sullivan County, Indiana, is \$50,000.00.

The right to reject any and all bids is expressly reserved. The bids must be in writing and on the blank form provided by the trustee and must be accompanied by a certified check or cash for 4 per cent of the bid, guaranteeing that the bidder will execute contract and bond in the full amount of the bid or bids to secure the completion of the work if contract is awarded to him. Plans, specifications and estimates of said work and blank bid forms may be obtained for use of each bidder from said Trustee at Farmersburg, Indiana, or from Johnson, Miller & Miller, Architects, 30 North Fifth Street, Terre Haute, Indiana.

Dated January 7th, 1922.

BASIL THOMAS,
Trustee Curry School Township,
Sullivan County, Indiana.

Jan. 14-21-28.

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Nokomis, Illinois

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Heating and Ventilating Contrac-
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with the D-I Ventilating and Hu-
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and was erected in 1919.



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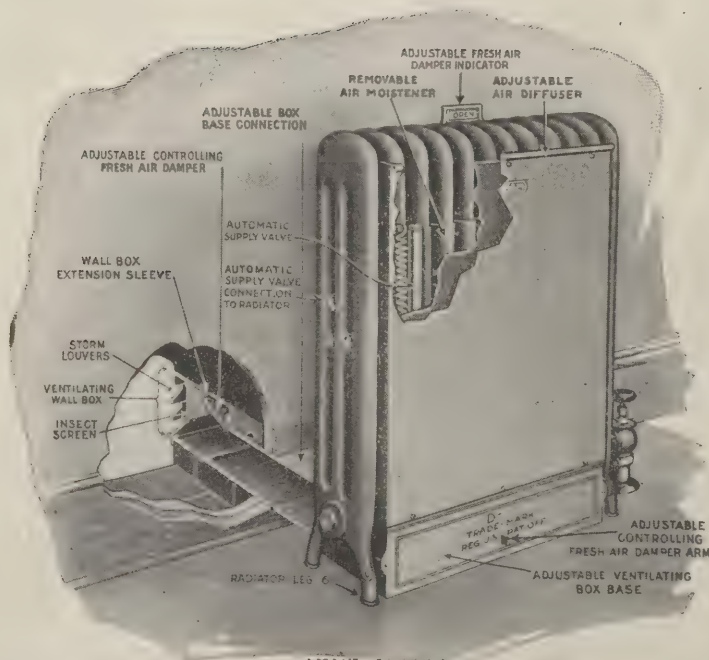
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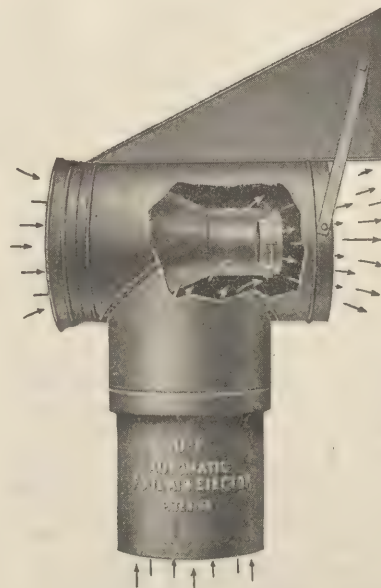
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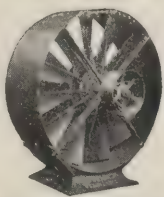
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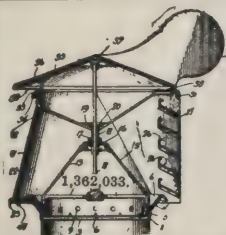
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Official Paper

Indiana Society of Architects

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SOCIETY INVITED TO AID IN STANDARDIZATION OF ADVERTISING.

Regarding architects and the best way to get advertising matter into shape so that it will appeal when it arrives at their offices, Mr. Knickerbocker Boyd of the Structural Service Bureau of Philadelphia, in speaking to Indiana architects some few weeks ago, advised that the architects, through their organizations, can aid greatly in facilitating matters by advising the manufacturers of the manner and character of the advertising that is most desirous for filing purposes.

It was suggested that, by doing away with the wasteful advertising costs now in vogue, building material costs could be reduced.

The Indiana Society of Architects members' were invited to send suggestions, combined with experiences in the assimilation of manufactured materials, to the Structural Service Bureau at Philadelphia.

THUMB NAIL SKETCHES.

"How good an architect are you, Do you feel your responsibility to your neighbor, your city, your state, your country and your professional society, Are you doing your full share in the job of making things right which are known to be wrong?"

Herbert Hoover, Secretary of Commerce, in a public statement recently, called the attention of the Nation to the fact that Chicago was the only important city in the United States whose mayor had refused to call a conference to consider and act on the unemployment situation.

Of course, it is possible that the Mayor of the great City of Chicago has not been advised that there is any one out of work.

P. M. Murphy, Chairman of the Arbitration Committee of the Master Plumbers Association, testified before the Dailey Legislative Committee on November 2 that the Journeymen Plumbers of Chicago had by resolution forbidden its members attending any ball games so long as Judge K. M. Landis is the commissioner of organized base ball. Can you beat this?

"Trade agreements of the unions are full of funny things, but the clause regarding apprenticeship in restricting mechanics is criminal. It's the greatest crime against young men in the twentieth century. Where did they get the right to say to a young man, 'You shall not learn a life trade?' Thousands of young men are growing up without trades, a condition that threatens the very life of our country. How can they claim to be patriotic, sane, decent business men in the face of this injustice? The union's greatest stumbling block is its coercive measures. All men should have equal right to work without reference to their affiliation with organized labor."—N. J. Kennedy, President Associated Employers, of Detroit, in an address in Cleveland on September 21st.

The big thing seems to be, how to bring the employer and employee together for a satisfactory settlement of their disputes?

THE ARCHITECT AND READING.

While it is true that that there are only twenty-four hours in each day, yet it would seem that every architect should devote a few minutes of each day to a perusal of the professional and trade publications. It has been alleged that architects as a class devote less time to the reading of current professional and trade literature than any other class of men, and while it may be true that an architect can devote the necessary time to a careful reading of all such publications reaching his desk, yet there are a few important publications that every architect should read and study.

Perhaps those architects who are recognized as being preeminently the leaders of their profession may not need to keep so closely in touch with current happenings either in the professional or in the business world, but certainly the younger architects should subscribe for at least the better architectural and trade journals and keep thoroughly posted on current news affecting their profession and their business.

The most successful men are the students—men who realize that as the world progresses they must progress likewise, the young architect who will systemati-

cally read and study not only his professional journals but the leading trade journals will become a better architect and be better able to serve his clients acceptably than the architect who assumes when he has received his certificate to practice that he knows it all.

If architects are to maintain their assumed place in the building world they must keep a little in advance, otherwise they will lose in the race for supremacy and others better trained will be recognized as the real leaders in the industry. —(January issue of the Illinois Society of Architects Bulletin.)

FURTHER ANSWERS TO CRITICISM OF THE ARCHITECTURAL PROFESSION.

Last week the Recorder carried on the Architects' Page a composite answer that had been compiled from a number of replies that were received by a national architects' association in answer to certain criticisms that had been published relative to the laxity of the architecture profession.

Owing to the limited space at our command we were forced to hold out a couple of these replies which we are herewith printing this week:

Incompetence—probably human average. License law would probably have an improving tendency. Business ability is gained in spite of imaginative quality which is naturally inconsistent in an individual. Sometimes gained by a group, as a firm, with varied duties, one design, one construction, one management. The organized profession is urging responsibility for complete documents and for errors or lacks in them. Gradual education will help. Recent years have developed need for completeness in details, not necessary 30 years ago.

Sacrifice Practicability to Beauty—Doubtless does frequently. More frequently the reverse, but these not commented on. Every plan is a compromise and expression of and appreciation of Beauty is a personal matter. Buildings and Apartments, only recently have been studied by owners systematically. Tendency of owners to say "enough of these experts." Wrong tendency to use contractors to make plans.

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Official Paper

Building Trades Employers Ass'n OF THE CALUMET DISTRICT

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If You are Contemplating any kind of Construction Work, you should Communicate with
General Office for Information

MEETING NIGHTS

General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.

FULL ATTENDANCE DESIRED

There will be a special meeting of the Building Trades Employers' Association of the Calumet District at headquarters, Room 108, Citizens National Bank Building, Hammond, Tuesday, Jan. 31st. This will be a most important meeting and all members are urgently requested to be present.

GOOD TIME 'N EVERYTHING.

Exuberant enthusiasm, we believe, is pardonable under the circumstances, hence, this effusion.

Some feed, some music, some speakers, and, some crowd, went to make the journey to Chicago to attend the annual meeting and dinner of the Builders' and Manufacturers' Mutual Casualty Co., well worth while and our crowd would have hated to have missed it now that we participated. The management of the insurance company certainly deserves a lot of credit for the splendid showing it was able to make.

Everyone present was fully impressed with the meaning of the word mutual and the enthusiasm and interest created among the members, the contractor policy holders, was real and spontaneous.

Nine of the B. T. E. A. of this district, together with the secretary, attended the Chicago affair and surely enjoyed every minute of the time. Now we are all looking forward to the next one with eagerness. A great many contractors who had

never attended one of the B. & M. events realize now what a great and good thing this company is for the contractor. Some day the contractors will awaken to the fact that by placing their compensation with "THEIR OWN COMPANY" they will not only get it cheaper, but will aid greatly in strengthening and building up their own contractors' associations.

BUSINESS PICKING UP.

Praises be! Several nice sized projects have been put out for bids in the last few days and if the figures are anywhere near satisfactory contracts should be let within the next few weeks.

THEY ALL TOPPLE SOONER OR LATER.

They all take a tumble sooner or later. No champion is immune. What we started out to say was that Secretary Cole has had to give way to a new speed record. That genial contractor, John Gohman, now wears the association speed belt. He loaded a lot of our contractors in his car the other day and made the trip to Chicago in fifty minutes despite the snow that was on the ground.

LOST, BUT WHY?

It is reported that the reason for some of the boys getting home late from the Chicago dinner affair the other night was because a couple of the drivers lost their way. Wonder what the trouble was and where they were; we know of nothing at the banquet that would confuse a driver when it came to picking the right road.

GARY CONTRACTORS AROUSED.

We have information from Gary to the effect that the contractors over there

have come to and are going to seek to have the Landis Wage Award enforced in that territory. Go to it boys!

WAFTED FROM ILLINOIS A. B. C's CONVENTION.

Plans to open a wholesale market for building materials and the Landis wage award were indorsed in a resolution adopted yesterday by the Associated Building Contractors of Illinois. Other resolutions condemned the present licensing of journeymen plumbers and the existing mechanics' lien law.

John C. Wuellner, who was elected president of the contractors' organization, declared the licensing of plumbers encouraged local monopolies on plumbing work.

"The open market for materials," he said, "is aimed to remove the obstructions to carload purchases, which would reduce, in a measure, building costs."

PASSING THE BUCK.

The Calumet Citizens Committee proposition is making some progress but it is slow work. The B. T. E. A. committee has experienced considerable difficulty in securing the right men to accept committee appointments. The business men have expressed their approval of the move that has been launched, but, when it comes down to the scratch, they wriggle around and suggest that some one else be named to take an out and out stand on the committee, no one seems to be willing to assume the responsibility that a committee appointment would entail. Those back of the move have not given up hope for there are indications that the proposition will be put over before long.

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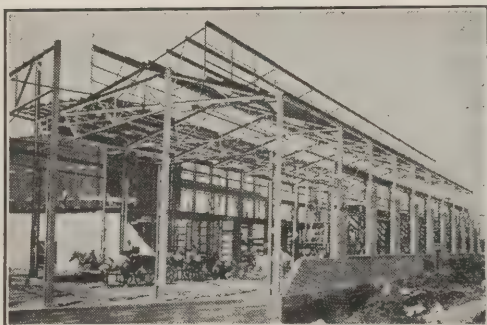
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Official Paper

Associated Building Contractors of Indiana

FRED W. JUNGCLAUS, President
Evansville

C. C. PIERSON, Secretary
Indianapolis

ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller.....President
Chas. Scarborough.....Secretary

327 Sycamore Street
Phone 536

INTEREST OF PROSPECTIVE BUILDERS GROWING ACCORDING TO INQUIRIES.

Contracts for new homes, along with numerous inquiries concerning new plans and designs at this season of the year, tends to bear out the prediction of expert statisticians that 1922 will surpass the record home building year of 1921 by 10 per cent. And even at this rate of building these same experts say it will take ten years to catch up with the housing shortage in Evansville.

MAYOR WOULD INAUGURATE EXTENSIVE IMPROVEMENTS.

If Mayor Bosse has his way Evansville should be in for several years of considerable building of public structures, many engineering improvements, and park extensions.

The program he advocates for his new term is along these lines:

Issuance of \$400,000 in six year bonds at 5 per cent immediately, \$100,000 for the water works department and \$300,000 for public improvements.

Payment of cash for the \$91,000 Helfrich addition to Mesker park instead of in ten equal payments as the mayor recommended last year.

An east side high school, equipped with a grade addition to eliminate the Bedford portables.

Accelerated asphaltting of city streets, with from six to 10 miles on the 1922 program.

Hard-surfacing of a ridge road through Mesker park and the Buchanan road back of the Salt pool; also, the building of a new road to the water works.

Extension of Sunset park.

Municipal river terminal.

Howell and Ingleside sewer and sewer for Howard Roosa school district.

Addition to city hall to occupy either the old police station or the No. 1 hose company site.

New \$100,000 supply pipe from the water works.

Shelter house on Francis Joseph Reitz grounds on Coal Mine hill and further improvement of Francis Joseph Reitz high school.

Purchase of downtown property, if need be, for comfort stations.

Viaduct across Pigeon creek at Blank-

enburg connecting with Buchanan and Cynthiana roads.

Golf links, bathing pools, lagoons and other recreational features on the Helfrich park tract and development of Mesker park under M. H. West of Chicago, park builder and designer; a 40-acre wooded tract to be preserved.

Swimming pool at Emma Roach school.

CITY PLANNING COMMISSION TO INTEREST SELF IN SCHOOL BUILDING PROGRAM.

The new city planning commission is preparing to get into action at once. The city has under contemplation the erection this spring of a new high school and another new grade school building and the commission is going to take a hand in these matters and work out what it considers the most advantageous sites for these structures.

CHIPS AND SHAVINGS.

These cities had delegations of contractors at the builders convention at Evansville this week: Anderson, Ft. Wayne, Hammond, Indianapolis, Kokomo, Lafayette, Marion, Muncie, Peru, Scottsburg, South Bend, Terre Haute, Warsaw, Vincennes.

The visitors were well taken care of by the local reception committee composed of J. R. Anderson, Wm. Abeler, M. Elpers, C. E. Jett, and Charles Vaught. These men had autos at the depot ready for the delegates as they arrived and quickly saw that they were as comfortably located.

All the delegates were loud in their praise of Evansville's cordial hospitality.

FT. WAYNE

BUILDERS' EXCHANGE
Member State A. B. C.

Max Irmscher.....President
Eph Dailey.....Secretary
825 Calhoun St.

Phone 2001

NOW IS THE TIME TO PLAN THAT NEW HOME; CONDITIONS TO FAVOR BUILDING.

The opening of the new year brings a nation-wide renewal of home-building discussion. With the spring building season only a few months off, this is the time for fire-side planning and visualizing the new home with all of its innate appeal to the best instincts of men and women. Many thousands of people have dreamed of that beautiful home that some day they intend to build. But year has followed year and the joys of

the new home have never been realized.

Will 1922 be a good year to build a home? Experts declare that it will be. For practically all building materials are down to as near pre-war levels as they are likely to go under the new conditions confronting the world. This is especially true of lumber which is being produced at almost pre-war cost and is being sold by retailers generally at figures as low as the present high cost of handling and transportation will permit. In the very nature of things lumber is expected to advance because of the decreasing supply of forest timber. The man who builds of wood now may be reasonably sure that in the long run he is fully protected in his investment.

But suppose some items of construction do become cheaper. The man who lives in his own home can save enough in rent in a single year to offset any likely temporary reduction in materials, and after that he may be reasonably sure his home cannot be duplicated for less than it cost him. Build now, is the advice of those who know building conditions. And already there are indications of such a renewal of building that probably by the middle of the next building season an advance in the general cost of materials will set in that will represent substantial profit to those who take advantage of the building conditions of early spring.

WINTER BUILDING HOLDING UP AND SPRING PROSPECTS GOOD.

Building construction in Ft. Wayne continues right along, the new work cropping out to take the place of that which reaches completion. Especially is this true of the residential work, permits for new house construction being continually issued at the city building inspection department. There is at this time almost a normal amount of building in progress considering the season of the year.

The local architects are busy on prospective plans and everything appears to be favorable to another record year locally. This favorable prospect, however, depends to a great extent upon the ability of prospective builders to funds. If the local financial interests will look with favor upon building investments, every Fort Wayne contractor and building craftsman should have no trouble keeping busy in 1922.

FT. WAYNE WELL REPRESENTED

Those in the Ft. Wayne party of contractors who attended the A. B. C's. convention at Evansville were: Max Irmscher, Eph Dailey, Fred Rump, Paul Wehrenberg, Theo. Buesching, Victor Kramer, Al Kettler, Jas. McMullen, Joe Martin, Wm. Schenkle, Harry Hattersley.

INDIANAPOLISBuilding Contractor's Association
Member State A. B. C.President—Fred W. Junglaus.
C. C. Pierson.....Secretary5th Floor Chamber of Commerce
Phone Main 0535**MEETINGS.**

Executive Committee meets second Tuesday each month.

General Contractors meet second Friday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

**RETIRING BUSINESS INSPECTOR
ISSUES INTERESTING
REPORT.**

During the four years just passed the building department at Indianapolis issued a total of 27,340 permits for new buildings representing an expenditure of \$46,288,361.00.

From a period of depression in 1918 when the total valuation of permits was four and one-half million dollars, the building activities have grown until the total to date for 1921 is approximately sixteen million dollars.

Dwelling construction grew from 303 permits in 1918 to 1,311 permits in the first three quarters of 1921 with a probability that 1,500 permits for new dwellings will have been issued by the end of the year.

1921 was a record-breaker. In the first three quarters of the year more permits were issued than in any full year prior to this time. The previous high record for one month was 811 permits. In each of five months during 1921 more than 1,000 permits have been issued.

The proportion of dwellings to other construction has increased considerably during 1921, dwelling construction now exceeding any other in valuation.

The personnel of the department has not been enlarged to take care of the increased volume of work. Consequently the average number of inspections for each permit has dropped from three to two. In the department there is a building commissioner, three building inspectors, an elevator inspector, a chief clerk and a stenographer.

The department has, during its years of service, completely rewritten the elevator ordinance, made a large number of improvements in the building code and was of assistance in securing the passage of the shingle roof ordinance.—(Report of retiring City Building Inspector Walter B. Stern, Indianapolis.)

**BIG ATTENDANCE AT LUMBER
MEN'S CONVENTION.**

It was a real convention that the Indiana Retail Lumber Dealers' Association put over last week in Indianapolis when they gathered for their thirty-eighth annual session, there being approximately four hundred in attendance. In addition to these many material supply men attended the convention they having numerous and sundry exhibits of their wares for the benefit of the lumber dealers many of whom stock building ma-

terial in connection with their lumber business.

There was a wide range of subjects discussed following addresses by many prominent men connected with the lumber industry of the country. These discussions dealt with advertising, hints for better business, association work, price trend indications, standardization of stock sizes, the new lien law, overhead expense, building construction conditions.

Retiring president George F. Osterhage, referred, in his address, to the abusive high prices that had been indulged in about the country and the condemnation this practice had brought down upon the dealers connected with building supplies, however, he said that while the accusation was true as applied to certain sections of the country it did not apply to Indiana.

The convention was enlivened by entertainment furnished the first evening of the session by the lumber salesmen's association, and the closing evening of the convention was marked by a dinner dance given by the dealers' association at the Claypool Hotel.

The annual election of officers resulted as follows: President, Willis B. Dye, Kokomo; Vice President, Charles Wolflein, Evansville; Secretary, Clayton D. Root, Crown Point; Treasurer, B. M. Forbes, Indianapolis; Directors, G. F. Osterhage, Vincennes; O. D. Haskett, Indianapolis; Ed. Monger, Lafayette.

**BRICK MANUFACTURERS
ASSEMBLE FOR ANNUAL
POW-WOW.**

Brick makers from all over the U. S. gathered in Indianapolis the past week to attend the five days' session of the National Brick Manufacturers' Association at the Claypool Hotel. In addition to the convention proper, there were various brick exhibits, theatre parties, and a dinner dance Thursday evening for the delegates and guests.

The first business session was held Wednesday afternoon. Mayor Lewis Shank delivered the address of welcome and L. L. Stephenson of Lovick, Ala., responded. W. E. Dunwody of Macon, Ga., president of the association delivered the president's annual address, and following the reports of committees, officers for the coming year were elected. Ross C. Purdy of Columbus, O., secretary of the American Ceramic Society was the speaker at the first session.

The second business session was held Thursday morning. The speakers were E. W. McCullough of Washington, manager of the fabricated production department, Chamber of Commerce of the United States; A. V. Sturgeon of Suffolk, Va.; Major E. Gates and Frank D. Chase of Chicago. The speakers at the third session Thursday afternoon were Marion W. Blair of Murphysboro, Ill.; George M. Krick of Decatur, Ind.; Will P. Blair of Cleveland, O., and G. B. Luckett of Crawfordsville, Ind. The speakers at the last two sessions on Friday were S.H. Ingberg of Washington; H. B. Hall of Milwaukee, Wis.; William Hanley, Jr., of Bradford, Pa.; J. Stoke, Jr., of St. Louis; Eben Rodgers of Alton, Ill.; Raymond C. Penfield of New York; H. T. Shelley of Pittsburgh, Pa. Following each address there was a general discussion. On Saturday a number of trips to local plants were made.

MUNCIEAssociated Building Contractors
Member State A. B. C.Chas. RowePresident
J. A. Gallivan.....Secretary

314 Main Street

**RESPONSIBILITY TO THE PUBLIC
MUST BE HELD PARAMOUNT.**

One of the most important impressions that he hoped would be gained from the Cleveland convention of the National Association of Building Trades Employers Assn. was set forth as follows by President Walter Klie:

"Collective bargaining can only be justifiable, and consequently survive, where it fully recognizes collective responsibility to the public.

"Any agreement arrived at between members of our association and their employees must have equal regard for the welfare and interest of the public, the employe and the employer. Any short-sighted, selfish policy which gives by collusion, by strength or by opportunity due to temporary conditions, an undue advantage to either party to such an agreement, at the sacrifice of the other and especially against the interest of the public, will act like a boomerang and eventually destroy those involved. We must keep working for a recognition of the simple fundamentals of life, the knowledge that cleverness and smoothness are not nearly so reliable and efficient in securing results worth while and lasting as plain honesty and fair play.

"We must establish confidence in the minds of our fellow workers and employees and the public by deserving it and organized labor would do much for itself by recognizing these same facts and by governing itself accordingly.

"I do not believe any large organization of men, whether they be employers associations or labor unions, would ever go very far wrong on important issues, if the rank and file took sufficient interest to acquaint themselves with the matter at hand and then were permitted free opportunity of expression, through discussion and ballot."

**BUILDING INTERESTS MUST ACT
IN CLOSER UNITY.**

While speaking of the work of the National Board of Jurisdictional Awards, President E. J. Russell, of that board, said to the contractors assembled at the Cleveland convention:

"It is well for us all to consider the conditions of the building industry today. We are almost in disfavor, due not to our activities, but our blindness in failing to act as a unit. The second largest industry in the United States finds itself helpless and crippled. It needs, and that badly, a survey of its good and bad points and the formulation of a constructive policy which should be framed to benefit the building public and make construction attractive. We have been ill a long time—we need to take our medicine and recover, and to justify our existence.

"Few realize this. For a long time the architects did not realize it. They turned thumbs down for the rest of the industry. But that day has passed and the architect knows that he is only an essential part of the industry.

INDIANA CONSTRUCTION RECORDER

FOR
ARCHITECT
ENGINEER

Devoted to the
Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

VOL. III

INDIANAPOLIS, INDIANA, FEBRUARY 4, 1922

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News of the Week

The asterick (*) prefix to an item indicates additional information to report published in previous issue.

INDIANAPOLIS.

*Bank & Office Bldg.: \$1,000,000, 12 sty. 123-127 E. Market St. Archt., Fermor S. Cannon, Railroad Men's Savings & Loan Bldg., 21 Virginia Ave. Mechan. Engr., Ammerman & McColl, Occidental Bldg. Owner, J. F. Wild & Co., 123 E. Market St. Archt. ready for bids, same to close Feb. 28th. Face brick, frpf. constr.

Residence: 2 sty. 46x30. Broadway nr. 44th street. Owner, F. J. Appel, care archt. Plans in progress. Frame shingle roof, furnace htg., plmg. fix., hardwood flooring, tile flooring, white enamel finish.

*School of Commerce & Finance Bldg.: \$350,000. Bloomington, Ind. Archt., Robert Frost Daggett, 959 Lemcke Annex, Indpls. Owner, Indiana University, John W. Cravens, Secy. Board of Trustees, Bloomington. Plans nearing completion. Ready for bids soon. Brick, stone, reinf. concrete floor & roof constr.

*Recitation Hall: 2 sty. & bas. Lafay-

ette. Archt., Robert Frost Daggett, 960 Lemcke Annex, Indpls. Owner, Purdue University, Board of Trustees, Lafayette. Plans nearing completion; owner will advertise for bids about Feb. 21. Brick, frpf. construction.

Church: \$125,000. Litchfield, Illinois. Archt., Honeywell & Parker, 620 State Life Bldg., Indpls. Owner, Union Ave. Christian Church, Rev. M. A. Madsen, Pastor, Litchfield, Ill. Plans in progress. Brick, stone trim.

*Bank Bldg: 2 sty. & bas. 40x115. Newcastle. Archt., McGuire & Shook, 320 Indiana Pythian Bldg., Indpls. Owner, Farmers National Bank, C. W. Mouch, Prest., Newcastle. Archts. ready for bids about Feb. 21. Indiana limestone front, brick, frpf. construction.

*School: \$87,500. Huntington, Indiana. Archt., Elmer E. Dunlap & Co., State Life Bldg., Indpls. Owner, Board of Education, Marion B. Stults, Pres., Thad Clark, Secy., Huntington. Previously reported taking bids to close Feb. 23.

*Residence & Garage: \$22,000. 2 sty. 33rd and Meridian sts. Archt., Charles Bacon, 605 I. O. O. F. Bldg. Owner, Ratti-Fox, care archt. Archt. receiving bids. Face brick, veneer, concrete and tile floor, tile rfg., steam htg., plmg. fix., hardwood flrg., incinerator.

Townhall: (remod.) \$20,000. "Woodruff Place." Archt., D. A. Bohlen & Co., 1001 Majestic Bldg. Owner, Town Board of Trustees, F. W. Jungclaus, Prest., "Woodruff Place," Indpls. Plans in progress. Frame.

Residence: \$6,500. 2 sty. 7 rooms. Archt., W. H. Gans, 818 Fletcher Trust Bldg. Owner, W. W. Seagle, Fletcher Trust Bldg. Plans in progress. Frame, asphalt shingle rfg., furnace htg., plmg., fix., hardwood flooring, oak and pine interior trim.

Contracts Awarded.

Apartment Buildings (2) 8 apts each, \$25,000 and \$30,000. 2 sty. & bas. 33x62, and 33x72, 3358-60 Guilford, and 807-09 East 34th St. Archt., private plans.

Owner, Circle City Construction Co., Fletcher Trust Bldg. Start work at once. Brick veneer. Owner builds and awards separate contracts.

Family Hotel: \$15,000. 2 sty. and bas. 30x34 and 27x92. 1123 No. Capitol Ave. Archt., private plans. Owner, Amanda McIntyre, 1123 No. Capitol Ave. Owner builds. Brick.

Bungalow (5 rooms): 1 sty. "St. Andrews." Archt., Everett Crabb, 1112 State Life Bldg. Owner, Thomas Yantis, 510 W. 30th St. General contract awarded to A. L. Avey & Co., 538 N. Tacoma avenue. Frame.

Building Permits.

Double Residence: \$8,000. 2 sty. 3730-43 East Market St. Owner, C. F. Luebking, 54 No. Sherman Drive. Owner builds. Concrete block.

Double Residence: \$7,500. 714 Sherman Drive. Owner, C. C. Finnefrock, 4140 Ruckle St. Owner builds.

Residence: \$6,500. 33 So. Euclid Ave. Owner, W. C. Brydon, 615 No. Oakland Ave. Owner builds.

Residence: \$6,000. 973 No. Belle View Place. Owner, Harry Alexander, % Contractor. General contract let to F. M. Bartholomew & Son, 326 East 16th St.

Residences (2) \$9,000. 602-06 No. Riley. Owner, S. A. Morrow, 4702 East New York St. Owner builds.

EVANSVILLE.

*Grade School (add. 4 class rooms and gym.): 2 sty. Baker Ave. School. Archts. Gilbert Karges, 305 Furniture Bldg., Evansville. Asso. archt., Wm. Earl Russ, Meridian Life Bldg., Indpls. Owner, Bd. of Education, Evansville, receiving bids to March 6th. Brick, steam htg. and ventg., plmg. fix.

Hotel (50 rooms). \$125,000. Eldorado, Ill. Archt., Harry E. Boyle & Co., Furniture Bldg., Evansville. Owner, name withheld for present. Brick, frpf. constr.

Bank: \$75,000. Eldorado, Ill. Archt., Harry E. Boyle & Co., Furniture Bldg., (Continued on Page 7)



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Evansville. Owner, The First National Bank, Eldorado, Ill. Plans in progress. Brick and stone.

Residence: \$25,000. 2 sty. & bas. Eldorado, Ill. Archt., Harry E. Boyle & Co., Furniture Bldg., Evansville. Owner, Phil Burnett, Eldorado, Ill. Plans in progress. Brick.

Y. W. C. A. Bldg. (add dormitory to accommodate 100 girls). Archt., not selected. Owner, Young Women's Christian Assn., Miss Vira Merryman, Secy, Project contemplated; no details yet; probably mature in summer 1922. Brick, frpf. constr.

Swimming Pool & Bath House: \$15,000. Fulton Ave. and Kellar St. Archt., Alfred E. Neucks, 515-16 Woods Bldg. Owner, Board of Public Works, City Hall. Reinf. concrete swimming pool, 40x85. Brick and concrete bath house, 25x75. Plans in progress.

***Parochial School:** \$20,000. 4 class rms. and gymnasium. Celestine, Ind. Archt., Frank J. Schlotter, 113½ No. 4th St., Evansville. Owner, Catholic Congregation, Rev. A. C. Schellenberger, Celestine, Ind. Plans about completed. Owner will build by day labor and buy material. Brick.

Consolidated High School (8 rooms): 2 sty. Scott Township, Vanderburg county. Archt. not selected. Owner, James Litchfield, trustee, Inglesfield. Contemplated; probably mature this summer. Face and common brick.

Building Permits.

***Duplex Apt. Bldg.** (2 families): \$7,500. 2 sty. 822 S. First St. Archt. and Owner, Frank J. Schlotter, 113½ U. 4th st. Will award contracts separately and build by day labor. Brick.

Residence (5 rooms): \$3,750. 2302 Walnut street. Owner, Paul Luhning, 309 Green River rd. Frame.

Residence (4 rooms): \$3,000. 237 Taylor ave. Owner, Henry Dickman. Frame.

Contracts Awarded.

***Bank:** 1 sty. & bas. 30x70. Winnetka, Ill. Archt., Clifford Shopbell & Co., Furniture Bldg., Evansville. Owner, Winnetka State Bank, Winnetka, Ill. General contract let to Cadenhead & Co., 8 East Huron St., Chicago, Ill.

Residence: \$7,500. Kentucky & Bellemeade. Archt., Alfred E. Neucks, 515-16 Woods Bldg. Owner, Sol A. Brentano, general contract let to Mike Elpers, 707 Evans Ave.

Ft. WAYNE.

***High School:** \$150,000. 2 sty. & bas. 120x70. Will contain gymnasium, and domestic science and manual training depts., stage. North Manchester, Ind. Archt., Chas. R. Weatherhogg, Citizens Trust Bldg., Ft. Wayne. Owner, Board of Education, North Manchester, Ind. Plans nearing completion. Owner will probably advertise for bids March 1st. Brick, frpf. constr.

Stadium & Athletic Field: So. Side High School. Archt., Griffith & Goodrich, 211 East Berry. Owner, Board of Education, H. J. Bowerfind, Secy., to advertise for bids at once, 587x60. Oval shape, concrete, steel flag pole, iron gates.

Store Bldg. (new front and addition): Private plans. Owner, M. Harris Clothing Co., Wabash nr. Canal sts., soon to take bids. Brick, copper store front, plate glass, struc. iron.

School Bldg. (new htg. and ventg. system) Washington Center High School, Whitley county. Archts., Mahurin & Mahurin, 124 W. Jefferson St., Ft. Wayne. Owner, J. Lee Emery, Trustee, South Whitley. Archt. selected. Steam htg. and ventilating system.

Contracts Awarded.

Store & Office Bldg. (remod. 3 store rooms, office suites upstairs). 2 sty. Owner, Guaranty Loan & Trust Co. General contract let to Max Irmscher & Sons, 118 W. Berry St. Brick, new store fronts, general interior remodeling.

LAFAYETTE.

***Fraternity House:** \$50,000. 3 sty. 70 x 75. Archt. (plans only), W. D. Mann, 155 No. Clark St., Chicago, Ill. Owner, Kappa Sigma Fraternity, % Myron H. Spades, 127 No. Dearborn St., Chicago. Owner receiving bids.

TERRE HAUTE.

***High School:** \$80,000. Shellburn. Archts., Johnson, Miller & Miller, 30 N. Fifth St., Terre Haute. Owner, Basil Thomas, trus., received bids Feb. 7th, under advisement pending ruling by State Tax Board.

***High School** (add.): \$45,000. 2 sty. 69 x 53. Farmersburg. Archts., Johnson, Miller & Miller, 30 N. 5th St., Terre Haute. Owner, Basil Thomas, trustee, Farmersburg, received bids Feb. 7th, under advisement pending ruling by State Tax Board. Brick.

VINCENNES.

***Grade School:** \$36,000. 2 sty. & bas. 84x50. "Laurel school," Seymour, Ind. Archt., L. H. Osterhage & Byron Sutton, Citizens Trust Bldg., Vincennes. Owner, Board of Education, Clark B. Davis, Secy., Seymour. Owner receiving bids to close March 10th. (See legal advertising this issue.)

***Church:** \$30,000. Vallonia, Ind. Archt., L. H. Osterhage and Byron Sutton, Vincennes. Owner, Lutheran Church, G. F. Turmail, Chmn. Bldg. Comm., Vallonia, Ind. Owner receiving bids. Brick, 36x98. Seating 350.

MISCELLANEOUS CITIES.

***Albion:** School. 2 sty. & bas. 70x90. Archt., R. L. Simmons, 411 Monger Bldg., Elkhart, Owner, Charles Gatwood, Albion, receiving bids to Feb. 14th, 12 noon. Brick.

Batesville: Bank (add.) \$7,500. 2 sty. 29x39. Archt., Martin Fisher, Brighton Bank Bldg., Cincinnati, Ohio. Owner, Batesville Bank, A. A. Heckman, Prest., Batesville. Owner ready for bids. Addition will consist of new banking room, directors' room and offices. Brick.

Butler: High school. 1 sty. & bas. 58x68. 4 recitation rooms, domestic science and manual training depts., study hall, stage. Campbell township, Jennings county, Butler, Ind. Archt., H. M. Griffin, McFarlan Bldg., Connersville, Ind. Plans in progress. Brick, stone trim.

Cadiz: Township School (add. class rooms and gym): 2 sty. 50x70. Archt., Charles W. Taylor, 206 Maxim Bldg., Newcastle. Owner, Elmer Addison, trustee, R. F. D., Newcastle. Face and common brick, compo. rfg., steam htg., elec. lighting, private water system, toilets, drinking fountains, shower baths, slate boards.

Crawfordsville: Printing establishment. Several units, \$1,000,000. Archt., Howard Shaw, 39 South State St., Chicago, Ill. Owner, The R. R. Donnelly Co., printers of telephone directories, Chicago. Preliminary plans in progress. Brick.

Gary: Residence, 2 sty. & bas. 532 Lincoln St. Archt., private plans. Owner, Verplank & Combs, 17 East 5th St. Start work shortly. Brick veneer.

Hammond: Church. Owner, Monroe St. M. E. Congregation, Rev. R. W. Riddle, Pastor. C. H. Leeson Chmn. Bldg. Comm., Harrison St. General contractor, J.

(Continued on Page 8)

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Wesley Reed, 1217 Harrison St. Plans in progress. Brick.

*Laporte: Residence & Garage \$50,000. Archt., Chatten & Hammond, 64 East VanBuren St., Chicago. Owner, Maurice Fox, Laporte. Archt. receiving bids. Brick and hollow tile. 2 sty. & bas. 60x75.

*Martinsville: (store building rem. & add.) \$25,000. Archt., Welch & Wilmarth, Grand Rapids, Mich. Owner, Samuel Barskin (Department Store) Martinsville. General contract awarded to S. A. Hickman, plumbing let to Hickman & Johnson, both of Martinsville. Start work soon. Brick. 2 sty. 132x67. 2nd floor will be used as an armory.

New Albany: Factory Building, \$65,000. 3 sty. & bas. 120x60. Archt., Joseph & Joseph, Francis Bldg., Louisville, Ky. Owner, M. Fine & Son, New Albany, Ind.

Plans nearing completion, ready for bids in 10 days. Brick walls, mill construction.

*Winamac: Residence, \$10,000. 1½ sty. & bas. Archt., Boswell & Garriott, Masonic Temple Bldg., Logansport, Ind. Owner, S. A. Hamilton, Winamac, Ind. Foundation in. Owner will resume work in early spring. Brick veneer over frame.

Huntingburg: Ice Plant (20 ton capacity). Owner, Huntingburg Ice Co., Inc. Owners financing. Mature late winter. Brick.

*Seymour: Church, \$70,000. Archt., J. Upton Gribben, 933 Columbus Savings & Trust Bldg., Columbus, O. Owner, Methodist Episcopal Church, Rev. E. E. Fischback, pastor, Seymour. Plans nearing completion. Will mature about March

Contracts Awarded.

*Warsaw: Grade School \$75,000. 2 sty. "East Ward School." Archt., Samuel Craig, Huntington. Owner, Bd. of Education, Flint Bash, Secy., Warsaw. General contract htg., plmg., and elec. work awarded to H. H. Achemier, Auburn. Brk.

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(Continued on page 9)

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Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field. Copy should reach us, at the latest, Wednesday of the week of publication.

SCHOOL HOUSE.

NOTICE TO CONTRACTORS.

Sealed bids will be received by the Board of Education of Seymour, Indiana, up to 2 o'clock P. M., Friday, March 10, 1922, for the furnishing of all materials and labor necessary to fully complete a new Grade School Building, known as the Laurel Street Grade School; also for the furnishing of all materials and labor necessary to fully complete a new addition to the School Building, known as the Shields High School, Seymour, Indiana, as fully set forth in plans and specifications made for same by Louis H. Osterhage and Byron Sutton, Architects, Vincennes, Indiana.

Separate bids and joint bids will be received for the General Construction.

Separate bids and joint bids will be received for Heating and Ventilating.

Separate bids and joint bids will be received for the Plumbing.

Separate bids and joint bids will be received for Electric Wiring.

Each bidder will be required to accompany his bid with a certified check as provided for in the specifications.

Plans and specifications will be on file in the office of the President of the School Board, Clark B. Davis, Seymour, Indiana.

Plans and specifications may be had by addressing the Architects and depositing Twenty Five (\$25.00) Dollars, for the safe return of same.

The bids must be in writing and on the blank form provided by the President of the Board of Education or by the Architects.

The Board of Education reserves the right to accept any or reject any or all bids.

The bids shall be addressed to Clark B. Davis,

President, and marked "Proposal for School Buildings."

EDWARD MASSMAN, Secretary.
By Order of the Board.

PUBLIC HOSPITAL

NOTICE TO CONTRACTORS.

Notice is hereby given that the Board of Trustees of the Putnam County, Indiana, Public Hospital, will, until the hour of two o'clock, P. M., on Wednesday, the twenty-second (22d) day of March, 1922, at the office of the Auditor of said Putnam County, at Greencastle, Indiana, receive sealed bids, and then to be opened for a general contract for the furnishing of all material and labor for the erection, construction and completion of the Putnam County, Indiana, Public Hospital, at Greencastle, Indiana, including heating, plumbing, elevator equipment and lighting system for said hospital building, all of which is to be in accordance with plans and specifications therefor which have been approved by the State Board of Charities and Board of Accounts of the State of Indiana, which said plans and specifications are on file in the office of the Auditor of Putnam County, Indiana, and copies of said plans and specifications for all said construction and work may be had at the office of D. A. Bohlen & Son, architects, 1001 Majestic Building, Indianapolis, Indiana, and may also be inspected in the office of the Auditor of said Putnam County, at Greencastle, Indiana.

All bids and proposals shall be on forms prescribed by the State Board of Accounts. These proposals must be accompanied by an approved surety com-

pany bond to the full amount of the maximum bid. Said bond is to protect the owners, the Hospital Board and Putnam County, Indiana, in case the contractor fails to enter into contract within five (5) days after the awarding of the contract, and also to protect the owners in the fulfillment of all parts of the contract, according to plans and specifications and the time within which said building shall be completed.

Each contractor receiving plans and specifications from the architect will be required to deposit as security for their return in good order the sum of twenty dollars (\$20).

The estimated cost of the construction and completion of said hospital building in accordance with the plans and specifications therefor, is eighty-five thousand dollars (\$85,000).

Before the closing of a contract with any contractor for the construction and completion of said building the Board will require that such contractor furnish to the Board a certificate from the Industrial Board of Indiana showing that such contractor has complied with Section 68 of the Workmen's Compensation Act of Indiana.

And such contract when entered into and the bond to be furnished by said contractor, shall contain a condition and agreement to empower the said Board of Trustees to withhold from the contract price sums sufficient with which to pay all claims of laborers, material men and sub-contractors, as well as claims for labor and material furnished to contrac-

(Continued on Page 11)

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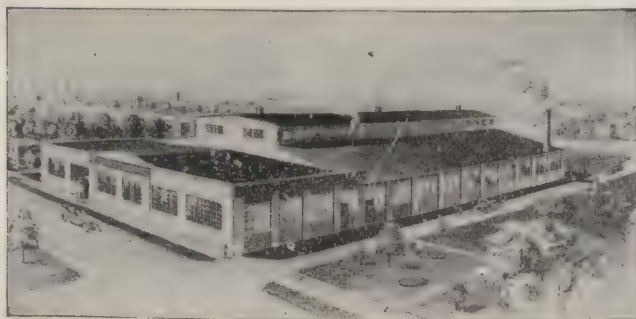
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tors and to pay off such claims out of such fund as provided by Acts of the General Assembly of the State of Indiana.

Payment to the contractor upon estimates made as the work progresses and final payment shall be made as stated and fixed in the specifications for said work.

The Board reserves the right, and all contractors bidding for said work must bid with the understanding and condition, that the Board may reject any and all bids received and reserve the right to determine for themselves what bid may be accepted for said work and what bids may be rejected.

ANDREW H. HANNA,
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DAVID V. HOSTETTER,
and
JESSE MCCOY.

Board of Trustees of Putnam County, Indiana, Public Hospital.

James & Allee, Greencastle, Indiana.
Attorneys for Board of Hospital Trustees.

Feb. 4-11-18-25, March 4-11.

SCHOOL HOUSE.

NOTICE TO CONTRACTORS.

Sealed proposals will be received by the Trustee of Waltz School Township, Wabash County, Indiana (until ten o'clock A. M., Tuesday the 21st day of February, 1922, at his office in Somerset, Indiana, for the erection and completion of a two story and basement brick school building the estimated cost of which is \$75,000.00 to be located in Somerset, Waltz Tp., Wabash County, Indiana, according to the plans and specifications prepared by The Elmer E. Dunlap Co., Architects, copies of which are now on file in the office of the State Board of Accounts in the State House, Indianapolis, Indiana, and in the office of the Trustee and in the office of the Architects, Harrison Building, Kokomo, Indiana.

At the same time and place, separate bids will be received for furnishing and installing a complete heating plant, and the plumbing and sewerage for the above named building.

All bids must be in writing, sealed and with the envelope endorsed, giving the name of the bidder and the class of work bid upon and on bid forms as on file and all bids will be opened and read publicly at the time and place fixed in this notice.

The trustee reserves the right to reject any or all bids and to take time to investigate the bids and the qualifications of the bidders. The limit of time to be allowed the Trustee for proper investigation of bidders shall not be less than 7 days from the date of receiving bids.

Each bid for the general construction shall be accompanied by a certified check for the sum of Two Thousand, Five Hundred Dollars (\$2,500.00); each bid for the heating and ventilating plant shall be accompanied by a certified check for the sum of One Thousand Dollars (\$1,000.00) and each bid for the plumbing and sewerage shall be accompanied by a certified check for the sum of Five Hundred Dollars (\$500.00). These checks must be made payable to the School Trustee of Waltz School Township, Wabash County, Indiana, and will be held by him as a guaranty of good faith that said bidder

or bidders will enter into contract and execute bond approved by the Trustee for the performance thereof, if his bid or bids are accepted. The checks of those bidders who fail to be awarded contracts shall be returned to them when the contracts are let.

Should the successful bidder or bidders fail to enter into such contract and execute such bond, then he or they shall forfeit the amount of said certified checks as liquidated damages for the use and benefit of the proper fund of Waltz School Township, Wabash County, Indiana.

Each bidder shall file with his bid the statutory affidavit required under section 8698 Burns Revised Statutes of the State of Indiana, 1914.

Copies of the plans and specifications may be obtained from the office of the Architects, Harrison Building, Kokomo, Indiana upon deposit of twenty-five dollars for each set; said deposits will be returned to the bidders upon the safe said office of the Architects, on or before the day and hour set for receiving bids.

Each bidder receiving plans and specifications will be required to submit a bid or bids to the Trustee or failing to do so, the deposit for plans and specifications will be retained for the use and benefit of the proper fund of Waltz School Township, Wabash County, Indiana.

Signed, FRANK M. TRUSS,
Trustee of Waltz School Township,
Wabash County, Indiana.

Feb. 4, 1922.

SCHOOL HOUSE

NOTICE TO CONTRACTORS.

Notice is hereby given that Big Creek Township, of White County, State of Indiana, by its Advisory Board and its Township Trustee, will receive sealed bids at the office of John A. Kassabaum, at his office, Chalmers, Indiana, until 10 o'clock A. M., on Tuesday, Feb. 28th, 1922, at which time and place said bids will be opened, read and considered for the remodeling of present school building and the building of three additions thereto, said old school building located on the southwest corner of Sec. No. 27, Township No. 26, north, range 4, west, in said township and known as Chalmers School Building, and for the installation of the heating and ventilating system of said building and for installation of Plumbing, sewerage, septic tank and fresh water system for said building, and for the installation of an electric wiring and apparatus system, all for said School Township, according to plans and specifications as provided therefor by F. P. Riedel & T. A. Zink, Architects, No. 821-822 Lafayette Life Building, Lafayette, Indiana, and as further approved by the State Board of Health and the State Board of Accounts.

The plans and specifications are on file for the inspection of bidders at the office of the Trustee, Chalmers, Indiana, and at the office of the State Board of Accounts at the State House, Indianapolis, Indiana, and at the office of F. P. Riedel & T. A. Zink, Architects, No. 821-822 Lafayette Life Building, Lafayette, Indiana. Copies are available to bidders for use at their own office upon deposit with the Architects or Trustee, of Twenty-five Dollars, (\$25.00) to guarantee submission of bid and safe return of

plans and specifications to said office of the Architects on or before the day and hour set for receiving bids. Bidders must familiarize themselves with such plans, specifications and the construction of present building before bidding and no departure from the same will be considered.

Bids will be received as follows:

1—For the Construction of the Additions of the School Building including the remodeling in old building connected therewith.

2—Heating and Ventilating.

3—Plumbing, Sewerage, Septic Tank and Fresh Water System.

4—A combination of Heating, Plumbing, Sewerage, Septic Tank and Fresh Water System.

5—Electric Light and Power Wiring.

All bids shall be accompanied by the certified check of bidder in sum equal to at least five per cent (5%) of his gross bid or bids. Checks to be made payable to the order of said Trustee of Big Creek Township. In case a bidder, whose bid shall be accepted, shall not, within five days after notice of such acceptance, perform his bid by entering into a written contract with the Trustee, in the form satisfactory to Trustee, to execute the work and construct and complete the building, and within that time secure the performance of his building contract by a bond in the form satisfactory to the Trustee with surety or sureties to the approval of the Trustee, his certified check and the proceeds thereof shall be and remain the absolute property of the Township as liquidated damages for such failure, it being impossible to estimate the amount of damages such failure would occasion to the Trustee.

Each bidder shall file with the bid a statutory affidavit required under Section 8698 Burns Revised Statutes of the State of Indiana, 1914.

The successful bidder will be required to enter into his written contract and also to deliver his bond with approved surety bond to the Township of Big Creek, White County, Indiana, in a sum equal to full amount of contract. The successful bidder will be required by the terms of his contract to enter into active prosecution of his work immediately and complete the new additions on or before September 1st, 1922, and the remodeling of old building shall be completed at the time to be agreed upon. Special attention is called to the provision for alternate propositions by bidders and the desired receipt of alternate proposals. The Advisory Board and Township Trustee for the Township reserves the right to reject any and all bids without giving any reason therefor.

JOHN A. KASSABAUM,
Trustee of Big Creek Township,
White County, Indiana.

HOSPITAL

NOTICE TO CONTRACTORS.

Bids for the construction of a Children's Building (appropriation \$100,000) and for a Superintendent's and Nurses' Cottage (appropriation \$25,000) will be received by the Trustees of the Indiana State Sanatorium, Rockville, Ind., at the Claypool Hotel, Indianapolis, Ind., on Thursday, March 9, 1922, up to 2 o'clock P. M. Shourds-Stoner Co., Architects, Terre Haute, Ind.

Feb. 4-11-18, 1922.



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THE Woodrow Wilson School pictured above has 22 class rooms, rest rooms and offices. It was completed in 1921. Architects: Ashby, Ashby and Schultze, Chicago, Illinois; General Contractors: Cermak and Novotny, Cicero, Illinois; Heating and Ventilating Contractors: H. W. Keppner, Cicero, Illinois.

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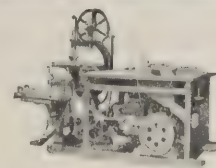
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Official Paper

Indiana Society of Architects

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Indianapolis, Ind.

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STANDARD APPROVED CONTRACT AND REGISTRATION DISCUSSED.

The Board of Directors of the Society are in session at Indianapolis today, at the Lincoln Hotel and while there is no real important issue up for consideration there was considerable routine business to be disposed of.

A report was to be made to the directors of the final meeting of the committee from the I. S. A., with State Examiner Jesse Eschbach and Building Supervisor Walter Twiname, both of the State Board of Accounts, and the final arrival at approval of the Standard Approved Form of Contract Between Owner and Architect.

The contract as it now stands is a big improvement over the original draft as submitted by the State Board of Accounts, and the favorable consideration that was given the architects of the State was the result of concentrated effort on the part of the members of the Indiana Society of Architects and those of the Indianapolis Architects' Association. Had the architects not gone into this matter as they did and appeared as individuals rather than as an organization there probably would be a different story as to the final outcome. As matters now stand the State Board of Accounts is satisfied, and a number of the architects have so expressed themselves.

This is a good example of what the architects can accomplish if they will stand together and should encourage them to continue to co-operate when matters vitally affecting the profession arise for consideration and action.

There was a further discussion Saturday, having to do with the matter of licensing the architect and the bearing the new engineer's registration law has on the practice of architecture in Indiana. From reports that have come into the Board of Directors most of the architects, to be on the safe side, have applied for engineer's registration certificates. Regarding this engineer's registration there has been an inclination on the part of some states not to accept the engineer's registration in Indiana as a grounds for reciprocating

courtesies for the practice of architecture. This has not been taken up officially but it is thought that in due time things will be straightened out by probably the extension of the Indiana engineer's registration law to include a separate department for architectural registration in Indiana.

The next meeting of the I. S. A. Board of Directors will be held at Indianapolis, Saturday, March 11th.

LEGAL MATTERS DISCUSSED AT ARCHITECTS' MEETING.

There was a good crowd out Wednesday night at the regular monthly meeting of the Indianapolis Architects' Association at the Columbia Club.

Russell T. MacFall, styling himself legal engineer, addressed the architects and took for his subject matter experiences he has had in legal affairs having to do with the practices of architecture and engineering. His talk was highly entertaining and was in keeping with the interesting programs that the Indianapolis architects have been putting on at their monthly meetings.

Previous to the regular session the architects gathered for a 6:30 p. m. dinner at the above club and enjoyed a well rounded hour of good fellowship.

STANDARD ARCHITECT'S AND OWNER'S CONTRACT NOW AVAILABLE.

Any Indiana architect having need for the new Standard Approved Contract for use between Architect and Owner on building construction work in this state can secure same from the Indiana Construction Recorder.

This contract has just been prescribed by the State Board of Accounts for use on public building construction and has been approved both by the Attorney General of Indiana and the Indiana Society of Architects. For the convenience of the architects the Indiana Construction Recorder has just had printed a four page folder form, 8½"x11" overall, in keeping with the size of the Standard Documents of the American Institute of Architects.

ACTIVITY AMONG INDIANA ARCHITECTS AUGURS WELL.

The architects all over the state of Indiana report quite an active inquiry on the part of prospective owners relative to building conditions and the prospects for building in the spring. There is much preliminary planning being done, not to mention actual working drawings in course of preparation. Then, too, there is considerable work being put out for bids. Taken all in all the prospect for an early building activity this spring is brighter than it has been for several years here in Indiana.

TO NEW LOCATION.

Architect Charles W. Taylor, Newcastle, announces the removal of his office to No. 206 Maxim Building, that city, and is desirous of receiving 1922 catalogs on building materials.

CITY PLANNING MOVE GRIPS EVANSVILLE.

Another Indiana city, Evansville, has joined several others in the city planning commission idea and has signed a contract with Harlan Bartholomew, St. Louis, city planning expert, who is soon to take up his duties in the southern Indiana metropolis.

Quite an elaborate and extensive improvement and regulation program has been mapped out, part of which deals with the building zone plan under which will come a regulation of districts for uses of buildings, heights of same, areas of buildings, lot sizes and building sites.

Other provisions of the proposed program have to do with: (1) General considerations; (2) major and minor street plan; (3) transit; (4) transportation; (5) public recreation; (6) civic art; (7) suggestions for the sub-division of land within and beyond the corporate limits; (8) legislation and finance which will cover methods for paying for improvements, special tax and bond issues.

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Official Paper

Building Trades Employers Ass'n

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General Office for Information

MEETING NIGHTS

General meeting every third Tuesday evening.
General contractors meet second and fourth Monday evening.
Master plumbers every Thursday evening.

NO RENEGING GOES.

At last the Building Trades Council in Chicago has come to its senses and voted to accept the Landis Wage Award, instructing its members to return to work. Not only that but the men have been instructed to work with the non-union men on the various projects. This really is the wise thing to do, and the workmen would have been much better off if they had followed this action some months ago. However, the radicals thought that, by refusing to accept the award when it was made last September, they could tie up all work and force Judge Landis and the contractors to agree to a uniform scale of \$1.10 per hour. Finally when the union representatives of the men found that they could not coerce the judge, and that the Citizens Committee and the people behind that committee were prepared to put men to work and get it done the union representatives changed their tune.

If the union representatives of the craftsmen in the Calumet District are wise, and have any conception of the situation, they will not be long in following the action taken by the Chicago Building Trades Council. Locally the unions have pointed to affairs at Chicago as a justification of their methods in Hammond and the adjacent territory and now it is up to them to fall into line. If they don't they will have to stand alone for with the Chicago unions

accepting the Landis conditions as laid down the local fellows have no argument to back them up. If an arbitrary attitude is assumed in this section the little support the Unions have had will fall away from them should they fail to adopt the course that has been pursued at Chicago.

As things are going now, conditions should work themselves out of their own accord to a satisfactory conclusion. If the Calumet District craftsmen will take the right course they can induce a great many unaffiliated men to join up with them and the incompetents will be eliminated, for the contractors naturally will desire to have the best men on their work with the result that they will retain these and the first thing one knows all the union men will be back at work.

There is one thing for the union craftsmen to remember, however; if they go back to work with the avowed intention of driving all others off there is going to be serious friction with the chances of another stoppage of work. Should this occur, and another fight is started, one thing is sure, it will be a struggle to the finish for the open shop and there will be no compromise. Many of the contractors, even now, want to continue the open shop policy that has been in force here for some time. Others are in favor of trying the Chicago scheme now in effect up there with the hope that it will bring the Dove Peace hovering around for a landing and that the ultimate result will be peace and harmony for the building industry of the Calumet District.

PRESENT.

The high cost bogey is still hanging around.

Quite a few of the projects that have been figured of late have run in excess of what prospective builders had figured on and in each instance the work has been held up temporarily. Some of the work is to be refigured in the near future, but as to the disposition of other work the prospective owners have not definitely decided as to whether they will go ahead at the present prices or hold over till a little later.

There is one thing that the owner can't understand. He can't figure out the reason for building costs holding up to high levels when other costs have been reduced. Many incline to the belief that labor and material costs should take a slight tilt downward.

LISTEN TO THIS.

Architect Mac Turner, Hammond, comes forward with the cheerful information that he has quite a number of projects on the boards for which he is preparing plans, and that there are a number of good inquiries coming in regularly from prospective builders.

CAN STILL REDEEM HIMSELF.

That was a dirty trick the Sun played on us the other day. Old Sol had sneaked around behind the clouds for quite a spell, and then he had to peep forth on Feb. 2nd to send the groundhog scurrying back for six weeks more of hibernation. We have now added the Sun to our list of joy killers. We are willing to give him a chance on probation, and if he behaves himself next spring and summer and ushers along a lot of good building weather we'll put him back in good standing.

E. E. COLE.

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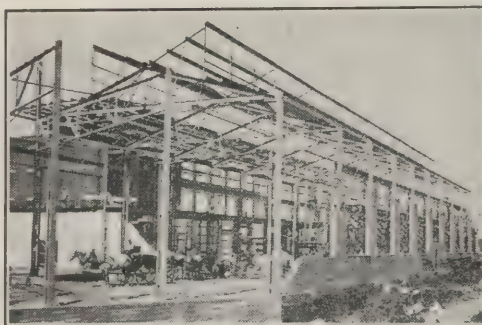
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ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors

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Office of Secretary, 710 Old State Bank

BUILDING INSPECTOR TAKES HOPE AND PREDICTS GOOD SIGNS AHEAD FOR EVANSVILLE.

Although 1921 was not a bad year in the building industry in Evansville in comparison with the same period in other cities all through the United States, nevertheless 1922 is expected to far surpass 1921 in the number and total value of permits issued for new and additional work, especially in the homebuilding lines.

Inspector of Building Edward C. Kerth has figures on record that show a quadrupling in value in permits issued for the first 23 days in 1922 over the first 23 days in 1921, and over a 50 per cent increase in number of permits. In the first case there is shown an estimated valuation of \$72,456 as compared to \$17,570, and in the second there were 49 permits issued in 1922 while but 31 were issued the year previous.

Inspector Kerth declares that this increase of estimated valuations is far more important than appears on the surface, for the costs are far less to produce a home this year and the increase in valuation in the face of falling costs is a most healthy sign.

Industrial building will be slack this year, Mr. Kerth fears, but new homes must be built to accommodate workers before new industries can be expected to come. One will follow the other, he believes.

On the other hand, Mr. Kerth is not optimistic insofar as building for investment, that is for renting purposes, is concerned.

He stated that the lack of rental property in the city will be very adversely felt by new citizens, as few people care to buy a home in a city when they are but ill acquainted with the advantages and disadvantages of any given section in this particular case.

But, taken as a whole, Mr. Kerth believes that much useful building will be accomplished this year, in fact, that this will be a banner year in the number and type of homes constructed.

THERE YOU ARE.

The best barometer of business conditions and one of the most reliable forecasts for the future may be arrived at through the medium of the condition of

the building industry. Hence, the indications of renewed building activity in Evansville this spring would lead one to believe that local business is in fairly healthy shape.

CHIPS AND SHAVINGS.

The year 1921 saw considerable building among the churches of the city and 1922 promises more.

Chief among last year's building was the new First Baptist church edifice which is 142 feet by 71 feet and which was erected at a cost of \$75,000 and the St. John's Evangelical parish house which, with remodeling, cost \$125,000.

Other nice church work completed or started in 1921 includes the \$20,000 St. Paul's Episcopal parish house, the \$10,000 Parke Memorial, the Calvary Baptist Mission, and \$10,000 improvements at the Oak Hill Presbyterian church.

General contractors G. H. Bippus and Son, did a land office remodeling business in 1921.

Scarborough-Davis, general contractors, have made good progress on the new college buildings and completed several other nice projects last year.

One large house building concern in Evansville is contemplating erecting at least 200 new homes this year. These are to be moderate priced homes that the man of ordinary means can afford to go after.

FT. WAYNE

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Phone 2001

WINTER CONDITIONS AFFECT LOCAL BUILDING OPERATIONS.

Local building operations for which permits were obtained during the month of January just closed, showed a marked increase over the same month one year ago. Only 41 permits were applied for, but the total of estimated cost for the month was \$135,960, as compared with \$93,325 for January, 1921. The increase over last year amounted to \$42,635.

As was expected by persons familiar with the building trades increased seasonal difficulties of building brought the total for January considerably below that for the month of December. The estimated cost for December was \$279,370. January showed a drop below the

preceding month of \$143,410, or a decrease of 51.34 per cent.

Several points of interest in local building are disclosed by an examination of the building records. One of the most interesting is that the people of Fort Wayne are now building a larger number of structures to house people and fewer to house flivvers. Only eight permits were issued in January for the erection of garages.

Fifteen permits were issued for new residences.

The largest single item in the permits for the month is for the new store and office building on Wayne street, near the Strand theater. The estimated cost is \$26,000.

BUILDING TALK GOING THE ROUNDS.

Prospects for new building construction continue to be noised about and every indication is that there should be a nice volume of work started or ready for figures in the early spring.

One of the first good pieces of work that will be out for early figures from the contractors will, in all probability, be the new concrete athletic stadium opposite the new south-side high school. The architects, Griffith and Goodrich, this city, are to submit final plans for approval at the school board meeting, Feb. 13th, and it is expected that bids will be asked about March 1st.

The M. Harris Clothing Co., on Washash street, has under contemplation a new front and other improvements to its present location.

Max Irmscher & Sons have just been awarded the contract for extensive improvements to remodel a building on W. Berry street into three store rooms with office suites above.

LOOKS LIKE NEW HOMES.

Things have been fairly active in the local real estate market, many lots changing hands, and there is a great deal of talk of buyers erecting homes during the coming summer. It is a little too early for the announcement of plans but the trend of things point to considerable home building in Ft. Wayne in 1922.

DISCUSSED STATE ASSOCIATION ARBITRATION PLAN.

There was a lively meeting at the Builders' Exchange Monday night when the members turned out in good force to discuss the labor arbitration plan proposed by the Associated Building Contractors of Indiana at the Evansville convention a few weeks ago.

INDIANAPOLIS

Building Contractor's Association
Member State A. B. C.

F. W. Jungclaus.....President
C. C. Pierson.....Secretary

MEETINGS.

Executive Committee meets second Tuesday each month.

General Contractors meet second Friday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

WILL REQUIRE BACKBONE TO CARRY THE BURDEN.

The Associated Building Contractors of Indiana, as an organization, has really made great strides in the few years of its existence when one stops to consider the wherewithal financially it has had at its disposal with which to campaign and carry on the work that was mapped out. The first year of its existence the infant association crawled along on voluntary contributions and, surprising to say, it really got somewhere.

Then came the convention in Feb., 1920, and there was an encouraging turnout of builders from all over the State which fact gave the originators of the State Association faith in their efforts and showed beyond the question of a doubt that the organization had stirred up a real interest. Another year was entered upon, and the mission of the association was tested out in the next twelve months. Things were accomplished, proving conclusively that the mission was there. Every contractor in the State, whether willing to admit it or not, was benefited by that which the parent association achieved.

Strange as it may seem the State A. B. C., single-handed protected the interests of the contractors when the State Legislature met at Indianapolis and saw to it that nothing was "put over that would be inimical to the progress of the building industry; this in the face of the fact that other individual building interests and Labor maintained large lobbies at the State House when the Legislature was in session.

Recognition has been granted to the State A. B. C.'s by other building interests and it is now up to the contractors to hold and prosper through that recognition. This can only be done through full co-operation on the part of the contractors and their various local city associations with the State Contractors' organization.

The "backbone" of any organization draws for its rigidity upon the treasury. Any one who has dealt with organization realizes this, but there are newcomers in the ranks who are not so well versed with the terrific amount of work that there is to demand the attention of the association. It costs real money to maintain an organization that it may be fully prepared at all times to back up its action in a substantial way.

The local associations can greatly facilitate the function of the State A. B. C.'s by making prompt reports of conditions in their individual territories, the work accomplished, and a prompt remittance of dues.

Things have been started, they have been accomplished; the thing to do now is to all get together that greater things may be achieved and the State Association carried on to greater usefulness.

SCARCITY OF BUILDING CRAFTS SHOWN IN INTERESTING REPORT.

The Building Trades Employers' Association of New York City recently made a survey of the employment situation in the building trades throughout the country and have tabulated the information thus obtained in a comprehensive report.

This report represents a tremendous lot of hard work and regardless of whether one considers that the results justify the effort, or not, they would be ungrateful indeed were they not appreciative of the motive which inspired the attempt to do something helpful to the industry as a whole.

Aside from whatever statistical value the report may actually possess, it is worthy a careful study, and the fact that the conditions shown may well be changed over night does not detract from the interest it holds for the average reader to whom, of course, it means much less than to the individual with a penchant for statistics.

Among other interesting data it gives a list of the building trades in the order, as one might say, of their scarcity. Showing the plasterers in greater demand than any other trade and putting concrete laborers, the supply of whom greatly exceeds the demand, at the bottom of the list with the other trades in between in the following order: 1, Plasterers; 2, Terrazzo Workers; 3, Eucastie Tile Layers; 4, Elevator Constructors; 5, Marble Cutters and Setters; 6, Metallic Lathers; 7, Bricklayers; 8, Painters; 9, Steamfitters; 10, Mosaic Workers; 11, Plumbers; 12, Carpenters; 13, Plasterers' Helpers; 14, Sheetmetal Workers; 15, Cement Finishers; 16, Tar and Felt Roofers; 17, Hod Carriers; 18, Structural Iron Workers; 19, Hoisting Engineers; 20, Electrical Workers and 21, Cement and Concrete Laborers.—(Buffalo Builders' Exchange Bulletin.)

SOUTH BEND CONTRACTORS HOLD ANNUAL ELECTION.

At the regular annual election recently the South Bend Builders' and Traders' Exchange named the following officers for the ensuing year:

President,—Otto W. Kuehn, general contractor.

1st Vice Prest.,—Harvey L. Loehr, painter.

2nd Vice Prest.,—J. R. Good, carpenter.

Treasurer,—C. P. Luxton, electrician. Executive Board—Messrs. Kuehn and Loehr, and Thos. Hickey, Fred Futter, J. I. Pavey, W. N. Hildebrand.

L. D. Gall, is secretary and reports that the organization is going strong with all members taking an active interest in an effort to effect conditions that will be propitious for building the coming spring.

MUNCIE

Associated Building Contractors
Member State A. B. C.

Chas. RowePresident
J. A. Gallivan.....Secretary

314 Main Street

GOOD ENOUGH TO REPEAT.

A good thing for all of us to remember would be the admonition given us at Evansville by Mr. H. B. Barnard, Treas., Associated Builders of Chicago, who said: "No craft of the building construction industry can succeed ultimately unless the industry as a whole succeeds."

MUST HEED THE PUBLIC.

And then, too, several times it was impressed upon all those who were fortunate enough to attend the State A. B. C. convention that the public has a very important voice in building construction affairs and an ear must be given to said public in certain matters which vitally affect it.

This is a fact for, though we contractors pay the bills, it is the public that pays the final bill. To ignore the public is but to invite disaster and, after the past few lean years, it certainly would be foolhardy for any builder or others interested in building to flirt with disaster.

PROVED THAT MUNCIE IS NOT ALL BAD.

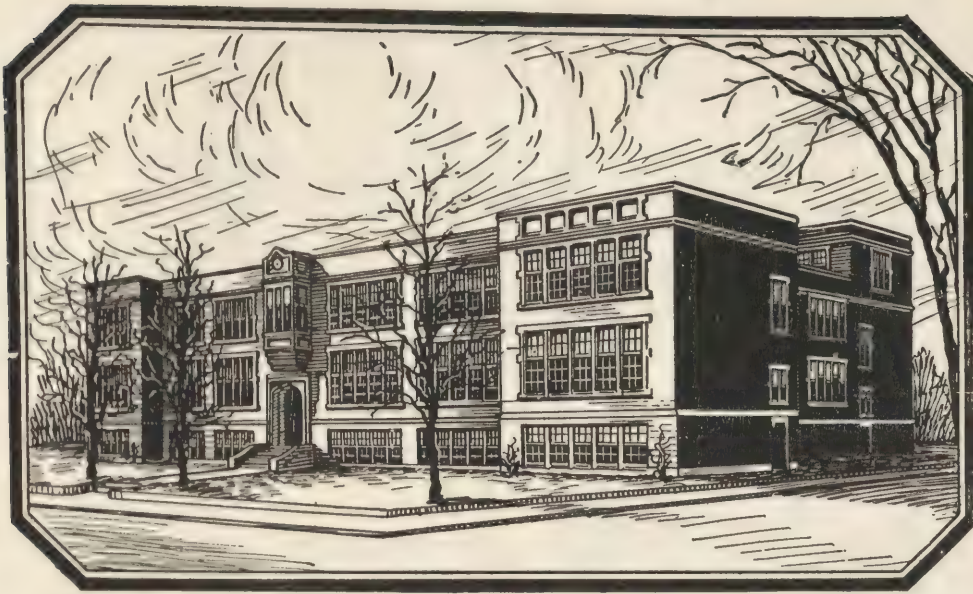
It was gratifying to the Muncie contingent at Evansville to sit in at an affair and enjoy the ovation tendered by the contractors to our fellow citizen Charles Watkins. We believe our pride that night was pardonable, for our distinguished fellow citizen surely made an edifying and wonderful address, one that "got under the skin" of every man present. Not only was the doctrine advanced beautiful for its simplicity, but, it was practical, every word of it.

A LOSS THAT WILL BE FELT.

Many of the material men who visit Muncie will miss, in the days to come, that genial host, "Gus" Braun, proprietor of the New Kirby Hotel, who passed away recently. He imparted to his hostelry a homey atmosphere not to be found in many city hotels these days, and, though "Gus" may have gone on, it is to be hoped that his spirit will long linger around the Kirby to guide those who take up his work, that they may "carry on" as he would have done, and impart to the hotel that spirit of warmth, cheerfulness, and hospitality for which "Gus" was noted.

BY YOUR WORK SHALL YOU BE KNOWN.

Reverting to that pleasant two days spent down in "The Pocket" of Indiana, during the period of the State Contractors' convention we recall, among other things that were said, "Men must forget the petty things and use their heads to meet conditions. Builders must remember their work is to be lasting; they must put their heart-throbs, their souls into their work for this work will be the expression of them after they are gone."



National Steel Lumber in Public Schools

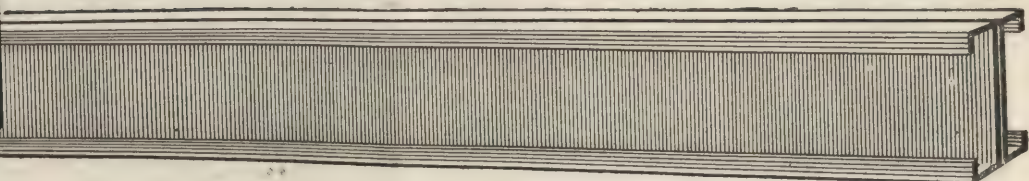
FLOORS form the veritable heart of any building. The floors bear the burdens and take the wear and tear of occupancy. In case of fire, the floors are subjected to the severest strains.

The light dead-weight type of floor developed through the use of National Steel Lumber joists has time and again demonstrated its ability to achieve permanency and fireproofness at less first cost than any other type of construction. This economy has been particularly noted in school construction and similar advantages have been effected in office buildings, stores, churches, hotels, garages, residences, etc. Considerable over thirty millions of square feet of Steel Lumber floors are now in service in various kinds of buildings all over the country. Complete engineering service, estimating, drafting and detailing in National Steel Lumber and Structural Steel are obtainable from our organization. We shall be glad to consult with you regarding your plans. Printed literature explaining varied uses of Steel Lumber mailed on request.

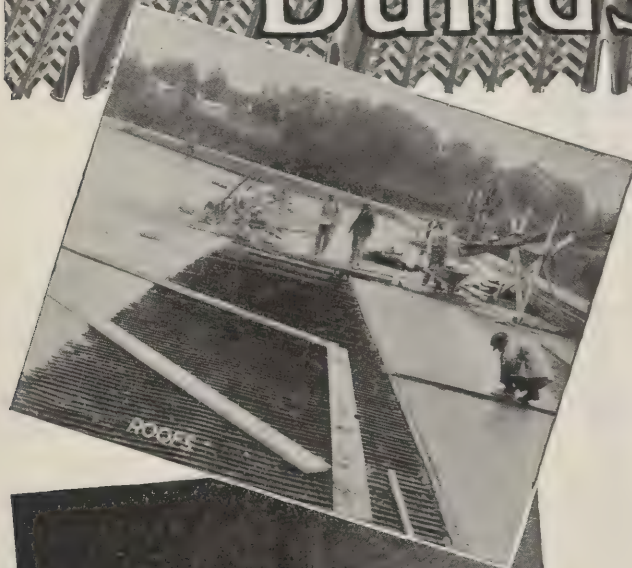
The Firesafe First Floor built with steel lumber joists will eliminate seventy-five per cent of the fire hazards of a residence. Ask us for a first floor steel joist layout and cost estimate.

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THERE is a place for Hy-Rib Metal Lath in every type of building, large or small. On roofs and floors Hy-Rib eliminates forms, rigidly reinforces the concrete and simplifies construction.

Monolithic concrete walls to be exceptionally strong and rigid should be built of Hy-Rib Metal Lath plastered with cement.

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HY-RIB

Article Six.

The preliminary sketches for the proposed work will be furnished by the Architect, Engineer, not later than-----19---, and the complete working drawings and specifications shall be furnished within-----days after the approval of the preliminary sketches, provided the Architect, Engineer, is not delayed by causes beyond his control. The Owner shall approve or disapprove in writing all sketches, drawings and specifications within-----days after same have been delivered to the Owner.

The Architect, Engineer, hereby agrees to furnish, if required, complete drawings and specifications to all proper authorities for their official files and also furnish to the prospective bidders and contractors as many sets as may be reasonably necessary to prepare estimates and to carry on the work after receiving the contract without additional cost to the Owner or Contractor.

Article Seven.

(1) It is hereby understood and agreed that the Owner will pay to the Architect, Engineer, for his services in preparing drawings and specifications, the same having been approved by the proper authorities, a sum equal to-----per cent. (%) of the cost of said building, installations and accessories as completed according to said drawings and specifications, all in installments as follows:

(a) A sum equal to-----per cent. (%) of a reasonable estimate of the cost of the proposed work, not exceeding the fixed amount, upon the completion of the preliminary sketches by the Architect, Engineer, and their approval by the Owner.

(b) A sum equal to-----per cent. (%) of the total of the contracts made for the work—less any previous payment—one-half of this amount to be due and payable upon the completion and approval of the working drawings and specifications and the balance upon the signing of the contract.

(2) Should, for any reason, the Owner abandon, postpone or hold in abeyance for six months or more the erection of the building(s) after the Architect, Engineer, has prepared complete, approved working plans and specifications for same, then the Architect, Engineer, shall be reimbursed by the Owner in a sum equal to-----per cent. (%), less any previous payment, of the lowest combination of bids received, based upon said plans and specifications, or in case no bids were received-----per cent. (%) of a reasonable estimate of the completed cost of the proposed work less any previous payment, the total not exceeding the maximum amount heretofore fixed.

(3) In case the Architect, Engineer, is paid for his drawings and specifications an amount based upon an estimate of the cost of the completed structure, and if contracts are afterwards awarded for the completion of same, the Architect's, Engineer's, fee shall be readjusted according to said contract amounts and if the difference be in favor of the Owner, such difference shall be deducted from future payments to become due the Architect, Engineer.

(4) In case the combination of the lowest, competent legal proposals received, including such legal deductions, alterations, substitutions and omissions possible and acceptable, exceeds the maximum amount heretofore fixed for the work, then the Architect, Engineer, shall, in co-operation with the Owner, revise said drawings and specifications in an attempt to bring the cost of the work within the maximum amount specified herein for the total cost of the same, without any additional cost to the Owner.

(5) In case the Owner instructs the Architect, Engineer, in writing to make certain changes in the approved drawings and specifications, then the Owner shall pay to the Architect, Engineer, a sum equal to the cost of making such changes, provided the Architect, Engineer, shall file an itemized, verified claim for such extra work and the Owner had proper authority to order such changes.

(6) If the construction of the proposed work be abandoned, the Architect, Engineer, shall, with the assistance of the Owner, call in and file together, as far as possible, all drawings, specifications and copies of documents relating to the project, and with the exception of the original drawings and specifications, deliver to the Owner, who will retain same for future use, provided however that the Owner's obligations, as outlined in Article Seven have been properly fulfilled.

Article Eight.

The Architect, Engineer, agrees to inspect all material and supervise the construction of said building, and further agrees to certify to the Owner each month, the value of the various kinds of labor and material permanently installed according to plans and specifications and if requested, the value of the non-perishable materials, complying with the specifications, delivered on the premises.

The Architect, Engineer, shall receive for all services in connection with inspecting and supervising the construction of said building, a sum equal to-----per cent. (%) of the cost of the completed work, based upon said plans, specifications and contracts.

The said Architect's, Engineer's, remuneration shall be in full for all necessary services, including conferences and expenses, and said Architect, Engineer, shall be entitled to nothing more except the same per cent. for supervising alterations in the approved plans and specifications made by the written authority of the Owner.

The said remuneration for inspection and supervision shall be paid monthly if desired and will be pro rata, based upon the payments to contractors.

It is hereby understood and agreed that the inspection and supervision as herein set out, does not mean that said Architect, Engineer, shall maintain continuous personal supervision, but that he shall maintain such inspection and supervision as to ascertain and satisfy himself that the contract is being performed in substantial conformity with the plans, specifications and contracts relating to same.

Article Nine.

It is hereby agreed and understood that, in the event the Architect, Engineer, is not employed to superintend the proposed work, and the Owner desires his services either in his office or at the building or desires his opinion on any matter relating thereto, then the Architect, Engineer, shall promptly perform such requested services, for which he shall be paid at the rate of _____ Dollars (\$____) per day, plus the actually necessary traveling and incidental expenses incurred by him in discharging such duties devolving upon him and as requested by the Owner; all claims for such services and expenses to be fully itemized and verified and accompanied by receipts as required by law.

Article Ten.

It is hereby understood and agreed that in no case shall the Architect's, Engineer's, total fee or per diem be in excess of that usually charged by him for private work in the same locality.

Article Eleven.

It is hereby understood and agreed that the Architect, Engineer, is at liberty to vary minor architectural and engineering details of the proposed work, provided such variations do not involve extra costs. No changes shall be made in the drawings, specifications, bids, contracts, or construction which involve additions or deductions to the cost of the work or the provisions for health and sanitation, until such changes, including the amounts involved, have the written approval of the Owner, the State Board of Accounts and other authorities having jurisdiction.

Article Twelve.

It is hereby understood and agreed that, in the event of the death or incapacitation of the Architect, Engineer, he or his representatives shall deliver to the Owner all drawings, specifications and documents relating to the work in his possession, and the Owner shall reimburse the Architect, Engineer, or his representatives upon demand, the full amount of such equitable and just proportion of the unpaid balance of the hereinbefore stipulated remuneration as may be agreed upon and in the event of a disagreement as to same both parties agree to abide by the decision of a board of disinterested arbitrators, composed of one member selected by the Owner, one by the Architect, Engineer, or his representative, and these two to select a third.

IN TESTIMONY WHEREOF, we have hereunto set our hands and seals this _____ day of _____ 19____.

For Owner.

Architects, Engineers.

Per

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INDIANA CONSTRUCTION RECORDER

312 East Market Street. Indianapolis

News of the Week

The asterisk (*) prefix to an item indicates additional information to report published in previous issue.

INDIANAPOLIS.

***Athletic Building:** \$2,000,000.00. 11 sty. & bas. 100x200x127. S. W. corner Vermont and Meridian. Archt., Robert Frost Daggett, Lemcke Annex, Mechanical Engineer, Ammerman & McColl, Occidental Bldg. Owner, The Indianapolis Athletic Club, Henry K. Campbell, Prest. % H. C. S. Motor Car Co., Stoughton A. Fletcher, V. P., % Fletcher American National Bank, L. M. Wainwright, % Diamond Chain Mfg. Co., all of Indpls. Archt. receiving bids to close March 1st, 2 p. m. Brick, steel, reinforced concrete floor and roof construction, tile, marble, terrazzo work, elevators, steam heat, comp. roof. Will contain billiard rooms, bowling alleys, lounging rooms, ball room, banquet rooms, kitchens, club rooms, sleeping rooms, gymnasium and swimming pool.

Office Building: \$1,225,000.00. 17 sty. & bas. 170x112. "Flat Iron Type." Intersection of Mass. Ave., Pennsylvania and Ohio Sts. Archt., Rubush & Hunter, American Central Life Bldg., Indianapolis. Owner, J. S. Peck & Company, Philadelphia, and in care of Indianapolis Representative, A. J. Hueber (real estate), 144 No. Delaware St., Indianapolis. Preliminary plans in progress. Brick, white glazed terra cotta front, reinf. concrete & steel floor & roof constr. 4 elevators, tile, marble & terrazzo work, copper set store fronts, vacuum cleaning plant.

***Office Building & Stores:** \$860,000. 7 sty. & bas. 88x120. Meridian and Circle. Archt., Rubush & Hunter, American Central Life Bldg. Owner, Guarantee Bldg. Corporation, Albert E. Metzger, Prest., Fletcher Savings & Trust Co., Alex. Metzger, V. P., % Indiana Investment & Securities Co., George A. Kuhn, Secy., % Marion Title & Guarantee Co., all of Indianapolis. Plans in progress. Ready for bids soon. Brick, steel frame constr., terra cotta exterior, marble interior, 4 passenger elevators, comp. roof, marble stairways, tile and terrazzo floors, copper set store fronts.

***Masonic Temple:** \$200,000. Bloomington, Ind. Archt., Rubush & Hunter, American Central Life Bldg., Indpls. Owner, F. & A. M. Lodge, Claude Malette, and G. P. Welch, Bldg. Comm., Bloomington. Plans in progress. Brick and Bedford stone.

***Asylum:** Laundry Bldg. 1 sty. 100x64. Power Plans, 1 sty. 74x60. Recreation Bldg., 1 sty. 80x48. Dining room building, 1 sty. 82x46. Main Building, 2 sty. 48x83. Cottages (6) 1 sty. 38x106 each. Hospital Bldg., 2 sty. 24x86. Receiving Bldg., 2 sty. 86x32. Industrial Bldg., 1½

sty. 32x89. \$400,000. Newcastle, Indiana. Archt., Herbert Foltz, 843 Lemcke Bldg., Indpls. Mechanical Engineer, McMeans & Tripp, 510 Majestic Bldg., Indpls. Owner, Indiana Village of Epileptics, Dr. W. C. Van Nuys, Supt., Newcastle, Ind. Low bidder on general contract, M. Yeager & Son Constr. Co., Danville, Ill. Archt. will award contracts next week.

Residence & Garage: \$25,000. 2 sty. & bas. Near Indpls. Archt., Herbert Foltz, 843 Lemcke Annex. Owner, Evans Woolen, Prest., Fletcher Trust Co. Plans in progress. Frame.

Terminal Warehouse: \$300,000. 7 sty. & bas. 245x195 So. Penn. and Georgia Sts. Archt. not selected. Owner, Terminal Building Corporation, Albert E. Metzger, Prest., % Fletcher Savings & Trust Co. and William J. Hogan, General Manager, % Indiana Refrigerating Co., So. Penn. St. Owners will select architect shortly. Expect to mature about May 1st. Reinf. concrete.

***Public Hospital:** \$85,000. 2 sty. & bas. Greencastle, Indiana. Archt. D. A. Bohlen and Son, 1001 Majestic Bldg., Indianapolis. Owner, Board of Trustees, Andrew B. Hanna, Wm. A. Kreigh, David V. Hostetter, and Jesse McCoy. Will receive bids until March 22nd at 2 p. m. at the office of the Auditor of Putnam County, at Greencastle, Indiana. (See legal advertising this issue).

Church: \$100,000. 2 sty. & bas. Ashland, Ohio. Archt., L. H. Sturges, 527 Board of Trade Bldg., Indpls. Owner, Christian Church, Rev. A. B. Robertson, pastor, Ashland, Ohio. Plans in progress. Brick, stone trim.

Church: \$40,000. 1 sty. & bas. 84x115. Winona Lake, Ind. Archt., L. H. Sturges, 527 Board of Trade Bldg., Indpls. Owner, First Presbyterian Church, George P. DeHoff, Chmn. Bldg. Comm., Winona Lake, Ind. Plans in progress. Brick, stone trim.

Church: 2 sty. & bas. 100x60. Fort Worth, Texas. Archt., W. H. Gans, Fletcher Trust Bldg., Indpls. Owner, First M. P. Church, Dr. Hess, pastor, Ft. Worth, and Board of Home Missions, Pittsburgh, Pa. Plans in progress. Brick and stone.

School: 2 sty. & bas. Winchester, Ind. Archt., Elmer E. Dunlap & Co., State Life Bldg., Indpls. Owner, Board of Education, Winchester. Plans in progress.

***School:** \$87,500. Huntington, Indiana. Archt., Elmer E. Dunlap & Co., State Life Bldg., Indpls. Owner, Board of Education, Marion B. Stults, Pres., Thad Clark, Secy., Huntington. Previously reported taking bids to close Feb. 7th. Owner will not open bids on the above date, but will readvertise for new bids shortly. Exact date for closing not set.

***Church:** (Auditorium & Gymnasium). \$40,000. Oxford St. near 10th. Archt.,

Honeywell & Parker, 620 State Life Bldg., Indpls. Owner, Centenary Christian Church, 1612 Sturm Ave., William J. Montgomery, pastor, 622 No. Gray St. Low bidder on general contract, Hay & Weaver, South Bend, Ind. May award contract soon.

***Shrine Temple** (add) 3 sty. side add. \$500,000. 109x200. "Murat Temple." Archt., Rubush & Hunter, American Central Life Bldg. Owner, Ancient Order Nobles of the Mystic Shrine, John E. Milnor, Potentate, 146 No. Delaware St. Archt. taking bids.

Bungalow: 1½ sty. & bas. Plainfield, Ind. Archt., Layton Allen, 401 Lombard Bldg., Indpls. Owner, Harry E. Wilson, Plainfield, Ind. Plans in progress. Frame, asbestos slate roof, furnace heat, hardwood floors, septic tank.

School (Pumping outfit and toilet system.) Coatsville, Ind. Archt., Layton Allen, 401 Lombard Bldg., Indpls. Owner, John X. Masten, trustee, Coatsville, Ind. Plans in progress. Flush toilet outfit, septic tank, pumping system.

***Factory:** \$20,000. 1 sty. 45x202. Archt. Edward N. Russell Co., 45 Union Trust Bldg. Owner, Reedy Elevator Co., Daniel V. Reedy, Prest., 1026 Kentucky Ave. Low bidders on general contract are J. G. Karstedt Constr. Co., 429 Lemcke Bldg. and J. E. McGaughey, American Central Life Bldg. Archt. will probably award contract Monday. Brick walls, steel sash, wood block floors, comp. roof.

Residence: (8 rooms) Irvington. Archt. Norman H. Hill, 909 State Life Bldg. Owner, Judge Mahlon S. Bash, 51-53 Court House. Plans in progress. Brick veneer, tile roof, steam heat, tile floor in bath, hardwood floors.

Residence (Suburban) 2 sty. & bas. 8 rooms. Near Highland Golf Course, Riverside Park. Archt., Norman H. Hill, 909 State Life Bldg. Owner, Dr. Frank E. Long, Penway Bldg., 241 No. Pennsylvania St. Plans in progress. Stucco, shingle roof, furnace heat.

Office Building Directory: The city of Indianapolis is in the market for a bronze frame, changeable letter, office directory. Inquire of E. C. Doeppers, City Hall.

Contracts Awarded.

***Apartment Building:** \$350,000. 3 sty. & bas. 235x197. "The Harvey Apts." 34th and Meridian St., Indpls. Archt., J. E. Salie, 519-20 Empire Bldg., Birmingham, Alabama. Owner, The H. N. Maloney Apartment Co., % Archt. General contract let to Byrd & Co., Birmingham, Alabama. \$319,346.30. Start work soon. Stucco, brick, pyrobar floor tile & reinf. concrete construction.

***School Building** (auditorium, gymnasium, domestic science and manual training depts., primary department, 6 class

(Continued on Page 13)



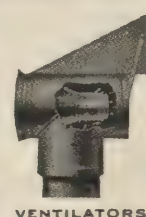
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INDIANAPOLIS



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CUTTING to length without extra charge.
NO EXTRA charge for deformed bars.

ALL BARS rolled to A. S. T. M. specifications.

EVERY OUNCE of reinforcing bars made and sold by this company is backed by its reputation and integrity, unshaken thru 50 years of intimate industrial service. Your reinforcing requirements are in competent hands when placed with us.

INQUIRIES will be given very prompt attention. Our **PERSONAL REPRESENTATIVE** will gladly call if desired.

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- FIRE DOORS AND HARDWARE
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Marble Work of Every Description

Tile Floor and Wainscots

WEGE-STANFORD MARBLE & TILE CO.

603 Odd Fellows Building
Indianapolis

rooms, print shop, commercial department.) 2 sty. & bas. & 1 sty. 90x30. Hospital Unit: "Indiana Masonic Home," Franklin, Ind. Archt., McGuire & Shook, 320 Indiana Pythian Bldg., Indpls. Owner, Grand Lodge, F. & A. M., North and Illinois Sts., Indpls. O. E. Holloway, chairman, Knightstown, Ind. General contract awarded to Roy Bryant, Franklin, Ind. Electric wiring let to C. L. Smith Electric Co., 122 Virginia Ave., Indpls. Heating and plumbing let to Beale Bros., Rushville.

Residence: \$5,000. 49th and Capitol Ave. Archt. and Owner, Virgil Hoagland, 902 State Life Bldg. General contract let to Wm. Low Rice, State Life Bldg. Frame.

***Bank** (rem. from store room). Illinois near 16th. Archt., Vonnegut, Bohn & Mueller, 610 Indiana Trust Bldg. Owner, Fletcher Trust Co. General contract let to Brandt Bros., Indiana Trust Bldg.

Building Permits.

Residence (Duplex). \$10,000. 4239-41 Central Ave. Owner, William S. Peele, % J. D. Adams & Co., 217 So. Belmont. General contract let to J. L. Holmes, 651 East 44th. 2 sty. & bas. 28x45.

Building (rem.) \$10,000. 1401-07 Bellefontaine. Owner and builder, Nick Noe, Lombard Bldg. General alterations.

Residence: \$8,000. 3920 Central Ave. Owner, James L. Gavin, % Commercial National Bank. General contract let to W. A. Sides, 121 Garfield Ave.

Residence (double) \$8,600. 3019-21 No. Delaware St. Owner, Lenora E. Kealing, % Contractor. General contract let to Gale Construction Co., 2117 Gale St. Brick veneer.

ANDERSON.

***School** (addition & rem.) \$40,000. 2 sty. 3 rooms and gymnasium. Adams Township, Madison County, Markleville, Ind. Archt., E. F. Miller, Union Bldg., Anderson. Owner, Dr. David N. Conner, trustee, Markleville. Plans in progress. Brick, new front, stone trim, steam heat, septic tank.

Residence: \$30,000. 2 sty. & bas. 70x30.

Archt., E. F. Miller, Union Building. Owner, James W. Lynch, Prest., Dice Machine Company. Plans in progress. Brick veneer and hollow tile, tile roof, tile floors, hardwood floors, steam heat, incinerators.

BLOOMINGTON.

Apartment Building: \$50,000. 2 sty. & bas. 45x90. Archt., Alfred Grindle, 122½ No. Walnut St. Owner, W. B. Cooley, % Archt. Plans in progress. Brick.

Hotel: \$50,000. 2 sty. & bas. 65x134. Bloomfield, Ind. Archt., John L. Nichols, 204 So. Indiana Ave., Bloomington. Owner, I. B. Stalouk, Bloomfield, Ind. Plans in progress. Brick.

CORYDON.

School: 2 sty. & bas. 70x60. Franklin Township, Harrison County, Ind. Archt., George C. Doolittle, Corydon, Ind. Owner, John H. Meurer, trustee, Lanesville, Ind. Plans completed. Owner will advertise soon as plans have been approved by the State Board of Accounts. Concrete block, 4 ply asbestos roof, iron & steel, low pressure steam heating system, aspirated ventilation system, 1 heavy duty steam boiler.

School: 2 sty. 72x60. Morgan Township, Harrison County, Ind. Archt., Geo. C. Doolittle, Corydon, Ind. Owner, Walter E. Dietrich, trustee, Palmyra, Ind. Plans completed. Owner will advertise soon as plans have been approved by State Board of Accounts. Brick veneer, septic tank, 4 ply asbestos roof, low pressure steam heating and aspirated ventilation system, deep well pump, electric light and power system. Will contain 4 rooms and gymnasium.

EVANSVILLE.

High School: (6 rooms, gymnasium, domestic science and manual training depts.) Cannelton, Ind. Archt., F. J. Schlotter, 113½ Upper Fourth St., Evansville. Owner, Board of Education, Preston Minor, Secy., T. J. Truempy, Treas., John Rau, Prest., Cannelton, Ind. Plans in progress. Brick, stone trim,

comp. roof, steam heat, semi-fireproof.

***Smoke Houses & Sausage Kitchens:** \$75,000. 3 sty. & bas. Archt., Harry E. Boyle & Co., Furniture Bldg. Owner, Evansville Packing Company. Plans in progress. Brick, reinf. concrete.

***Sanitarium:** (30 beds) \$75,000. Harrisburg, Ill. Archt., Harry E. Boyle & Co., Furniture Bldg., Evansville. Owner, Dr. A. J. Butner, prest., Dr. W. J. Blackard, secy., Harrisburg, Ill. Archt. revising plans. Brick.

***Warehouse & Office:** \$25,000. 2 sty. Archt., Harry E. Boyle & Co., Furniture Bldg. Owner, Evansville Oil & Grease Co. Plans in progress. Brick.

***Duplex Apartment:** 2 sty. & bas. \$15,000. South First St., near Mulberry. Archt. and Owner, Frank J. Schlotter, 113½ No. 4th St. Owner builds and awards separate contracts. Brick. Start work at once.

FT. WAYNE.

Baking Plant: 4 sty. & bas. Archt., The McCormick Company, 41 Park Row, New York City, N. Y. Owner, The Craig Biscuit Co., Gustave L. Scheffler, Prest., 115 Montgomery St., Ft. Wayne. Plans in progress. Brick reinf. concrete.

***Hotel "Keenan."** 15 sty. & bas. 300 rooms. \$900,000. Harrison and Washington Sts. Archt., Chas. R. Weatherhogg, Citizens Trust Bldg. Owner, The Keenan Hotel Co., James Keenan, Prest., % The Anthony Hotel. Ready for bids about Feb. 15th. Brick, terra cotta and steel.

***Church:** \$250,000. 2 sty. & bas. Archt., Bertram G. Goodhue, 2 West 47th St., New York City, N. Y. Owner, Trinity Lutheran Congregation, J. B. Franke, Chmn., 2131 Forest Park Blvd., Louis C. Steger, 340 West Sutfenfield, J. G. Thieme, 816 West Berry St., Ft. Wayne, Ind. Plans in progress. Brick and stone.

Apartment Bldg.: (addition of 27 apts) \$100,000. "Worthington Apartment." Owner, Progressive Investment Co., % Chamber of Commerce, Ft. Wayne. Plans in progress. Brick.

Duplex Apartment: 2 sty. & bas. 40x40. (Continued on Page 15)

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Residence: \$15,000. 2 sty. & bas. Forest Park Blvd. Archt., Guy Mahurin, 500 Lincoln Life Bldg. Owner, Benjamin F. Heaton, 1001 West Berry St. Plans in progress. Frame and brick veneer, steam heat, incinerator, tile bath.

Residence: \$20,000. Van Wert, Ohio. Archt., A. M. Strauss, 709 Shoaff Bldg., Ft. Wayne. Owner, Benjamin F. Ireton, Van Wert, Ohio. Plans in progress. Brick veneer and hollow tile, tile roof, vapor heat, vacuum cleaner, hardwood floors, tile bath, 2 sty. & bas. 50x26.

Residence: \$15,000. 2 sty. & bas. 42 x 30. Ligonier, Ind. Archt., A. M. Strauss, 709 Shoaff Bldg., Ft. Wayne. Owner, Sol Henoch, Ligonier, Ind. Archt. ready for bids Feb. 15th. Brick veneer, stone or terra cotta trim, steam heat, hollow tile.

***Commercial Bldg.:** \$25,000. 2 sty. & bas. 40x70. Archt., A. M. Strauss, 709 Shoaff Bldg. Owner, Seelberg & Weil, % Archts. Archt. receiving bids. Brick and hollow tile.

***Apartment Bldg.:** (4 apts.) \$20,000. West Wayne St. Archt., A. M. Strauss, 709 Shoaff Bldg. Owner, Henry Frosh, 1029 West Washington Blvd. Ready for bids February 20th. Brick.

Apartment Building (Duplex) 2 sty. & bas. 22x70. Erie St. Archt., A. M. Strauss, 709 Shoaff Bldg. Owner, Louis Novitsky, 1106 Erie St. Plans in progress. Frame, shingle roof, furnace heat. Ordinary construction.

Residence (Colonial) \$10,000. 2 sty. & bas. 37x32. Archt., Wayne E. Bell, Riegel Bldg., Jefferson St. Owner, G. H. Scott, % Architect. Plans in progress. Brick veneer over frame, hardwood floors, asbestos slate roof, water softener, hot air furnace.

Residence (Colonial) & Garage: \$10,000. 2 sty. & bas. 37x40. East Drive. Archt., Wayne E. Bell, Riegel Bldg., Jefferson St., Ft. Wayne. Owner, M. J. Payton, % Archt. Plans in progress. Brick veneer & frame, vapor heat, asbestos shingle roof, water softener, hardwood floors, tile floor in bath.

***Bungalow:** \$5,000. Rome City, Ind. Archt., A. M. Strauss, Shoaff Bldg., Ft. Wayne. Owner, M. F. Owens, Rome City. Owner ready for bids in 30 days. Frame.

***Mausoleum:** \$10,000. Ligonier, Ind. Archt., A. M. Strauss, Shoaff Bldg., Ft.

Wayne. Owner, Meyer Jacobs Estate, Ligonier. Plans completed. Mature March 1st. Granite, slate and marble exterior, bronze doors.

Residence: Albert A. Sherman, purchased lot on Prairie View Ave. and will build.

Residence: John E. Frick, purchased lot on Putnam St. and will build soon.

Residence: David S. Franklin, purchased a lot on Cass street, Cass Addition and will build.

Residence: Owner, F. Schmidt, % Pennsylvania R. R. Archt., private plans. General contract let to Hilgeman & Schaaf. Start work at once. Frame. 6 rooms.

Residence: Florida Drive. Owner, L. Beatrice Mills and Grace Van Studiford. Site purchased. Will build in spring.

Church: Archt., J. M. E. Riedel, Noll Bldg. Owner, Trinity English Lutheran Church, % Archt. Preliminary plans in progress. Brick and stone.

Contracts Awarded.

***School (Joint High & Elementary):** \$50,000. 2 sty. 93x80. Poe, Ind. Allen County, near Ft. Wayne. Archt., Guy Mahurin, 500 Lincoln Life Bldg., Ft. Wayne. Owner, Chas. F. True, trustee, Ft. Wayne. General contract awarded (not signed) to F. J. Rump & Son, 2411 So. Wayne Ave., low bidder on plumbing, P. B. Arnold Co., Ft. Wayne. Low bidder on Elect. work, Wells Electric Co., Bluffton, Ind. Will award contracts soon as bonds are sold.

***Commercial Bldg. (alt. & add.)** \$20,000. Wabash, Ind. Archt., A. M. Strauss, 708 Shoaff Bldg., Ft. Wayne. Owner, M. C. Honeywell, Wabash, Ind. Owner will build by day labor. Steel and iron let to Rochester Bridge Co., Rochester, Ind.

***Residences (8)** \$3,000 to \$5,000 each. Archt., Wayne E. Bell, Riegel Block, % Archt. Archt. will build and award separate contracts. Frame.

***Stores & Offices:** 2 sty. 60x75. 128 East Wayne St. Archt., Guy Mahurin, 500 Lincoln Life Bldg. Owner, Kilbourne & Perry Co. General contractor, W. A. Sheets, all of Ft. Wayne. Excavated.

Residences (15) \$3,000 to \$5,000 each. Archt., private plans. Owner, Peter P. Pierce, 1229 Crescent St. Start work soon. Frame.

FRANKFORT.

***School (Grade & High)** addition and alteration, \$30,000. Kempton Twp., Tipton County, Goldsmith, Ind. Archt., Rodney Leonard, Peoples Life Bldg., Frankfort. Owner, Dr. J. H. Ferguson, trustee,

Kempton, Ind. Owner will start advertising at once, bids to close about Feb. 25. (Exact date not set). Brick, semi-fire-proof. 2 sty. & bas. 44x63.

***Garage:** (rem. from livery stable). \$20,000. Washington & Columbia Sts. Archt., Rodney Leonard, Peoples Life Bldg. Owner, C. K. Smith, Frankfort. Owner ready for bids. Stucco over brick. 2 sty.

***Bank & Office Bldg.:** \$85,000.00 Newcastle, Ind., Main and Broadway. Archt., Rodney Leonard, 300 Peoples Life Bldg., Frankfort. Owner, Citizens State Bank, Harry Jennings, Prest., T. B. Milligan, V. P., Newcastle, Ind. Archt. revising plans. Brick, Bedford stone front, 2 sty. & bas. 40x75.

***Memorial Hospital:** \$125,000. 2 sty & bas. Archt., Rodney Leonard, Peoples Life Bldg., Frankfort. Owner, Board of County Commrs., Edward Spray, Auditor, Frankfort, Board of Trustees, Frank Coulter and Mose Epstein, Frankfort. Owner receiving bids to close Feb. 23 at 10 a. m. (See legal advertising.)

HUNTINGTON.

***County Jail:** \$65,000. Archt., Samuel Craig & Co. Owner, Board of County Commissioners, Joseph E. Shideler, Auditor, Court House, Huntington. Owner receiving bids to close March 10th at 2 p. m. (See legal advertising.)

KOKOMO.

***School (Township)** \$75,000. 2 sty. & bas. Somerset, Ind. Waltz Township, Wabash County. Archt., Elmer E. Dunlap & Co., Harrison Bldg., Kokomo. Owner, Frank M. Truss, trustee, Somerset, Ind. Owner receiving bids to close February 21st at 10 o'clock a. m. at his office in Somerset, Ind. (See legal advertising this issue.)

***Bungalow:** \$15,000. Peru, Ind. Archt., Elmer E. Dunlap & Co., Harrison Bldg., Kokomo. Owner, F. S. Werks, Peru. Plans completed. Ready for bids in 30 days.

Duplex Residence: (5 rooms each.) 2 sty. & bas. Archt., Thomas McGaw, Citizens Trust Bldg. Owner, Mrs. George Duke, Kokomo. Preliminary plans. Brick, hot water heat, shingle or tile roof, hardwood floors.

Residence: (5 rooms.) Archt., Thomas McGaw, Citizens Trust Bldg. Owner, Robert Finch, Kokomo. Plans in progress. Frame, shingle roof, hot air furnace.

Residence: (7 rooms.) Archt., Thomas McGaw, Citizens Trust Bldg. Owner, W. (Continued on Page 19)



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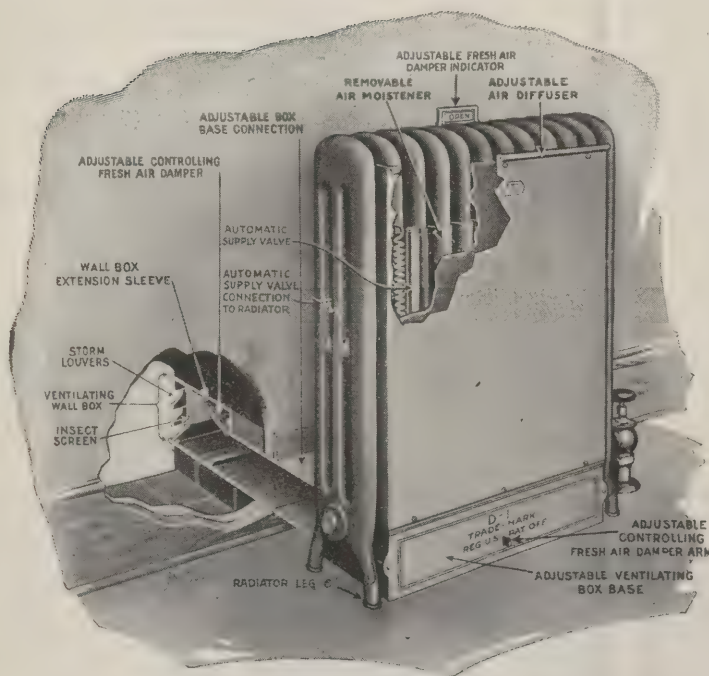
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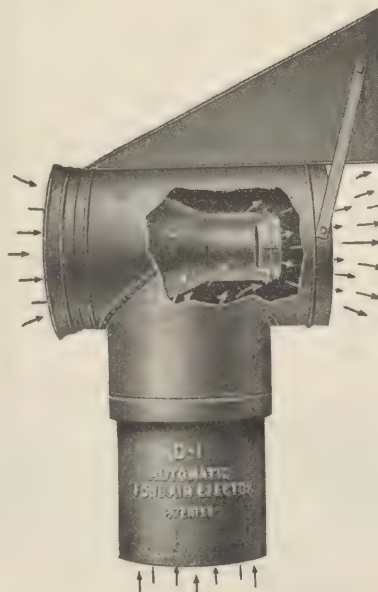
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Cottage (for overseer) 6 rooms, near Tipton. Archt., Thomas McGaw, Citizens Trust Bldg., Kokomo, Ind. Owner, Sisters of St. Joe, Mother Xavier, Tipton. Plans in progress. Frame, asphalt shingle roof.

*Boiler Room & Power House: 1 sty. 30x40. Archt., Thomas McGaw, Citizens Trust Bldg. Owner, J. M. Leach Mfg. Co., 305 So. Main St. Owner will build by day labor. Excavating.

LAFAYETTE.

*School (3 additions and remodeling). \$85,000. 2 sty. & bas. 114x87. "Big Creek Township," White County, Ind. "Chalmers School Bldg." Archt., Riedel & Zink, 821-22 Lafayette Life Bldg., Lafayette, Ind. Owner, John A. Kassabaum, trustee, Chalmers, Ind. Owner receiving bids to close February 28th, at 10 o'clock a. m. Brick, stone trim, asphalt roof, D. I. steam gravity heating system, private water plant. (See legal advertising.)

*Church: \$70,000. 2 sty. & bas. 56x120. Archt., Riedel & Zink, 821-22 Peoples Life Bldg., Lafayette. Owner, St. Lawrence Church, Rev. Father Alfred Herman, Lafayette. Plans completed. Owner

ready for bids shortly. Face brick, metal lath, slate roof with an alternate on tile, stone trim, steam heat.

*Hotel & Stores: \$200,000. Bedford, Ind. "The Greystone Hotel." Archt., Nicol, Scholer & Hoffman, Ross Bldg., Lafayette. Owner, The Greystone Realty Co., Bedford, Ind. Plans in progress. Brick, Bedford stone.

*Office Bldg. (rem. from dept. store.) Archt., Nicol, Scholer & Hoffman, Ross Bldg., Lafayette. Owner, H. Schultz, 4th and Main. General contract let to George Dahm.

*Hotel: (130 rooms.) 9 sty. & bas. 90 x 100. Kenosha, Wisconsin. Archt., Nicol, Scholer & Hoffman, Ross Bldg., Lafayette. Owner, Sheridan Hotel Corporation, Walter F. Mayer, Atty., Majestic Bldg., Milwaukee, Wis. Bids close Feb. 7th. Brick, reinf. concrete.

LAPORTE.

Residence & Garage: 1½ sty. & bas. 40x65. \$10,000. Archt., George Allen & Son. Owner, Joseph Levi, Laporte. Plans in progress. Frame and shingle.

Concrete Well: The Board of Public Works, Albert F. Schultz, City Clerk, will receive sealed bids or proposals for the construction of an additional well,

having an interior diameter of sixty (60) feet and an approximate depth of twenty-five (25) feet below the surface of the ground, and about four (4) feet above ground. The walls are to be constructed of concrete, reinforced, and eighteen inches in thickness, at the Little Kankakee pumping station, four (4) miles easterly from the city of Laporte, according to the drawings and specifications now on file in its office, until 9 o'clock a. m., on the 11th day of February, 1922.

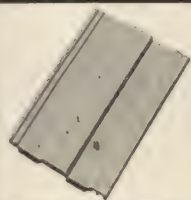
LEBANON.

*Residence (Duplex) 5 rooms each side. Archt., L. H. Sturges, Board of Trade Bldg., Indpls. Owner, Harry Bohanon, 701 East Washington St., Lebanon, Ind. Owner receiving bids. Frame and stucco, steam heat.

*Residence: 2 sty. & bas. Archt., L. H. Sturges, 527 Board of Trade Bldg., Indianapolis. Owner, J. E. Morrison, 509 No. Meridian St., Lebanon. Owner will be ready for bids February 10th. Brick veneer.

MICHIGAN CITY.

Paint Shop: \$150,000. 2 sty. Archt., Howard Shaw, 39 So. State St., Chicago, (Continued on Page 21)



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Ill. Owner, Haskell & Barker Car Co., Michigan City. Plans in progress. Brick.

*Church: \$75,000. 7th and Pine streets. Owner, First M. E. Congregation, 7th and Pine. Archt., Fred Ahlgrim, % Haskell & Barker Car Co. Contractor on substructure, Vincent Milcharek. Bids in on superstructure. Will award contract shortly.

TERRE HAUTE.

*Tuberculosis Sanatorium (Childrens Bldg., \$100,000. Supt. & Nurses quarters, \$25,000, and for the general rem. and repair of plmg. system in men's and women's wards and administration bldg., \$4,000. At the Indiana State Sanatorium for the treatment of Incipient Tuberculosis, near Rockville, Ind., Parke County. Archt., Shourds-Stoner Co., 511 Tribune Bldg., Terre Haute & Chicago, Ill. Owner, Board of Trustees, Indiana State Sanatorium, C. E. Keeley, Prest., Nevada Duncan, V. P., James S. Wright, Secy., Amos Carter, M. D., Supt. Bids are being received to close March 9th, at 2 p. m., at the Claypool Hotel, Indpls., Ind. Brick, steam heating system, boiler, refrigerating plant, insulating cold storage rooms.

School (Consolidated Grade and High School). 2 sty. & bas. Will contain 12 rooms. Merom, Ind., Sullivan county, Gill township. Archt., Shourds-Stoner Co., 511 Tribune Bldg., Terre Haute. Owner, Emery Setzer, trustee, Merom, Ind. Preliminary plans in progress. Brick.

Duplex Apartment: Deming Park Addition, Terre Haute. Archt., Shourds-Stoner Co., 511 Tribune Bldg., Terre Haute. Owner, D. H. Whitaker, Brazil,

Ind. Archt. ready for bids. Brick veneer over frame, hot water heat, asphalt shingle roof.

*Store & Office Building: (9 stores and 42 offices). 6th and Cherry Sts. "Pig and Whistle Building." Archt., Shourds-Stoner Co., 511 Tribune Bldg. Owner, Demas Deming, Prest., First National Bank, Terre Haute. Archt. ready for bids Feb. 10th. 2 sty. & bas. 111x141. Brick, comp. roof, copper set store fronts, tile work, steam heat.

*High School: (add.) \$50,000. gymnasium, auditorium and class rooms. Rosedale, Ind., Florida township. Archt., Johnson, Miller & Miller, 30 No. 5th St., Terre Haute. Owner, James A. Taylor, trustee, Rosedale, Ind. Plans in progress. Brick.

VINCENNES.

*Masonic Temple: \$70,000. 3 sty. & bas. Greencastle, Ind. Archt., J. W. Gad-dis, American National Bank Bldg., Vincennes. Owner, Temple Lodge No. 47, F. & A. M., Greencastle, Ind. Archt. receiving bids to close February 5th. Brick, Bedford stone facings, flat tile roof, steam heat, tile, marble & terrazzo work.

*School (High and Grade) 2 sty. & bas. 92x66. Mackey, Ind., Barton Township, Gibson County. Archt., J. W. Gad-dis, American National Bank Bldg., Vincennes. Owner, Chas. Wheaton, trustee, Mackey, Ind. Owner taking bids to close February 21st. Brick, cut stone, hollow tile wall constr., concrete floors, reinf. concrete floor and roof constr. Sidewalk lights, septic tank, metal stairs & railings, concrete stairs, gravel roof, motion

picture booth, D. I. radiation, gravity heating system, cast iron boiler.

High School (addition). \$46,000. 2 sty. & bas. 50x110. Flora, Ill. Archt., L. H. Osterhage and Byron Sutton, Citizens Trust Bldg., Vincennes, Ind. Owner, Bd. of Education, N. E. Prince, Prest., Flora, Ill. Plans in progress. Brick.

MISCELLANEOUS CITIES.

*Elwood: Heating plant for grade school. \$35,000. Archt., Hiram Elder, Marion, Ind. Owner, Board of Education, A. W. Konold, Supt. Bonds are advertised for sale on February 6th. If sold bids will be advertised on heating plant.

Mishawaka: Bank, \$75,000. Archt., K. M. Vitzthum & Co., 21 E. VanBuren St., Chicago, Ill. Owner, Merchants & Farmers Trust Co., Mishawaka, Ind. Low bidder on general contract, Griffith Construction Co., Oak Park, Ills. Will probably award contract shortly. Contains banking room, 10 offices, 2 stores.

Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field. Copy should reach us, at the latest, Wednesday of the week of publication.

PUBLIC HOSPITAL NOTICE TO CONTRACTORS.

Notice is hereby given that the Board of Trustees of the Putnam County, Indiana (Continued on Page 23)

THE MOUAT VAPOR HEATING SYSTEM

With positive graduating heat
control at each radiator

We make working plans and specifications
Our skilled Engineering Department at
your service

THE MOUAT-SQUIRES CO.
CLEVELAND, OHIO

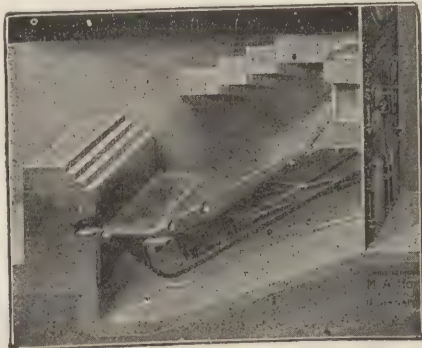
Our representative travels Indiana regularly

Equals the Economy

of the high grade mechanical stoker—with its high power costs and maintenance charges eliminated.

Burns the Cheapest
fuels without smoke or
waste.

Write for
particulars



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We are
DESIGNERS AND BUILDERS
—OF—

RADIAL BRICK CHIMNEYS

For Power Plants and other purposes

**Specialists in Repairing
Defective Chimneys**

**Inspecting and Repairing While Your
Plant is in Operation**

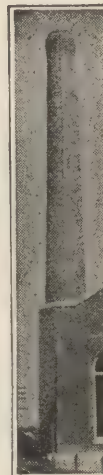
Prompt repairs may save
your chimney from becoming
insecure and dangerous.
A slight defect, a
break in the binding forces
of its masonry, will im-
pair or destroy the draft,
and waste fuel.

If you care to have us
make an inspection of your
chimney just drop us a
line, and we will then in-
form you what an inspec-
tion will cost.

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CORNELL ENGINEERING CO.
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Building Contractors—Industrial and Schools
825 MASSACHUSETTS AVE., INDIANAPOLIS

J. G. KARSTEDT CONSTRUCTION CO.
General Contractors
429 LEMCKE BLDG., INDIANAPOLIS

HALL CONSTRUCTION CO.
GENERAL CONTRACTORS, CONSULTING ENGINEERS
406 BOARD OF TRADE INDIANAPOLIS
J. EMMETT HALL RAY T. FATOUT
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Res.: 2958 Paris Ave. 206 Indiana Trust Bldg.

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WM. W. WIESE, SEC-TREAS.
LATHAM & WALTERS
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ENGINEERS AND CONTRACTORS
927-928 STATE LIFE BLDG. INDIANAPOLIS, IND.
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134 NORTH DELAWARE, INDIANAPOLIS

ROLAND M. COTTON CO.,
Plumbing and Heating Contractors
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AINSWORTH & SON CONSTRUCTION CO.
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SCHWEGMAN-WITTE CO.
Heating, Ventilating and Plumbing Contractors
127 E. Jefferson St. FT. WAYNE

BEDFORD STEEL & CONSTRUCTION CO.
Industrial Plants Complete Engineers—Builders Power Houses Factories
BEDFORD, IND.

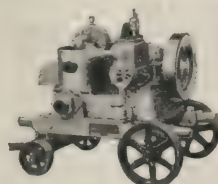
A. E. Gilden, President. W. J. Shoobridge, V-Pres.
E. J. Shoobridge, Sec. & Treas.

Gale Construction Co.
GENERAL CONTRACTORS
2117-31 Gale St. Phone, Webster 8693
INDIANAPOLIS

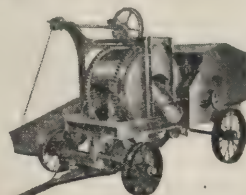
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Structural Steel for all types of Buildings,
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Steel Bridges Enquiries Solicited

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CONTRACTING ENGINEERS
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No. 4 C. H. & E. Bilge Pump



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CONCRETE MIXERS

SAW RIGS
PUMPS
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MORTAR MIXERS
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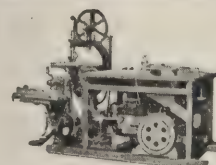
Immediate Shipment from Indianapolis Warehouse

KOEHRING COMPANY

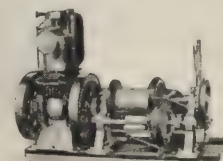
FLETCHER TRUST BUILDING INDIANAPOLIS

H. W. TAYLOR, INDIANA REPRESENTATIVE

MAIN 7170



No. 6 C. H. & E. Saw Rig



No. 3 C. H. & E. Hoist

ana, Public Hospital, will, until the hour of two o'clock, P. M., on Wednesday, the twenty-second (22d) day of March, 1922, at the office of the Auditor of said Putnam County, at Greencastle, Indiana, receive sealed bids, and then to be opened, for a general contract for the furnishing of all material and labor for the erection, construction and completion of the Putnam County, Indiana, Public Hospital, at Greencastle, Indiana, including heating, plumbing, elevator equipment and lighting system for said hospital building, all of which is to be in accordance with plans and specifications therefor which have been approved by the State Board of Charities and Board of Accounts of the State of Indiana, which said plans and specifications are on file in the office of the Auditor of Putnam County, Indiana, and copies of said plans and specifications for all said construction and work may be had at the office of D. A. Bohlen & Son, architects, 1001 Majestic Building, Indianapolis, Indiana, and may also be inspected in the office of the Auditor of said Putnam County, at Greencastle, Indiana.

All bids and proposals shall be on forms prescribed by the State Board of Accounts. These proposals must be accompanied by an approved surety company bond to the full amount of the maximum bid. Said bond is to protect the owners, the Hospital Board and Putnam County, Indiana, in case the contractor fails to enter into contract within five (5) days after the awarding of the contract, and also to protect the owners in the fulfillment of all parts of the contract, according to plans and specifications and the time within which said building shall be completed.

Each contractor receiving plans and specifications from the architect will be required to deposit as security for their return in good order the sum of twenty dollars (\$20).

The estimated cost of the construction and completion of said hospital building in accordance with the plans and specifications therefor, is eighty-nine thousand dollars (\$85,000).

Before the closing of a contract with any contractor for the construction and completion of said building the Board will require that such contractor furnish to the Board a certificate from the Industrial Board of Indiana showing that such contractor has complied with Section 68 of the Workmen's Compensation Act of Indiana.

And such contract when entered into and the bond to be furnished by said contractor, shall contain a condition and agreement to empower the said Board of Trustees to withhold from the contract price sums sufficient with which to pay all claims of laborers, material men and sub-contractors, as well as claims for labor and material furnished to contractors and to pay off such claims out of such fund as provided by Acts of the General Assembly of the State of Indiana.

Payment to the contractor upon estimates made as the work progresses and final payment shall be made as stated and fixed in the specifications for said work.

The Board reserves the right, and all contractors bidding for said work must bid with the understanding and condi-

tion, that the Board may reject any and all bids received and reserve the right to determine for themselves what bid may be accepted for said work and what bids may be rejected.

ANDREW H. HANNA,
WILLIAM A. KREIGH,
DAVID V. HOSTETTER,

and

JESSE McCOY,

Board of Trustees of Putnam County,
Indiana, Public Hospital.

James & Allee, Greencastle, Indiana,
Attorneys for Board of Hospital Trustees.

Feb. 4-11-18-25, March 4-11.

SCHOOL HOUSE.

NOTICE TO CONTRACTORS.

Sealed proposals will be received by the Trustee of Waltz School Township, Wabash County, Indiana, until ten o'clock A. M., Tuesday the 21st day of February, 1922, at his office in Somerset, Indiana, for the erection and completion of a two story and basement brick school building the estimated cost of which is \$75,000.00 to be located in Somerset, Waltz Tp., Wabash County, Indiana, according to the plans and specifications prepared by The Elmer E. Dunlap Co., Architects, copies of which are now on file in the office of the State Board of Accounts in the State House, Indianapolis, Indiana, and in the office of the Trustee and in the office of the Architects, Harrison Building, Kokomo, Indiana.

At the same time and place, separate bids will be received for furnishing and installing a complete heating plant, and the plumbing and sewerage for the above named building.

All bids must be in writing, sealed and with the envelope endorsed, giving the name of the bidder and the class of work bid upon and on bid forms as on file and all bids will be opened and read publicly at the time and place fixed in this notice.

The trustee reserves the right to reject any or all bids and to take time to investigate the bids and the qualifications of the bidders. The limit of time to be allowed the Trustee for proper investigation of bidders shall not be less than 7 days from the date of receiving bids.

Each bid for the general construction shall be accompanied by a certified check for the sum of Two Thousand, Five Hundred Dollars (\$2,500.00); each bid for the heating and ventilating plant shall be accompanied by a certified check for the sum of One Thousand Dollars (\$1,000.00) and each bid for the plumbing and sewerage shall be accompanied by a certified check for the sum of Five Hundred Dollars (\$500.00). These checks must be made payable to the School Trustee of Waltz School Township, Wabash County, Indiana, and will be held by him as a guaranty of good faith that said bidder or bidders will enter into contract and execute bond approved by the Trustee for the performance thereof, if his bid or bids are accepted. The checks of those bidders who fail to be awarded contracts shall be returned to them when the contracts are let.

Should the successful bidder or bidders fail to enter into such contract and execute such bond, then he or they shall

forfeit the amount of said certified checks as liquidated damages for the use and benefit of the proper fund of Waltz School Township, Wabash County, Indiana.

Each bidder shall file with his bid the statutory affidavit required under section 8698 Burns Revised Statutes of the State of Indiana, 1914.

Copies of the plans and specifications may be obtained from the office of the Architects, Harrison Building, Kokomo, Indiana upon deposit of twenty-five dollars for each set; said deposits will be returned to the bidders upon the safe said office of the Architects, on or before the day and hour set for receiving bids.

Each bidder receiving plans and specifications will be required to submit a bid or bids to the Trustee or failing to do so, the deposit for plans and specifications will be retained for the use and benefit of the proper fund of Waltz School Township, Wabash County, Indiana.

Signed, FRANK M. TRUSS,

Trustee of Waltz School Township,
Wabash County, Indiana.

Feb. 4, 1922.

SCHOOL HOUSE

NOTICE TO CONTRACTORS.

Notice is hereby given that Big Creek Township, of White County, State of Indiana, by its Advisory Board and its Township Trustee, will receive sealed bids at the office of John A. Kassabaum, at his office, Chalmers, Indiana, until 10 o'clock A. M., on Tuesday, Feb. 28th, 1922, at which time and place said bids will be opened, read and considered for the remodeling of present school building and the building of three additions thereto, said old school building located on the southwest corner of Sec. No. 27, Township No. 26, north, range 4, west, in said township and known as Chalmers School Building, and for the installation of the heating and ventilating system of said building and for installation of Plumbing, sewerage, septic tank and fresh water system for said building, and for the installation of an electric wiring and apparatus system, all for said School Township, according to plans and specifications as provided therefor by F. P. Riedel & T. A. Zink, Architects, No. 821-822 Lafayette Life Building, Lafayette, Indiana, and as further approved by the State Board of Health and the State Board of Accounts.

The plans and specifications are on file for the inspection of bidders at the office of the Trustee, Chalmers, Indiana, and at the office of the State Board of Accounts at the State House, Indianapolis, Indiana, and at the office of F. P. Riedel & T. A. Zink, Architects, No. 821-822 Lafayette Life Building, Lafayette, Indiana. Copies are available to bidders for use at their own office upon deposit with the Architects or Trustee, of Twenty-five Dollars, (\$25.00) to guarantee submission of bid and safe return of plans and specifications to said office of the Architects on or before the day and hour set for receiving bids. Bidders must familiarize themselves with such plans, specifications and the construction of present building before bidding and no

(Continued on Page 25)

INDIANA CONSTRUCTION RECORDER

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Paving Brick, Face Brick, Common Brick
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CONTRACTORS

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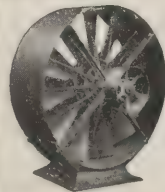
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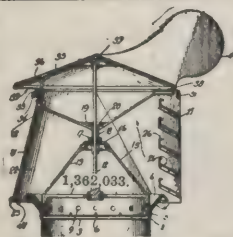
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INDIANAPOLIS

departure from the same will be considered.

Bids will be received as follows:

1—For the Construction of the Additions of the School Building including the remodeling in old building connected therewith.

2—Heating and Ventilating.

3—Plumbing, Sewerage, Septic Tank and Fresh Water System.

4—A combination of Heating, Plumbing, Sewerage, Septic Tank and Fresh Water System.

5—Electric Light and Power Wiring.

All bids shall be accompanied by the certified check of bidder in sum equal to at least five per cent (5%) of his gross bid or bids. Checks to be made payable to the order of said Trustee of Big Creek Township. In case a bidder, whose bid shall be accepted, shall not, within five days after notice of such acceptance, perform his bid by entering into a written contract with the Trustee, in the form satisfactory to Trustee, to execute the work and construct and complete the building, and within that time secure the performance of his building contract by a bond in the form satisfactory to the Trustee with surety or sureties to the approval of the Trustee, his certified check and the proceeds thereof shall be and remain the absolute property of the Township as liquidated damages for such failure, it being impossible to estimate the amount of damages such failure would occasion to the Trustee.

Each bidder shall file with the bid a statutory affidavit required under Section 8698 Burn's Revised Statutes of the State of Indiana, 1914.

The successful bidder will be required to enter into his written contract and also to deliver his bond with approved surety bond to the Township of Big Creek, White County, Indiana, in a sum equal to full amount of contract. The successful bidder will be required by the terms of his contract to enter into active prosecution of his work immediately and complete the new additions on or before September 1st, 1922, and the remodeling of old building shall be completed at the time to be agreed upon. Special attention is called to the provision for alternate propositions by bidders and the desired receipt of alternate proposals. The Advisory Board and Township Trustee for the Township reserves the right to reject any and all bids without giving any reason therefor.

JOHN A. KASSABAUM,
Trustee of Big Creek Township,
White County, Indiana.

SCHOOL HOUSE NOTICE TO CONTRACTORS.

Notice is hereby given that the undersigned trustees of the School Town of Shoals, Martin County, Indiana, will at two o'clock p. m. on Thursday, February (9th) ninth, 1922, at the law office of Carlos T. McCarty in the town of Shoals, Indiana, receive bids for the furnishing of all materials and the construction of a two-story annex to the high school building in the said town of Shoals, according to the plans and specifications therefor, which are on file with said trustees and which can be seen at said office of said Carlos T. McCarty; should

not satisfactory bid be received on said day, the board reserves the right to receive further bids from day to day until a satisfactory bid is received.

All bids will be for the furnishing of all materials and the construction of said annex to said school building, including heating, ventilating, plumbing equipment, and the construction of said building strictly according to the plans and specifications therefor. Separate bids may be received and accepted for portions of said work according to said plans and specifications.

All bidders will be required to file with their respective bids certified checks for three per cent of the amount of their bids, conditioned that if the contract is awarded, the successful bidder will enter into written contract and give bond for the work to be done, all in strict accordance with the law.

Dated January 16th, 1922.

C. W. McCAVIT,
F. M. BAKER,
A. M. MOLLET,

Trustees of the School Town of Shoals,
Indiana.

Feb. 4, 1922.

HOSPITAL NOTICE TO CONTRACTORS.

Bids for the construction of a Children's Building (appropriation \$100,000) and for a Superintendent's and Nurses' Cottage (appropriation \$25,000) will be received by the Trustees of the Indiana State Sanatorium, Rockville, Ind., at the Claypool Hotel, Indianapolis, Ind., on Thursday, March 9, 1922, up to 2 o'clock P. M. Shourds-Stoner Co., Architects, Terre Haute, Ind.
Feb. 4-11-18, 1922.

COUNTY JAIL BUILDING NOTICE TO BIDDERS.

Sealed bids will be received by the County Commissioners of Huntington County, Indiana, at the office of the Commissioners, County Court House, until 2 o'clock p. m., of Friday, March 10th, 1922, for the construction of a County Jail Building, including the General construction, Heating & Ventilating, Plumbing & Drainage, and Jail Cell Work, in accordance with the drawings, the specifications and all contract documents therein referred to, which drawings and specifications will be on file at the office of Samuel A. Craig & Company, 721 Warren Street, Huntington, Indiana, and at the Auditor's office, County Court House, on and after January 14th, 1922.

Proposals to be entitled to consideration must be made in accordance with the following instructions:

(a) Proposals shall be made according to the form attached to the specifications and each shall be delivered in a sealed envelope addressed to Mr. George Wilson, President of the Board of Commissioners, Marked "Proposal," bearing the title of the work and the name of the bidder.

(b) All signatures shall be made in longhand; all blank spaces fully filled in; the completed form shall be without interlineations, alterations or erasure.

(c) Proposals will be considered singly or in any combination, on the following branches of the work: (1) General Construction; (2) Heating & Ventilating; (3) Plumbing & Drainage; (4) Jail Cell Work; (5) Electrical Wiring.

(d) Each proposal must be accompanied by a bond payable to the Board of County Commissioners in a sum equal to the amount of the proposal, in accordance with conditions included in the Proposal Form.

(e) The competency and responsibility of the bidder will be considered in making the awards. The Board of Commissioners is not obligated to accept any bid submitted, but reserves the right to accept any proposal or to reject any or all proposals.

(f) A deposit of Thirty Dollars (\$30.00) will be required of prospective bidders for each set of drawings and specifications taken from the Architects' office, which amount will be refunded in full in case the following two conditions are complied with, Viz: (1) The return of the draw-

ings and specifications to the Architect on or before the day of the letting and within two weeks from the date of their leaving their offices and (2) The delivery to the Board of Commissioners of a bona fide proposal at the time and place fixed for receiving bids. Should the bidder fail in observance of either of these conditions, he shall be entitled to a refund of Twenty Dollars (\$20.00) should he fail in observance of both conditions he shall forfeit the full amount of his deposit. A charge of (\$10.00) Ten Dollars will be made for the use of the drawings and specifications beyond the two weeks period allotted to each bidder. All refunds shall be conditional upon the return of the drawings and specifications complete and in good condition to the office of the architects.

(g) Requests from sub-contractors for drawings and specifications should be made to bidders on the major contracts, as the Architects do not undertake to furnish drawings and specifications to sub-bidders unless sets should become available for this purpose after the demands of general contractors have been met.

(h) The contractors bidding upon the general construction of the work shall be supplied with the work and materials, already furnished on the excavating, foundation and grading, said work having been completed at an earlier date.

Estimated cost of the building, \$65,000.00.

By order of the Board of Commissioners, Huntington, Indiana.

Attest.

Joseph E. Shideler,
Auditor Huntington County, Indiana.

HOSPITAL NOTICE TO CONTRACTORS.

Notice is hereby given that the Hospital Board of Clinton County, Indiana, will receive sealed bids at the law office of Earl F. Gruber, in the Dinwiddie Building, Frankfort, Indiana, until 10 o'clock a. m.,

THURSDAY, FEBRUARY 23, 1922

At which time and place same will be opened, read and considered for the construction of a Hospital Building and for the installation of the heating and ventilating system of said building, and for installation of plumbing, sewer and gas system for said building, and for the installation of an electric wiring and apparatus system for said building, and for an elevator and dumb waiter system for said building, for use as a General Hospital for the said County and by and according to plans and specifications as provided therefor. Estimated cost of building \$90,000.00.

The plans and specifications are on file for the inspection of bidders at the law office of Earl F. Gruber, Dinwiddie Building, Frankfort, Indiana and at the office of Rodney W. Leonard, Architect, Room 309, Peoples Life Building, Frankfort, Indiana.

Bidders in submission of bids will submit same as follows:

(1) For construction of building (general contract) or

(2) For the installation complete of heating and ventilating system, or

(3) For the installation complete of plumbing, gas and sewer, or,

(4) For installation complete of electrical wiring and apparatus system or

(5) For installation complete of elevator and dumb waiter, or

(6) For all the work inclusive and as comprehended complete by the plans and specifications.

In this way the bidder only being required to submit his bid for such portion or portions of the total work as he may desire.

All bids shall be accompanied by an approved bond of the bidder in sum equal to full amount of his gross bid or bids, conditioned upon his entering into his written contract with said Board of Trustees if he is the successful bidder, according to proposal.

All bids and proposals shall be upon the forms prescribed by the State Board of Accounts. Unless bids are accompanied by bond as above and upon forms as above no attention will be given same.

The successful bidder will be required to enter into a written contract with said Board of Trustees. Contract as usually conditioned. The successful bidder will be required by the terms of his contract to enter into the active prosecution of his work immediately and complete said work at the time mentioned in general conditions of the specifications. The Board of Trustees for Clinton County reserve the right to reject any and all bids without giving any reason therefor.

BOARD OF TRUSTEES CLINTON COUNTY HOSPITAL:

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MOSES EPSTEIN, Secretary
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Official Paper

Indiana Society of Architects

Office of the Secretary
500 BOARD OF TRADE BUILDING
Indianapolis, Ind.

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WASHINGTON DISASTER REVIVES THE NEED FOR LAW TO GOVERN PRACTICE OF ARCHITECTURE.

In view of the Knickerbocker Theater disaster at Washington, and the need for a serious consideration of the safety factor in building construction, many Indiana architects are again advancing the argument for the necessity of an architects' license or registration law in Indiana. While it is admitted that such a law would not entirely prevent the menace of such a catastrophe as occurred in Washington it would greatly minimize the danger.

Indiana does have an Engineer's Registration Law that went into effect Dec., 1921, and all engineers and land surveyors are compelled to secure a certificate of registration in order to practice their profession in this State, but there is a division of opinion as to whether the architect comes within the provisions of the engineer's law and to date there has been no court ruling on the subject.

The Indiana Society of Architects has for a number of years sponsored a license or registration law but each attempt to have such legislation placed on the statute books has been balked by the State Legislature. As a result of this failure to secure the enactment of a law, as regards the practice of architecture in Indiana, anyone, regardless of his qualifications, can hang out his sign and design buildings if he can "get by" with it. All over the State planing mills, draughtsmen, and even contractors, are turning out plans on a wholesale scale in competition to qualified architects who have spent years in study and practice mastering the science of architecture.

SOUTHERN INDIANA ARCHITECTS TO FORM LOCAL ASSOCIATION.

Down at Evansville there are several propositions coming up that will have an important bearing on future building operations in that city and those back of the propositions have shown an inclination to consult with and consider the local architectural profession in formulating their plans.

As a result the Evansville architects have felt that the matters can be dealt

with to better advantage collectively than individually and that the architects' views will bear more weight if backed by an organization. To that end they have held several preliminary meetings preparatory to organizing the Evansville Architects' Association. The proposition has met with favor and it is proposed to launch the new association in the near future. Work is now under way to draft a constitution and by-laws same to be modeled after the one used by the Indianapolis Architects' Association. Local conditions are to rule in the matter but several provisions as incorporated in the constitution and by-laws of the A. I. A., and State Society are also to be used. Evansville has a strong contractors' association and the new architects' organization expects to co-operate with the contractors in advancing the interests of the Evansville building industry.

VINCENNES ARCHITECT ANNOUNCES NEW OFFICE LOCATION

Architect J. B. Bayard, Vincennes, Ind., has moved his office from 320½ Main St., to the third floor of the Bayard Bldg., at the s. w. corner, of Third and Main sts.

STATE BUILDING CODE LAW AGAIN BEING CONSIDERED.

Several years ago upon his induction into office Architect E. Hill Turnock, Elkhart, past president of the Indiana Society of Architects, advocated a number of ideas that seemed rather radical in their scope and yet each and every one had a direct and important bearing on the building industry.

Since then quite a few of these propositions have taken shape and some of them have been put into effect both by the architects and other building interests, namely the contractors.

One of the most important suggestions of Mr. Turnock had to do with a State Building Code, the object of which would be to unify or standardize building requirements all over the state insofar as possible. It was a big task, and at the time it was realized that much labor, time and missionary work would have to be expended to get the proposition over. For lack of concentrated and united effort the state building code idea laid dormant for a time and then the contractors be-

came interested in it and at the 1921 session of the State Legislature sought to have a preliminary measure enacted that would create a commission whose duty it would be to get things in shape for a later passage of a State Building Code Law. However, the contractors' bill was introduced too late for action and it got lost in the final closing rush.

Now the contractors have revived interest in the proposition and at the Evansville convention of the Associated Building Contractors of Indiana Charles Morrow, Muncie, Eph Dailey, Ft. Wayne, and Walter W. Wise, Indianapolis, were named a committee to assist in preparing a building code for the state. An effort will be made to have a State Building Code Law passed at the 1923 session of the Legislature.

ARCHITECTURAL AND ENGINEERING LEGAL MATTERS TO BE DISCUSSED BEFORE ARCHITECTS.

The regular monthly meeting of the Indianapolis Architects' Association will be held at the Columbia Club, Wednesday, Feb. 8th, the meeting to be preceded by a 6:30 p. m., dinner.

Architect Herbert L. Bass, who has charge of the program for the evening announces that Atty. Russell T. MacFall, Indianapolis, legal engineer, will address the architects on his experiences in legal matters, having to do with engineering and architecture.

I. S. A. DIRECTORS TO MEET SATURDAY, FEBRUARY 11.

The Board of Directors of the Indiana Society of Architects will hold their regular monthly meeting at the Lincoln Hotel, Saturday, Feb. 11th at 12:30 p. m., first lunching before going into session.

There are several minor topics to be taken up for discussion, but main attention will be directed to the recently approved Standard Contract Form to be used between Public Officials and Architects on all public building construction work.

Official Paper

Building Trades Employers Ass'n OF THE CALUMET DISTRICT

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If You are Contemplating any kind of Construction Work, you should Communicate with
General Office for Information

MEETING NIGHTS

General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.

FUTURE BUILDING POSSIBILITIES INCUBATED AT THIS SEASON OF THE YEAR.

The month of February is here, the preparatory season, as it were, in the building construction field. It is at this time that the prospective builder begins to visualize the project that he contemplates and sets about preparing for the materialization of his dream. To begin with he starts a string of inquiries to determine whether or not conditions are favorable to his undertaking, his building scheme. He attempts to get a line on the costs of building materials, then he delves into the prospects as regards the attitude of Labor toward wages for the coming year, ever seeking to learn the trend of prices. He wants to know first if there is a chance for reductions or advances. Then, if indications present a favorable outlook, his desire to build grows as Spring draws on.

The average man at some time or other entertains the desire to build and own a home, or, a larger building according to his means. The man who never has the construction idea makes a very poor citizen indeed, for he never creates or helps to build up his community. Such a man is like the drone in a hive of bees, he is always contented to let the others be doing while he just waits around to enjoy the fruits of their labors.

While the prospective builder is con-

templating the men of the building industry can aid him, not only him but themselves. Every contractor and the workmen, too, should do everything in their power to encourage building construction this spring. These two, the employers and the employees, can through their relations with each other either make or break the building prospects; if these two factions can get together amicably on the wage scales it will do a long way toward giving an impetus to building construction. Such encouragement will make for the building of homes and larger structures, will increase the wealth of the community, raise the standard of citizenship, and will prove an anchor to the windward in times of stress and adversity.

Therefore, building men should endeavor to eradicate any condition that would tend to upset building prospects, and should give their best efforts to make conditions attractive for the prospective builder. This thing can be done if every one interested in building will but go at the proposition in a spirit of fairness.

GOOD TIDINGS BROUGHT FROM EVANSVILLE.

L. E. Granger of the B. T. E. A., board of directors, returned home from Evansville with a glowing report of the contractors' convention. He displayed much optimism as to the future and was impressed at the way the contractors seem to be getting together on vital questions. He says the recent meeting was the best the contractors had ever held.

BIDS CAUSE CHURCH FOLKS TO HESITATE.

Bids were received the other day on the Episcopal Rectory. They ran a little high and were taken under advisement. Further consideration of the bids will determine the building committee whether to award the contract or ask for a refiguring.

CALUMET BUILDING PROGRESS.

Plans are being prepared for a three-story store and office building 90x108 to be erected at the north east corner of State St., and Oakley avenue.

Architect A. C. Berry, Hammond, is preparing plans for a community house in West Hammond. He is also engaged on plans for the new Lincoln School on the North Side.

There is rumor going the rounds that a large hotel is to be erected at the southeast corner of State and Oakley, opposite the post office. As yet the plans have not been definitely decided upon.

CITY PLANNING WOULD HAVE PREVENTED THIS.

Property owners along Hohman St., held a meeting at the Chamber of Commerce recently to discuss the widening of that thoroughfare. How easily this could have been done some thirty years ago, now, however, it will be some job. This much can be said for the scheme, a widened street along the line in question would help greatly.

E. E. COLE.

CALUMET DISTRICT

20 MILES FROM CHICAGO'S HEART

125,000 PEOPLE. 205 MANUFACTURING INDUSTRIES

28 Railroads—3 Electric Lines—Municipal Bathing Beaches in Every City

More Home Owners Than Found in Any Other District of Like Size

Official Paper

Associated Building Contractors of Indiana

FRED W. JUNGCLAUS, President
Indianapolis

C. C. PIERSON, Secretary
Indianapolis

ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller ----- President
Chas. Scarborough ----- Secretary

Office of Secretary, 710 Old State Bank

JANUARY BUILDING OPERATIONS GAIN OVER LAST YEAR.

January got away to a good start this year where comparisons in building operations are made with the corresponding period a year ago. In January, 1921, the estimated valuations for work for which building permits were issued amounted to \$23,780, while in January, 1922, they ran over \$80,000.

RESIDENTIAL BUILDING LEADS IN CONSTRUCTION ACTIVITIES.

Building operations in Evansville so far for 1922 have progressed along the lines of residences and school buildings. Local architects foresee slight activity in industrial building during the coming year.

One architect said that industries added floor space to their plants during the war, and have more space than is needed. At least another two years will see little work in industrial building, another architect asserted.

In Evansville building activity is holding to that rule. Residence construction is leading all other classes of building, according to building permits that have been taken out at the office of the city building inspector.

Among the industrial projects announced are those of the Evansville Oil and Grease Company who will shortly take bids on a warehouse and office building; the Evansville Chero Cola Company, who has just awarded the contract for a warehouse, and the Evansville Packing Co., who contemplates improvements estimated to cost \$75,000.

ANOTHER FIRE RESISTIVE BUILD- ING PLANNED.

Plans and specifications for a two-story building to be erected by the Evansville Oil and Grease company at Division and Garvin streets are in course of preparation according to H. E. Boyle and company, local architects.

The building will be of reinforced concrete construction. It will be erected at a cost of about \$25,000. Work will begin as soon as the weather is favorable for concrete construction.

The first floor of the structure will be used as a chemical laboratory. The second floor will be used for offices. The building will be fire proof.

EVANSVILLE BUSINESS GOOD.

Good times, compared with 1921, continued in Evansville Friday, according to bank clearings announced for the week ending Friday, Jan. 27.

Clearings for week ending Friday: \$3,788,907.03. For the week ending Friday, Jan. 27, 1921: \$3,684,543.22—an increase of \$104,363.81.

OPTION TAKEN ON SITE FOR NEW STORE AND OFFICE BULDG.

An eight story building containing offices and arcade store rooms may be constructed at 320 and 324 South Fourth street.

Meyer Newfield has secured an option on the property and is now dickering with a group of men who are considering the construction of such a building.

The proposed structure would be 69 feet by 150 feet. The location is known as the Saunders property.

BRICKLAYERS TO SEEK TO BOOST BUILDING.

A "build your home of brick" drive will be started in the near future by The Evansville Bricklayers' union, Fred Zahn, a member, has announced.

A public mass meeting will be held soon to acquaint the public with building data, Zahn said.

CHIPS AND SHAVINGS.

The Salvation Army is contemplating the erection of a \$15,000 building at Sixth and Sycamore streets.

Evansville architects, after checking over their activities for 1921 announce that they all had a successful year, and the prospects for 1922 are most promising.

Anderson & Veatch have mapped out a program for this year which includes some apartment houses as well as many new homes.

FT. WAYNE

BUILDERS' EXCHANGE
Member State A. B. C.

Max Irmscher ----- President
Eph Dailey ----- Secretary
825 Calhoun St.

Phone 2001

SIGNS OF ACTIVITY CALL FOR TEAM WORK.

The evidences of activity that one notes as he goes about among the local architects' offices, and the various build-

ing inquiries that are being made of the Ft. Wayne builders, leads one to believe that the clouds of the so-called "depression" are rapidly vanishing in Ft. Wayne and that the construction future is casting a prosperous glow.

Building is picking up everywhere and Ft. Wayne is no exception to the condition. Building companies and contractors are reporting much interest on the part of prospective owners, and architects say the same.

The first sign of spring will bring with it much building activity. The number of building contracts which have been let lately in Fort Wayne, have exceeded all previous records in the history of the city.

Lowered building costs have greatly aided in this revived activity and are mostly responsible for the keen interest that is being shown toward building construction.

With a start like this and the hope it inspires, the contractors, architects, and others of the local building industry will do well to encourage and boost for building at every opportunity. Let's all pull together for another record year.

STOCKYARDS CONSTRUCTION HELD LEGAL BY CITY ATTORNEY.

The new Ft. Wayne stock yards project in the east end bids fair to materialize now. The city attorney has just prepared an opinion that favors the building of the new venture.

He holds that in as much as a permit was granted by the previous board of works for the erection of the buildings in question before the passage of the ordinance requiring a permit from the board of health, work on the buildings, which can be used for other purposes, cannot be stopped by the city.

IRMSCHER AGAIN HEADS BELTING AND SUPPLY COMPANY.

Max Irmscher, president of the Fort Wayne Builders Exchange, has just been re-elected president of the Wayne Belting & Supply Co.

The firm operates a wholesale mill supply business and in addition owns and operates the largest leather belt factory in the state, making the well known "Millrite" brand of goods, which is distributed over the central and eastern states.

INDIANAPOLIS

Building Contractor's Association
Member State A. B. C.

F. W. Jungclauss.....President
C. C. Pierson.....Secretary

MEETINGS.

Executive Committee meets second Tuesday each month.

General Contractors meet second Friday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

**INDIANAPOLIS CONTRACTORS
MOVE TO NEW HEAD-
QUARTERS.**

The Indianapolis contingent has been busy since returning from "The Pocket" in getting things in shape for moving day which rolled around Tuesday, Jan. 31st. The demand of the management of the Chamber of Commerce for the vacating of the space that had been used by the Indianapolis Building Contractors' Association for years at 21 S. Meridian St., caused a hurried hunt for new quarters. Owing to the increased activities of the Chamber of Commerce, more space was needed and as the contractors' association lease expired Feb. 1st, the C. of C. refused to renew same.

Hereafter the local association will be located at 320 People's Bank Bldg., 130-132 East Market Street. The new quarters consist of a large general meeting room, a general office, a private office for the secretary and a well arranged committee meeting room. After looking the new headquarters over one is reminded of that old saying, "It's an ill wind, etc." for the new location with all its light, air and general arrangement is a big improvement over the former headquarters.

PAINTERS FOLLOW SUIT.

The Master Painters' Association has also moved to the People's Bank Building and has a room adjacent to those of the Building Contractors' headquarters. Secretary Fred Mack, will hereafter be located there.

**SPRINT FOR 1923 CONVENTION WON
BY MICHIGAN CITY.**

Indianapolis made a strong bid for the 1923 convention of the A. B. C's., of Indiana and for a time it looked as if she would get it. Ft. Wayne, Muncie, Anderson and Michigan City were the other cities who tried for the convention assignment. The plea of the Michigan City crowd carried in that the delegates from up there contended that if the convention was taken to the northern Indiana city it would arouse a new interest in the State Association and act for an enlarged membership. When it came to a roll call the fight centered between Indianapolis and Michigan City, but little by little the latter city drew out in front and carried away the honors by a wide margin.

**REPRESENTATIVE INDIANAPOLIS
BUILDERS AT EVANSVILLE.**

Among the building men at Evansville to attend the State Contractors' Convention were these from Indianapolis: Fred W. Jungclauss, Chiron C. Pierson, Walter W. Wise, Max Schumacher, O. A. Porter, C. A. Wilhelm, T. J. O'Hara, Attorney Harry Fenton, General Counsel, and J. H. Owens, Field Representative of the Associated Building Contractors of Indiana, were also included in the Indianapolis party.

**TIMELY TIPS TO INDIANA
BUILDERS.**

Heard at time of the State Contractors Convention at Evansville:

"There is no place in this day and age for the contractor who merely builds a house, but there is a decided need for the builder who constructs homes."

"One reason they always include a minister among the speakers on the program at conventions is so that the men can go back home and show the program to their wives and say, 'See, that is the kind of men with whom I was associated.'"

"You men may arbitrate, you may build a powerful organization, but unless you work along the lines of the golden rule, unless you go back and seek to find the manhood in the man with whom you are dealing the time will come when you must face defeat."

"There will never be peace, harmony, and good will in the building industry, or any other industry in fact, unless there is full co-operation between the employer and the employee."

"No craft of the building industry can succeed unless the industry itself succeeds."

"The men of the building industry must organize as an industry and not as individual units if they would get anywhere."

"Contractors don't forget the fact that though you may be of various crafts, nevertheless, you are all builders, and your problems are all more or less mutual."

"Much of the trouble that has arisen to retard the building industry has grown out of the fact that contractors and journeymen have gotten together on arbitration boards to endeavor to settle things without giving a thought to the third party that is interested, The Public. In most instances the contractors have given ground, arguing that the Public paid the bill in the end, so, what was the difference? The result has been an exploited Public."

"Unless you want The Public to step in and take a hand at investigating your business, and bucking at building, don't deal with arbitration and so, dealing ignore The Public."

MUNCIE

Associated Building Contractors
Member State A. B. C.

Chas. RowePresident
J. A. Gallivan.....Secretary

314 Main Street

**SMALLER INDIANA CITIES DIS-
PLAY GROWING INTEREST
IN ORGANIZATION.**

The larger Indiana cities may have their big, or boastedly big, local city organizations and all that, but the Evansville convention of the State A. B. C., fully demonstrated that in organization interest the smaller city contractors are keeping step with the fellows from Indianapolis, Ft. Wayne, Evansville, Terre Haute, Hammond and South Bend.

When the roll call was made at Evansville the little cities were right there. Muncie was represented by Charles A. Rowe, Lee Glass, Charles Morrow, and Jerry Gallivan, all of whom were glad to feel that the contractors from the cities of similar size to Muncie and even smaller were present in such goodly numbers. Not only were the smaller city contractors' organizations on hand with delegates but many towns that do not have builders' organizations were represented by individuals who have hitched up with the State A. B. C.'s under individual memberships.

The conclusion that Muncie contractors have drawn from the evidence as brought out by the attendance at Evansville of the representatives of these smaller cities, as well as those from the big places, is that there is a mission for the State A. B. C's., and the organization is deserving of support from all sections of the State.

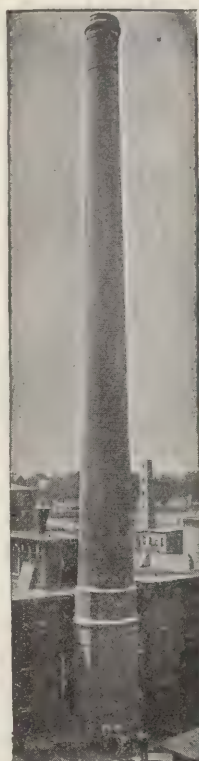
Our sister cities, Anderson and Marion were represented by Ross Eshelman, Glenn Gardner and Blythe Johnson, and C. C. and G. W. Heinzmann, respectively. Michigan City, the baby association of the parent body had Charles Leist, W. R. Harding and E. Blomquist on the scene. J. W. Goodall and Ed Trautman were there to look after Peru's interests. Vincennes also was represented by a live crowd. Individual members present were, E. L. Danner, Kokomo; Jacob Behrick, Mt. Vernon; Wm. Toelle, Princeton, and M. P. Hodges, Warsaw.

SECURE NEW QUARTERS.

The local association which formerly had one large room that it used for headquarters and meetings has removed to another part of the same building, having two small and one fairly good sized room at its disposal. Under the new arrangement there is room for a general meeting and also two private rooms that can be used for committee purposes or smaller meetings of the various crafts.

WATCHED THE DOOR CLOSELY.

Down at Evansville they had our Jerry Gallivan and Ed Trautman, Peru, at the door of the convention hall to handle the registrations and to date nobody has discovered any delegate who was able to get by them without his credentials. Their proficiency was probably gained from watching L. B. Snowden, Gary, who handled the door at previous conventions.



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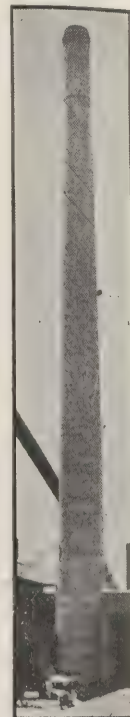
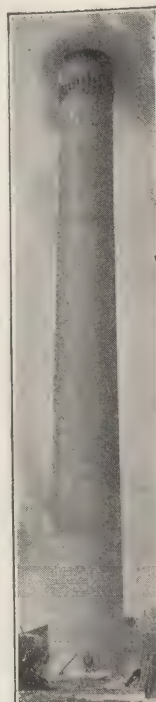
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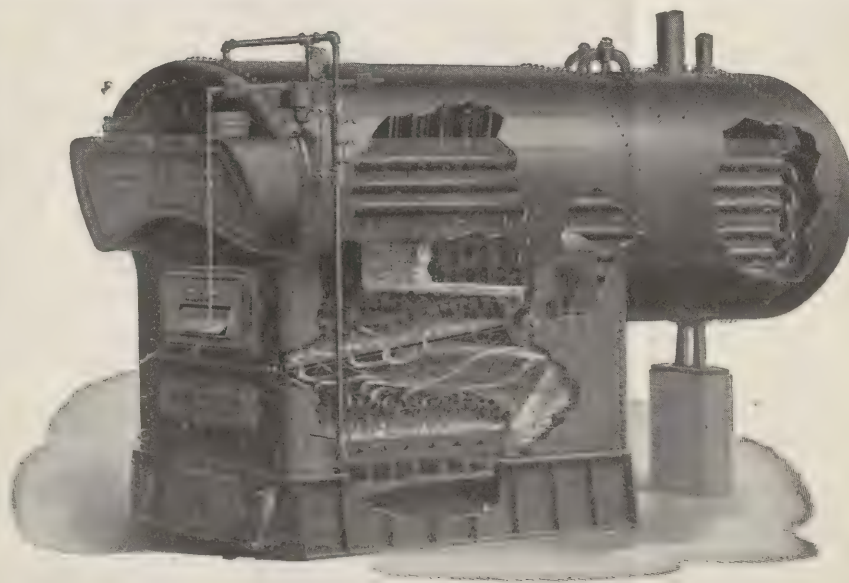
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INDIANA CONSTRUCTION RECORDER

FOR
ARCHITECT
ENGINEER

Devoted to the
Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

VOL. III

INDIANAPOLIS, INDIANA, FEBRUARY 18, 1922

No. 46

INDIANA CONSTRUCTION RECORDER Published Every Saturday

DONALD CAMPBELL Publisher
LEIGH FELTON News Manager
JOHN H. OWENS Field Manager

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Six Months \$4.00

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Advertising forms close Saturday of week pre-
ceding date of issue.

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the Act of March 3, 1879.

News of the Week

The asterisk (*) prefix to an item indicates ad-
ditional information to report published in pre-
vious issue.

INDIANAPOLIS.

Apartment Building: \$300,000. 6 sty. & bas. 50x140. (60 apts.) 230 East Pratt St. Archt., Wm. K. Eldridge, 914 Hume-Mansur Bldg. Owner, Jefferson Apartment Hotel Co., E. G. Spink, Chas. Schuh, Fred A. Likely, % E. G. Spink Co., 914 Hume-Mansur Bldg. Owner will build and award separate contracts. Brick, reinf. concrete frpf. construction.

***Schools (2)** \$87,500 and \$77,000. Huntington, Ind. Archt., Elmer E. Dunlap & Co., State Life Bldg., Indpls., and Everitt I. Brown, Bluffton, Ind. Owner, Board of Education, Huntington, Ind. Bids close Feb. 23d. (See legal advertising in this issue.)

Manufacturing Plant: 1 & 3 sty. \$250,000. (Power plant, warehouse and machine shop.) Archt., Russell N. Edwards Co., Union Trust Bldg. Owner, name withheld for present. Preliminary plans in progress. Brick.

Store & Office Bldg.: (rem.) 38 West Washington, "Griffith Block," 5 sty. & bas. Owner, J. C. Sipe Co., Waverly Bldg. Mature early spring. Work will consist of refacing front with stone, new elevators and general interior decorations.

***Factory:** \$20,000. 1 sty. & bas. 45x202. Archt., Russell N. Edwards Co., Union Trust Bldg. Owner, Reedy Elevator Co., 1026 Kentucky Ave. General contract let to J. G. Karstedt, 429 Lemcke Bldg. Brick.

Contracts Awarded.

*Shrine Temple (add.) \$400,000. 3 sty. side add. 109x200. Mass. Ave. and New Jersey St.

Archt., Rubush & Hunter, American Central Life Bldg. Owner, Ancien Order Nobles of the Mystic Shrine, John E. Milnor, Potentate, 146 No. Delaware St. General contract let to Wm. P. Jung-claus Co., 825 Mass. Ave. Heating let to Freyn Bros. Plumbing let to James A. Diggie, all of Indianapolis.

***Epileptic Village:** \$400,000. Newcastle, Ind. Archt., Herbert Foltz, 848 Lemcke Annex, Indpls. Mechanical Engineer, McMeans & Tripp, 510 Majestic Bldg., Indpls. Owner, Indiana Village of Epileptics, Dr. W. C. Van Nuss, Supt., New-castle, Ind. General contract let to James I. Barnes Constr. Co., Logansport, Ind. Heating let to Grinnell Company, Providence, R. I.

Community Building: (2 sty. top add. to bldg.) 3 sty. & bas. 160x120. E. Michigan and Dear-born Sts. Archt., John P. Parrish, Castle Hall Bldg. Owner, Westinghouse Community Bldg. Co., 3220 E. Michigan. General contract let to Hardin Construction Co., 3220 East Michigan St. Start work in 10 days. Brick, ordinary constr. Will contain gymnasium, bowling alleys, social rooms, stores.

Building Permits.

Residence: \$13,000. 1421 Garfield. Owner, Andrew Foltz, 4500 East 16th. Owner builds. Brick veneer.

Residence: \$11,500. 6301-03 E. Wash. Owner, Christiana B. Sutton, at site. General contract let to W. C. LeFebvre, 440 No. Rural St. Brick veneer.

Residence: \$7,500. Owner, Chas. A. Humann, 631 Eugene St. Owner builds.

Residence: \$7,000. Owner, George Iske, 3963 Guilford. General contract let to A. H. Fritch, % contractor.

Residence: \$6,700. 4108-10 College. Owner, W. F. Street, 50 Garfield Ave. General contract let to W. R. Hunter Co., Lemcke Bldg.

TERRE HAUTE.

Office & Mercantile Bldg.: 16 sty. & bas. 6th & Wabash. Archt. not selected. Owner, Emil and Albert Ehrmann. Contemplated. Definite data later.

CONNERSVILLE.

***Apt. Bldg. (24 fam.):** \$50,000. 2 sty. & bas. 60x112. Archt., K. P. Henkel, 108 Heinemann bldg. Owner, Dr. J. H. Johnson. Brk. & frame. Owner will build. Archt. will supt. Will take bids on material about March 1.

School (Grade: 4 rms.): 1 sty. & bas. 60x65. Surprise, Ind. Archt., H. M. Griffin, McFarland Bldg., Connorsville. Mech. Engr., Ammerman & McColl, Occidental Bldg., Indpls. Owner, W. T. Isaac, Cortland, Ind. Brk. veneer & hollow tile, stone trim. Plans in progress.

School (Consolidated grade & high): 1 sty. & bas. 139x64. Cortland, Ind. Archt., H. M. Griffin, McFarland Bldg., Connorsville. Mech. Engr., Ammerman & McColl, Occidental Bldg., Indpls. Ind. Owner, W. T. Isaac, trustee, Cortland. Brick hollow tile. Drawing plans.

Parochial School: (add. & alt.) \$20,000. Olden-burg, Ind., Franklin county. Archt., Karl P. Henkel, Heinemann Bldg., Connorsville, Ind. Own-

er, Rev. Father Ephren, Oldenburg. Plans in progress. Owner will build by day labor.

EVANSVILLE.

Office Building (Old Y. M. C. A. bldg., 2 sty., top addition): 4th and Sycamore Sts. Archt., Clifford Shopbell, Furniture Bldg. Owner, Old Y. M. C. A. Bldg. Mayor Bosse, owner. Plans in progress. Brick.

Residence: \$20,000. 2 sty. & bas. 10 rooms. 1st and Mulberry Sts. Archt., Harry E. Boyle & Co., Furniture Bldg. Owner, Phelps Darby, (atty.). Evansville. Plans in progress. Stucco and bel-low tile.

***City Hall (Add.)** \$35,000. 2 sty. & bas. Archt., Russ & Karges, Furniture Bldg. Owner, City of Evansville, Mayor Benjamin Bosse. Archt. se-lected. Brick. Will contain mayor's office, con-troller's office, finance dept., engineer's office.

FT. WAYNE.

***Apartment Bldg.:** \$750,000. (75 apts.) 6 sty. & bas. 182x60. Wash. St. Archt., Chas. R. Weatherhogg, Citizens Trust Bldg., Ft. Wayne. Owner, Fairfield Manor Apartment Corp., O. N. Guldlin, Prest., 2306 Fairfield Ave. Archt. re-ceiving bids.

***Office Bldg.:** \$80,000. Archt., Chas. R. Weatherhogg, Citizens Trust Bldg. Owner, Wayne Oil Tank & Pump Co. Owner receiving bids. Brick and concrete.

***School:** (alt. & add.) Kimmel, Ind. Archt., Chas. R. Weatherhogg, Ft. Wayne. Owner, Perry W. Kiser, trustee, Cromwell, Ind. Low bidders as follows: General contract, H. B. Fuller, Wolf Lake; heating, Chapman-Fetts Co., Sturgis, Mich.; plumbing, Geo. P. Weaver, Auburn, Ind.; elect. work, Edmunds Electr. Co., Ft. Wayne. May award contracts soon.

***School:** \$40,000. (4 rooms). Turkey Creek Twp. Kosciusko county, Vawter Park. Archt., Griffith & Goodrich, Ft. Wayne. Owner, Stephen Cree-man, trustee, Syracuse, Ind. Plans in progress.

***Grade School:** \$78,000. 2 sty. 107x122. Car-rett, Ind. Archt., Griffith & Goodrich, Ft. Wayne. Owner, Board of Education, H. M. Brown, pres., Garrett, Ind. Owner taking bids to close Feb. 28th at 10 o'clock A. M.

School (Consolidated): \$80,000. 2 sty. 160x78. Churubusco, Ind. Archt., A. M. Strauss, Shoaff Bldg., Ft. Wayne. Owner, A. A. Anderson, trustee, Churubusco, Ind. Plans in progress.

***Residence:** \$15,000. 2 sty. 42x30. Ligonier, Ind. Archt., A. M. Strauss, Shoaff Bldg., Ft. Wayne. Owner, Sol Henoch, Ligonier. Taking bids. Brick veneer.

***Apartment Bldg.:** (2 apts.) \$10,000. Erie St. Archt., A. M. Strauss, Shoaff Bldg. Owner, Louis J. Novitsky, 1106 Erie. Taking bids. Frame. 2 sty. 22x70.

Contracts Awarded.

***School:** \$50,000. Lafayette Twp., Allen Co., Roanoke, Ind. Archt., Griffith & Goodrich, Ft. Wayne. Owner, Horace E. Smithley, trustee, Ro-anoke, Ind. General contractor, John Hagerman.

(Continued on Page 7)



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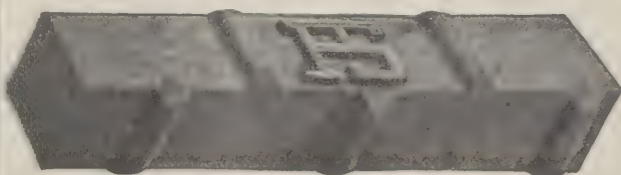


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GARY.

*Residence: \$7,500. Archt., M. S. Bednarski, 4641 Forsythe Ave., East Chicago, Ind. Owner, Henry Shandler, % archt. Plans in progress. Brick veneer.

Store & Office Bldg.: \$50,000. 2 sty. 80x100. Archt., Harry Warriner, 673 Broadway. Owner, Tom Kappellas, 8th and Mass., Gary. Start work soon. Owner builds.

HAMMOND.

Radial Brick Chimney: Engineer, John Ericson, 30 No. LaSalle St., Chicago, Ill. Owner, Board of Public Works, A. J. Swanson, Pres., Hammond. Owner receiving bids to close March 8th. Brick veneer and lined reinf. concrete.

*Residence: \$17,000. Archt., Mac Turner. Owner, Dr. B. W. Chidlaw, 57 Rimbach Ave. Archt. receiving bids. Brick, 2 sty. 25x40.

Store Building: \$18,000. 2 sty. 30x90. Whiting, Ind. Archt., Mac Turner, Hammond. Owner, William Vater, Whiting. Lessee, F. W. Woolworth Co., Chicago, Ill. Plans in progress. Brick, terra cotta trim.

KOKOMO.

*Schools (2) \$22,000 and \$18,000. Butler township, Miami county, Ind. Archt., Elmer E. Dunlap & Co., Harrison Bldg., Kokomo. Owner, Willis Compton, trustee, R. R. No. 11, Peru, Ind. Owner taking bids to close March 10.

Lodge Building: \$40,000. 2 sty. & bas. 45x60. Archt., Chas. Ferrier. Owner, Independent Order of Red Men, Jesse Hope, Chmn. Bldg. Comm., 1033 So. Bell St. General contract let to John Braun, No. Wash. St., Kokomo.

Contracts Awarded.

*Church: \$30,000. Bunker Hill. Archt., Elmer E. Dunlap Co., Harrison Bldg., Kokomo. Owner, Presbyterian Church, Bunker Hill. General contract awarded to E. A. Carson, Logansport. Face brick, stone trim.

MARION.

Residence: \$5,000. Fairmount, Ind. Archt., Hiram Elder, Marion. Owner, Chas. Leer, Fairmount. Archt. receiving bids. Frame.

*Hospital: (80 beds). \$100,000. Archt., Schenck & Williams, Dayton, Ohio. Owner, U. S. Govt. Bd. of Managers, National Home for Disabled Soldiers, George W. Wood, Pres., Dayton, Ohio. General contract let to M. Yeager & Son, Danville, Ill.

RICHMOND.

High School: \$90,000. 1 sty. & bas. 130x100. Hagerstown, Ind. Archt., C. E. Werking & Son, Palladium Bldg., Richmond. Owner, Board of Education, Clarence Varnoff, Elmer Crull, Ralph Teator, Hagerstown. Plans in progress. Brick.

*School (High & grade). 2 sty. & bas. 128 x 60. \$60,000. Williamsburg, Ind. Archt., C. E. Werking & Son, Palladium Bldg., Richmond. Owner, Enos Veal, trustee, Williamsburg, Ind. Plans in progress.

VINCENNES.

*Country Residence: 2 sty. & bas. 74x37. Near Lawrenceville, Ill. Archt., L. H. Osterhage and Byron Sutton, Vincennes. Owner, Citizens Trust Bldg., Vincennes. Owner, James M. Groff, Bridgeport, Ill. Receiving bids to close March 13th at 3 P. M. at Hotel Lawrence, Lawrenceville, Ill.

*Schools (2) Laurel grade school, 2 sty. 84x50. \$36,000, and Shields high school (add.) 2 sty. and bas. 127x70. \$70,000. Seymour, Ind. Archt.,

L. H. Osterhage and Byron Sutton, Vincennes. Owner, Board of Education, Edward Massman, Secy., Seymour. Owner receiving bids to close March 10th at 2 P. M.

*Church: 1 sty. & bas. Vallonia, Ind. Archt., L. H. Osterhage and Byron Sutton, Vincennes. Ind. Owner, Lutheran Congregation, George F. Turmail. Bids close Saturday, February 25th, at Vallonia.

MISCELLANEOUS CITIES.

Anderson: Gymnasium: \$60,000. Owner, Joseph D. Jennings, Secy., Chamber of Commerce, Anderson. Contemplated. Mature early spring.

*Butler: School & Power Plant: \$100,000. Archt., A. H. Elwood & Son, Elkhart, Ind. Owner, Bd. of Education, A. S. Powers, Secy., Butler. General contract let to George Edgecomb, Benton Harbor, Mich. Heating & plumbing to B. C. Fitch, Garrett, Ind. Elect. work to Pfeiffer Co., Ft. Wayne. Will start work soon as bonds are sold.

Kendallville: Garage & Salesroom: 3 sty. Archt. Private Plans. Owner, L. E. Bowman, Kendallville. Contemplated. May mature early spring. Owner financing. Brick.

Laurel: School, \$16,500. Laurel Twp., Franklin county, Ind. Owner, Wm. Hooper, trustee, Laurel. Plans in progress. Brick.

*Laporte: High School (add.) \$35,000. Stillwell, Ind., Pleasant Twp. Archt., George W. Allen & Son, Laporte. Owner, Board of Education, Stillwell. Owner receiving bids to close March 6th at Laporte.

*Lagrange: Hotel (add. & alt.) 2 sty. 40x50. Archt., private plans. Owner, Herendeen Inn. Plans in progress. Brick.

*Muncie: Synagogue, \$28,000. 1 sty. & bas. & gallery. 45x51. Archt., Houck & Smenner, 123 1/2 West Main St. Owner, Ruth El Congregation, Melvin L. Altschul, Chmn. Bldg. Comm., 202 So. Walnut St. General contract let to Lee Glass, 613 West Charles St. Htg. & plmg. let to Jerry Gallivan, Muncie.

*Michigan City: Church, \$75,000. Owner, First M. E. Church, Rev. W. B. Warriner, pastor. Will probably award contract to George Johnson, Michigan City.

*Portland: Club house, \$10,000. Archt., Peter M. Hulsken, Lima, Ohio. Owner, Portland Country Club, Keith Spade, Secy., Portland. Owner receiving bids.

Rockville: Residence, \$25,000. 2 sty. Archt., Liese & Ludwick, 618 Temple Bldg., Danville, Ill. Owner, A. C. Gray, Rockville. Archt. receiving bids.

*South Bend: "John F. Nuner" school, \$485,000. Archt., Freyermuth & Maurer, 654 Farmers Trust Bldg. Owner, Board of Education, Richard B. Dugdale, Secy. Owner receiving bids to close March 16th, 4 P. M. General contract, \$362,800; htg. and vtg., \$64,800; plmg. and slate partitions, \$31,200; electr. wiring and fixtures, \$12,600; time and program clocks, \$6,600, hdwe., \$7,000.

Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field.

Copy should reach us, at the latest, Wednesday of the week of publication.

SCHOOL HOUSE.

NOTICE TO CONTRACTORS.

Notice is hereby given that Big Creek Town-

ship, of White County, State of Indiana, by its Advisory Board and its Township Trustee, will receive sealed bids at the office of John A. Kassabaum, at his office, Chalmers, Indiana, until 10 o'clock A. M., on Tuesday, Feb. 28th, 1922, at which time and place said bids will be opened, read and considered for the remodeling of present school building and the building of three additions thereto, said old school building located on the southwest corner of Sec. No. 27, Township No. 26, north, range 4, west, in said township and known as Chalmers School Building, and for the installation of the heating and ventilating system of said building and for installation of Plumbing, sewerage, septic tank and fresh water system for said building, and for the installation of an electric wiring and apparatus system, all for said School Township, according to plans and specifications as provided therefor by F. P. Riedel & T. A. Zink, Architects, No. 821-822 Lafayette Life Building, Lafayette, Indiana, and as further approved by the State Board of Health and the State Board of Accounts.

The plans and specifications are on file for the inspection of bidders at the office of the Trustee, Chalmers, Indiana, and at the office of the State Board of Accounts at the State House, Indianapolis, Indiana, and at the office of F. P. Riedel & T. A. Zink, Architects, No. 821-822 Lafayette Life Building, Lafayette, Indiana. Copies are available to bidders for use at their own office upon deposit with the Architects or Trustee, of Twenty-five Dollars, (\$25.00) to guarantee submission of bid and safe return of plans and specifications to said office of the Architects on or before the day and hour set for receiving bids. Bidders must familiarize themselves with such plans, specifications and the construction of present building before bidding and no departure from the same will be considered.

Bids will be received as follows:

1—For the Construction of the Additions of the School Building including the remodeling in old building connected therewith.

2—Heating and Ventilating.

3—Plumbing, Sewerage, Septic Tank and Fresh Water System.

4—A combination of Heating, Plumbing, Sewerage, Septic Tank and Fresh Water System.

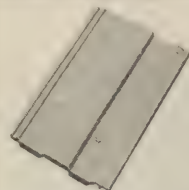
5—Electric Light and Power Wiring.

All bids shall be accompanied by the certified check of bidder in sum equal to at least five per cent (5%) of his gross bid or bids. Checks to be made payable to the order of said Trustee of Big Creek Township. In case a bidder, whose bid shall be accepted, shall not, within five days after notice of such acceptance, perform his bid by entering into a written contract with the Trustee, in the form satisfactory to Trustee, to execute the work and construct and complete the building, and within that time secure the performance of his building contract by a bond in the form satisfactory to the Trustee with surety or sureties to the approval of the Trustee, his certified check and the proceeds thereof shall be and remain the absolute property of the Township as liquidated damages for such failure, it being impossible to estimate the amount of damages such failure would occasion to the Trustee.

Each bidder shall file with the bid a statutory affidavit required under Section 8698 Burn's Revised Statutes of the State of Indiana, 1914.

The successful bidder will be required to enter into his written contract and also to deliver his bond with approved surety bond to the Township of Big Creek, White County, Indiana, in a sum equal to full amount of contract. The successful bidder will be required by the terms of his contract to enter into active prosecution of his work immediately and complete the new additions en-

(Continued on Page 9)



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or before September 1st, 1922, and the remodeling of old building shall be completed at the time to be agreed upon. Special attention is called to the provision for alternate propositions by bidders and the desired receipt of alternate proposals. The Advisory Board and Township Trustee for the Township reserves the right to reject any and all bids without giving any reason therefor.

JOHN A. KASSABAUM,
Trustee of Big Creek Township, White County,
Indiana.

**NOTICE OF LETTING CONTRACTS FOR THE
BUILDING OF TWO SCHOOL BUILD-
INGS AND CONTRACTS FOR NECES-
SARY EQUIPMENT.**

Notice is hereby given that on Thursday, 23rd day of February, A. D. 1922 at 10:00 o'clock A. M., at the office in the High School Building on Guilford Street in the city of Huntington, Indiana, the Board of School Trustees of the school city of Huntington, Indiana, will let separate contracts for the furnishing of the necessary materials and for the erection and construction of the following buildings and equipment.

No. 1. One twelve room ward school building in the city of Huntington, Indiana at an estimated cost of the building proper in the sum of \$60,000.

No. 2. For the necessary materials and labor for the proper placing erection of the plumbing and heating said twelve room school building, alternate, combined and separate bids will be received for the plumbing and heating, estimated cost of said plumbing and heating, being the sum of \$22,500.00.

No. 3. The furnishing of all the necessary materials and all labor for the placing and erection of the wiring and lighting for said twelve room ward school building and the estimated cost of said wiring and lighting is \$5,000.00.

No. 4. The furnishing of all necessary materials and labor necessary for the erection of one ten room addition to ward school building in the city of Huntington, Indiana, and the estimated cost of said ten room building proper being the sum of \$52,000.00.

No. 5. The furnishing of all necessary materials and labor for the placing and erection of the heating and plumbing of said ten room building, alternate, combined and separate bids

will be received for the heating and plumbing, and the estimated cost of heating and plumbing is \$22,000.00.

No. 6. The furnishing of all necessary materials and the necessary labor for the placing and erection of the wiring and lighting of said ten room school building and the estimated cost of said wiring and lighting is \$3,000.00.

The materials to be furnished and the work to be done as described in Item 1, 2 and 3 above are to be according to plans and specifications heretofore adopted by the Board of School Trustees of the school city of Huntington, Indiana, as furnished by the architect of the Elmer E. Dunlap and Co., of Indianapolis, Indiana and prospective bidders may obtain copies of said plans and specifications for the work described in Items 1, 2 and 3 from the Elmer E. Dunlap Co., architects in that State Life Building at Indianapolis, Indiana.

The character of the material and the labor to be performed in the construction and erection of the work described in Item 4, 5 and 6 above, are to be according to the written plans and

(Continued on Page 11)

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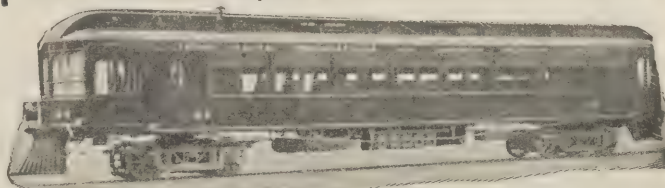
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specifications heretofore adopted by The Board of School Trustees of the school city of Huntington, Indiana as prepared by Everett Brown, architect, of Bluffton, Indiana and prospective bidders may obtain copies of the plans for the work described in Items 4, 5 and 6 above, from the architect Everett Brown, at Bluffton, Indiana, said plans and specifications for all of the work as provided in said contract as set forth in said Items 1, 2, 3, 4, 5 and 6 may also be examined at the office of the Board of School Trustees of the said school city of Huntington, Indiana, located in the High School Building on Guilford Street in said city.

All prospective bidders are hereby notified that said bids on each of said items must be upon form prescribed by the State Board of Accounts and must be separate bids and that the same must be sealed and delivered at the office of the said Board of School Trustees in said High School Building, at or before 10:00 o'clock A. M. on said date at which time said bids will be opened and read by said Board of School Trustees and that contracts will be let to the lowest responsible bidder provides however, the school city reserves the right to hold the lowest and best bid until the bonds to provide the necessary funds are sold and provided also the Board of School Trustees at all times reserves the right to reject any and all bids. A certified check payable to said school city or bond with approved security must be filed by each bidder with each bid in the sum of 5% of such bids and conditioned that such certified check or bond will be forfeited to the Board of School Trustees, as liquidated damages occasioned by the default of the successful bidder, in the event, that such successful bidder fails or refuses to enter into a contract on such bid.

In witness whereof we have set our hands this 31st day of January, 1922.

MARION B. STULTZ,
THAD CLARK,
OSCAR E. BRADLEY,
Bowers, Feightner & Bowers,
Attorneys.
Feb. 18.

HOSPITAL.

NOTICE TO CONTRACTORS.

Notice is hereby given that the Board of Trustees of the Putnam County, Indiana, Public Hos-

pital, will, until the hour of two o'clock, P. M., on Wednesday, the twenty-second (22d) day of March, 1922, at the office of the Auditor of said Putnam County, at Greencastle, Indiana, receive sealed bids, and then to be opened for a general contract for the furnishing of all material and labor for the erection, construction and completion of the Putnam County, Indiana, Public Hospital, at Greencastle, Indiana, including heating, plumbing, elevator equipment and lighting system for said hospital building, all of which is to be in accordance with plans and specifications therefor which have been approved by the State Board of Charities and Board of Accounts of the State of Indiana, which said plans and specifications are on file in the office of the Auditor of Putnam County, Indiana, and copies of said plans and specifications for all said construction and work may be had at the office of D. A. Bohlen & Son, architects, 1001 Majestic Building, Indianapolis, Indiana, and may also be inspected in the office of the Auditor of said Putnam County, at Greencastle, Indiana.

All bids and proposals shall be on forms prescribed by the State Board of Accounts. These proposals must be accompanied by an approved surety company bond to the full amount of the maximum bid. Said bond is to protect the owners, the Hospital Board and Putnam County, Indiana, in case the contractor fails to enter into contract within five (5) days after the awarding of the contract, and also to protect the owners in the fulfillment of all parts of the contract, according to plans and specifications and the time within which said building shall be completed.

Each contractor receiving plans and specifications from the architect will be required to deposit as security for their return in good order the sum of twenty dollars (\$20).

The estimated cost of the construction and completion of said hospital building in accordance with the plans and specifications therefor, is eighty-five thousand dollars (\$85,000).

Before the closing of a contract with any contractor for the construction and completion of said building the Board will require that such contractor furnish to the Board a certificate from the Industrial Board of Indiana showing that such contractor has complied with Section 68 of the Workmen's Compensation Act of Indiana.

And such contract when entered into and the bond to be furnished by said contractor, shall contain a condition and agreement to empower

the said Board of Trustees to withhold from the contract price sums sufficient with which to pay all claims of laborers, material men and subcontractors, as well as claims for labor and material furnished to contractors and to pay off such claims out of such fund as provided by Acts of the General Assembly of the State of Indiana.

Payment to the contractor upon estimates made as the work progresses and final payment shall be made as stated and fixed in the specifications for said work.

The Board reserves the right, and all contractors bidding for said work must bid with the understanding and condition, that the Board may reject any and all bids received and reserve the right to determine for themselves what bid may be accepted for said work and what bids may be rejected.

ANDREW H. HANNA,
WILLIAM A. KREIGH,
DAVID V. HOSTETTER,
and
JESSE McCOY.

Board of Trustees of Putnam County, Indiana,
Public Hospital.

James & Allee, Greencastle, Indiana, Attorneys
for Board of Hospital Trustees.

Feb. 4-11-18-25, March 4-11.

HOSPITAL.

NOTICE TO CONTRACTORS.

Bids for the construction of a Children's Building (appropriation \$100,000) and for a Superintendent's and Nurses' Cottage (appropriation \$25,000) will be received by the Trustees of the Indiana State Sanatorium, Rockville, Ind., at the Claypool Hotel, Indianapolis, Ind., on Thursday, March 9, 1922, up to 2 o'clock P. M. Shourds-Stoner Co., Architects, Terre Haute, Ind.

CHURCH

NOTICE TO CONTRACTORS.

Sealed proposals for the construction of the St. Lawrence Roman Catholic Church will be received by the Rev. Alfred Herman, O. F. M., Pastor, at his Pastorate located at 1916 Meharry St., Lafayette, Ind., on Tuesday, March 14th, 1922, up to 10 o'clock A. M. Plans can be obtained at the office of Reidel & Zink, Architects, Lafayette, Indiana.



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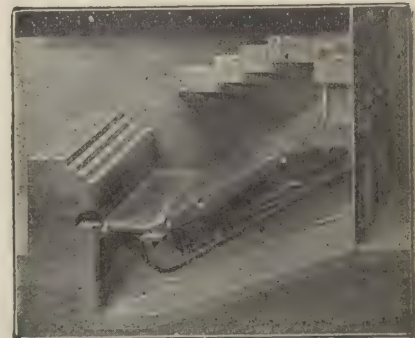
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THE Woodrow Wilson School pictured above has 22 class rooms, rest rooms and offices. It was completed in 1921. **Architects:** Ashby, Ashby and Schultze, Chicago, Illinois; **General Contractors:** Cermak and Novotny, Cicero, Illinois; **Heating and Ventilating Contractors:** H. W. Keppner, Cicero, Illinois.

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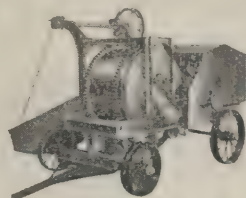
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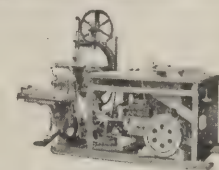
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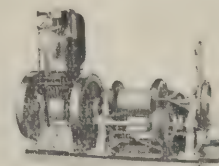
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Official Paper

Indiana Society of Architects

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ELIMINATING WASTE IN ESTIMATING.

The purpose of this report, approved and issued by the American Institute of Architects, the American Engineering Council of the Federated American Engineering Societies, and the Associated General Contractors of America, is to acquaint prospective Owners and others financially interested in building and other construction projects with the wasteful duplication and consequent expense involved in the preparation of estimates of quantities under the systems now generally in vogue.

To ascertain the cost of a construction project it is necessary to determine and compile lists or estimates of the quantities of materials and work to be done, to which are applied a price for each item. Under existing methods this work is done separately by as many Contractors as are permitted to bid, and there may be as many varying interpretations of a set of plans and specifications as there are bidders.

The recommended procedure of quantity surveying described herein is intended to eliminate the present wasteful and uneconomical methods by concentrating the function of determining and compiling the quantities and list of work involved in one agency for each project. This quantity survey to be submitted to all bidders with the plans and specifications.

To Owners and Investors.

It should be realized that all expenses in connection with the planning of buildings and construction are paid by the Owner. Those who contemplate building know that none can afford to work without fair compensation for services rendered but they probably do not realize that, due to practices in vogue, *they pay* for the cost of preparation of *all* bids, including that of the successful bidder. Generally speaking, it has been the practice to have the figures submitted by the successful bidder include an amount sufficient to cover the work entailed in making proposals on other work which he was not successful in securing; in short his "overhead" account is much larger than it necessarily should be—but for all this the Owner pays. To eliminate the duplication of effort in estimating, there-

by reducing the Contractor's overhead, with attendant reduction in the cost of building, requires that all bids be submitted on the same basis and in such manner that they may be readily analyzed.

The Owner should not be required to pay a Contractor an overhead charge which includes any other costs than belong to his own project. It is believed that this can be accomplished by having made an itemized list of all quantities entering into the proposed work. The Owner should pay for the preparation of this itemized list whether he proceeds with the building or not. It is obvious that such payment will be much less when such itemized list is furnished than otherwise, as each bidder is furnished with the list of quantities called Quantity Survey and each bidder is thereby released from the work of separately taking off the quantities from the drawings and specifications.

A quantity survey because it fixes definite quantities on which the bids are to be received eliminates speculation on the part of the bidders as to the quantities involved in the project and thus makes possible lower bids due to the elimination of this "contingency." Where the Owner does not avail himself of the quantity survey procedure recommended herein he should pay for estimating work direct to selected bidders on a prearranged basis rather than have all his bids increased by an unknown amount for estimating quantities, which frequently in current practice the successful bidder distributes amongst the unsuccessful bidders in accordance with a prearrangement of the bidders.

To Architects and Engineers.

With the idea in view of having all Contractors submit proposals on a uniform basis, with some means provided whereby the amount of the proposed work will not be left to individual interpretation of the plans and specifications, it seems most desirable that all Owners through their Architects or Engineers should have submitted to bidders with the plans and specifications a so-called Quantity Survey. To insure the result aimed at, no proposals should be considered other than those based on the quantity survey accompanying the plans and specifications. It is therefore recommended to Architects and Engi-

neers that, unless eliminated for some particular reason, all plans and specifications submitted to Contractors for proposals be accompanied by a quantity survey. It is further recommended that the selected bidder shall submit, before the contract is awarded, a copy of the quantity survey with each item priced and separate items added for costs of administration, etc., the total to make up the bid price.

To Contractors.

It is evident that before an intelligent proposal can be made upon any project, the Contractor must have a quantity survey or some other statement of quantities involved. It has been customary in the past to add a stipulated overhead charge to provide for the cost of estimating and as this has been applied to every individual proposal made by the Contractor, the successful bid, out of a possible fifteen or twenty, contains an item not strictly chargeable to such bid and thereby penalizes the Owner. A quantity survey furnished to each bidder will reduce the cost of preparing proposals on prospective work and not only should but obviously will reduce each bid price and thereby lower the cost to the Owner.

A quantity survey places all Contractors on the same basis which is a definite one, from which they may price or determine the proper cost of the work. Each individual item or cost as set in such quantity survey should be a basis of determining the proper cost of extra work desired by the Owner as well as a basis of for credits on account of omissions; it also has the added advantage of enabling contractors to audit and prepare monthly statements, progress reports, etc.

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If You are Contemplating any kind of Construction Work, you should Communicate with General Office for Information.

MEETING NIGHTS

General meeting every third Tuesday evening.
General contractors meet second and fourth Monday evening.
Master plumbers every Thursday evening.

DO IT NOW.

Get out your calendar right now and mark the date, February 21st; it comes on Tuesday. Put a big black circle around the space allotted to that date. It will aid you in remembering that on that evening the regular monthly meeting of the B. T. E. A. will be held at headquarters. We are going to have a good speaker there to entertain the members, and when he concludes the lunch will be served.

You members want to come out and swell the crowd; the more the merrier.

WHY NOT?

Everyone connected with the contracting business admits that the contractors should stick close together, but, for some reason or other they won't. Why not?

Why shouldn't the contractors take as much interest in their association as the union man does in his union? Both are organized for the benefit and protection of the members.

Let's compare the action of the two, the employe and the employer.

The union craftsman will not work on a job with a man who is not a member of the union. Further he is compelled to keep his dues paid up or he is not allowed to work with other union men. He will not patronize a man who is not for the union. He will work early

and late to get men to join his union. He will use any and all kinds of tactics to compel the employment of union men.

Now, if the contractors would hold together like the union men do they could control the situation. However, the general rule is that if the contractor can get a lower figure from a contractor outside the organization he will invariably give the work to the outsider. Again, if another contractor, a member of the association, happens to submit a lower bid and secures the work thereby, some of the contractors are inclined to be peeved, and instead of paying up their dues promptly and helping to provide the financial means by means of which the organization can more properly function, they are prone to pout, find fault with the association and the members. It is this class that keeps away from the meetings, refuses to take an active part for the advancement of the organization, and is always criticizing that which the other loyal members seek to accomplish.

The association members, one and all, must get away from the latter attitude, all must eliminate the little petty jealousies, they must joint hands and stand solid the same as do the union men.

It gives us pleasure to say that the majority of association members have proved their loyalty by their faithful efforts and have stood together nicely in times of stress. They have made it possible to really accomplish more than had been anticipated, but the association needs more than that, it needs the full and active co-operation of every member for big things lie ahead and the contractors must advance to meet them with a solid and undivided front.

Let's all line up, plug up the holes,

put on some good team work, and when the time comes that calls for action we can go down the field with a rush that will carry us over the goal line. Let's quit passing the buck, cut out the kicking game, charge hard and fast, play fair all around; that is what will win the day.

A SHARPSHOOTER.

George P. Pearson picked off another one the other day. He was awarded the contract for the erection of a two story apartment building, 30x61 feet, on Sibley street. This job, including the plumbing and heating, is estimated to cost \$18,000.

NOW HAVE AN OFFICIAL ARTIST.

One day last week when a bunch of the fellows were sitting around headquarters, driven in by the inclement weather, H. L. Morris brightened things up considerably by grabbing off a piece of chalk and entertaining the crowd with some good caricatures. His efforts were greatly appreciated and now they have nominated H. L. our official artist.

REARING TO GO.

If it isn't one thing it is another. Now it is the frost. There are a number of projects that will be started just as soon as the frost gets out of the ground sufficiently to allow for excavation work. It has been authoritatively stated by some of our dirt heavers that there is quite a strata of the earth still cemented by a good layer of frost.

E. E. COLE.

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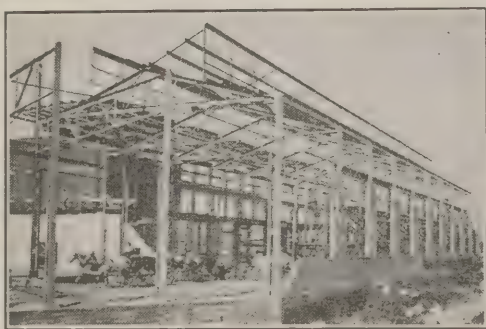
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Official Paper

Associated Building Contractors of Indiana

FRED W. JUNGCLAUS, President
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ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors

Member State A. B. C.

Geo. L. Miller.....President
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Office of Secretary, 710 Old State Bank

CONTRACTORS GUARANTEE TO HOLD UP THEIR END.

Percy Logsdon, well known paint manufacturer of Evansville handed out a bright prediction to the Kiwanis Club the other day when he referred to the great underlying deposits of coal that exist beneath the Evansville district. The development of this great wealth will, Mr. Logsdon said, mean a city of 250,000 people in the next half century.

It all sounds good to the contractors and they are ready for the development to start just as soon as possible; they will guarantee to take care of the building construction end of this expansion when it comes to pass.

WELL KNOWN BUILDER DIES.

William Griesbacher, member of the firm of Griesbacher and Dubber, general contractors, died Sunday at his home, 1008 E. Indiana street, of bronchial asthma. For years he was connected with the building construction industry of Evansville and had built many structures, especially industrial, in the local field.

COME ON THE REST OF YOU.

Business in Evansville keeps moving along at a good gait as is evidenced by the bank clearings. These for the week ending Feb. 11th, amounted to \$3,784,108.51, as compared to \$3,126,543.74 for the corresponding period in 1921, an increase of \$657,564.77.

CHIPS AND SHAVINGS.

President A. F. Hughes of the Evansville College has intimated that the institution may decide to erect a dormitory building or buildings next spring. Grant Miller of the architectural firm of Dowlings, Fullenwider and Miller, Chicago, was in the city last week going over the site.

Architect Clifford Shopbell has returned home after a trip to Franklin, Ind., where he was in attendance at the ground breaking ceremonies held by the Masons. Mr. Shopbell prepared the plans for the new masonic temple to be erected at Franklin.

Plans are being prepared by Architect Harry E. Boyle, for a new \$20,000 resi-

dence for Phelps Darby, the well known local attorney. The new residence is to be located at first and Mulberry streets, and is to be figured early in the spring.

FT. WAYNE

BUILDERS' EXCHANGE

Member State A. B. C.

Max Irmscher.....President
Eph Dailey.....Secretary
825 Calhoun St.

Phone 2001

WHAT A SECRETARY MEETS UP WITH.

The growth of the organization idea among contractors in Indiana for the past few years has been steady and healthy and yet there are many without the fold who, if they came in, would greatly strengthen the position of the entire contracting fraternity, and in the end better their own affairs. It is mostly misunderstanding that keeps these men out; they have their own conceptions of what organization means and feel that they would have to give up their independence if they linked up with the other fellows; they fail to comprehend the spirit of the times; they have failed to learn the big lesson that was taught by the Great War, that all men are more or less dependent upon one another, that even business interests bear a strong relation to each other for their success, that co-operation one with the other will make for progress and advancement.

That the contractors have not fully awakened to the opportunities that are offered them through the channels of organization is not hard to discern when one stops to consider the alleged reasons advanced by many of them for holding aloof from the big work that many of their colleagues are endeavoring to accomplish.

False ideas of economy, selfishness, grudges, short sightedness, misconceived independence, "inside" advantages supposedly, failure to achieve a labor policy, disinterestedness and other like motives are the barriers that many contractors raise in argument to block the whole hearted and unified action that would be possible if the contractors as a whole were big enough to comprehend the real situation as it confronts them.

First, we find some fellow who argues that he can't stand the expense. He is not willing to gamble with a sure thing. The money he would expend on organization effort would easily, in the long run, pale into insignificance when compared with the ultimate benefits that would result from concerted action.

Then, again, we stumble across the contractor who is always going to come in as soon as he gets certain work completed but can not act just now on account of conditions which he believes would not allow him to co-operate. A nice alibi.

Further, is to be found the "sore-head," who refuses to be associated with some member of the association because the latter at one time or another happened to be successful in getting the contract on a piece of work that the former thought he had sewed up. Oh, it's a hard life.

Next appears the builder who is of the impression that some neighboring city or cities, affiliated with the organization, have nothing to do with local conditions, and it is none of the other cities' business what is done in his town, and because his brother contractors are co-operating with the contractors in other cities he will have nothing to do with them. This is the fellow who is going to do just as he pleases, regardless of anybody. Just a plain hold-out, the fellow who knows the game better than anyone else.

Now comes the boy who lurks around the corner looking for prosperity, seeking "inside" information, to slip in and cop off the job when nobody is looking. He knows such tactics would not be permitted by the organization, hence, he stays out. He is out of harmony with the fraternity who is standing for fair play. He thinks he can make more money this way; he likes to shave things, he should have been a barber.

Still there is another genus of contractor, the one who is of the belief that he has "the rail" and attempts to get around the track ahead of the rest. He gets a small discount on his surety bonds, possibly his insurance; thinks he is getting private quotations on brick, cement and other materials. To compare notes would probably show that the rest of the fellows are in on this "good thing," too, but, where "ignorance is bliss, 'tis folly to be wise," so our friend above refuses to come in, instead, he plugs along alone happy in his delusion.

Another one is "hard boiled" on the Labor Question. Instead of getting into the game and helping solve this enigma, he stays on the outside and kicks because the organization don't do big things to help him along. You see his kind at the ball park, yelping his head off telling the manager how to run the team.

Lastly, there is the contractor who is not interested because he is about ready to quit the business and is figuring on picking off only a job or two more before he retires. What the organization would do would not be of interest to him.

INDIANA CONSTRUCTION RECORDER

INDIANAPOLIS

Building Contractor's Association
Member State A. B. C.

F. W. Jungclaus.....President
C. C. Pierson.....Secretary

MEETINGS.

Executive Committee meets second Tuesday each month.

General Contractors meet second Friday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

COMPLETE CONVENTION RECORD NOW IN SECRETARY'S HANDS.

Secretary Pierson has just received the transcript of the A. B. C.'s Evansville convention. It is quite a voluminous affair consisting of 128 pages containing a complete record of the discussions and proceedings covering the two days' sessions.

This is the first verbatim record that was ever made at an A. B. C.'s convention and will prove most valuable for reference in the future. The extent of this record and the heavy expense it would involve to have separate copies made precludes its being sent out to each individual affiliated association, but

it will be on file at State A. B. C.'s headquarters for reference.

INTERESTING FIGURES PRESENTED BY THE DEPARTMENT OF COMMERCE.

There has been much discussion about the bearing labor has on building construction, and now comes John M. Gries, Chief of the Division of Building and Housing, Department of Commerce, Washington, D. C., with the following preliminary figures to show the percentage which the amount paid to each labor group bears to the total labor cost of a six-room house:

	Total Labor	Cost 100%.
Trade	Frame house.	Brick house.
Carpenters	49.6	32.2
Bricklayers	6.2	21.5
Hod carriers	2.2	6.7
Plasterers	7.9	8.8
Plumbers	8.7	7.6
Electricians	2.6	2.5
Painters	10.0	6.3
Common laborers	6.3	9.9
All others	6.5	4.5
Total	100.0	100.0

These averages were constructed from reports covering a large number of six-room brick and frame houses throughout the country.

The relation of the amount paid to the various groups to the total labor cost varies according to the types of construction prevailing in the various localities; however, these averages give a fair view of the general distribution of labor costs.

ENCOURAGEMENT GLEANED FROM INDIANA BUILDING PERMIT RETURNS BY BIG GAINS IN SOME SECTIONS.

Building statistics from Indiana for the month of January, as submitted by the city building inspectors of the larger cities, show that more permits were issued in January 1922 than during the corresponding period in 1921. However, the estimated valuation of the work for which permits were granted fell below the figures recorded in 1921 for the same period, the loss approximating 10%, only \$1,298,386 estimated valuations representing the January 1922 work as against \$1,448,381 for January 1921.

The encouragement to be found in the recently submitted building figures deals with the picking up of construction work in Terre Haute, South Bend, Evansville and Ft. Wayne, the "Little Big Four Cities" all showing nice increases over January, 1921 business. Terre Haute stands out prominently with a 932% gain, getting away to a flying start in 1922. Next follows South Bend and Evansville with increases of 269-1/2% and 259-1/2% gains respectively, while Ft. Wayne tacked a 46-1/2% ante on her January 1921 estimated valuations.

Up in the northwest corner of the state the builders have had their difficulties, due to the labor trouble in Chicago which influence has extended over into the Calumet District of Indiana, and this retarding influence is reflected in the latest building figures from Hammond and Gary, the former showing a 28% loss and the latter a 75% decrease on the estimated valuations for January 1921. Indianapolis also slipped considerably during the month just passed and was 43-1/2% behind the figures returned for the corresponding period a year ago. Richmond, too, trailed her January 1921 figures.

The cities that started 1922 so auspiciously report that building construction prospects are good, while at Indianapolis, though the start has been slow, the prospects are exceedingly bright and everyone in the local building field is looking forward to a big year. The outlook at Hammond and Gary is problematical the future of building hinging on the final disposition of the present labor situation.

JANUARY PERMIT RECORDS.

City.	1922		1921	
	No. Per.	Est. Valuation.	No. Per.	Est. Valuation
Evansville	66	\$85,432	42	\$23,780
Ft. Wayne	42	136,660	39	93,325
Gary	16	47,206	42	154,550
Hammond	21	49,600	20	69,150
Indianapolis	403	580,706	331	1,025,529
Richmond	9	13,375	7	14,480
South Bend	106	173,762	60	47,062
Terre Haute	65	211,645	28	20,505
Totals	728	\$1,298,386	569	\$1,448,381

MUNCIE

Associated Building Contractors
Member State A. B. C.

Chas. RowePresident
J. A. Gallivan.....Secretary

314 Main Street

BIG GIFT PROMISES MORE GOOD BUILDING CONSTRUCTION.

While there is every evidence that building construction locally should be good when the winter weather comes to an end, there being a number of nice projects in contemplation, an added impetus was given to prospects recently when public spirit and civic pride stepped forward to boost the game along.

Ball Bros., the well known glass manufacturers made a \$1,000,000 bequest to various Muncie institutions that will mean additional building construction this year. As a result of this gift there probably will arise at the State Normal School a new gymnasium, and also an auditorium annex will be built to the new Masonic Temple now under course of construction.

INTEREST IN LOCAL A. B. C.'S CONTINUES STRONG.

There has not been much of importance of late to demand the attention of the members of the local A. B. C.'s, but the organization is riding along nicely nevertheless. The members are making good use of the new quarters which were secured recently and the various craft meetings are being well attended. No action has been taken to date on wage scales for the approaching building season, but this matter will be up for consideration and adjustment soon. No definite policy has been adopted or advocated so far. Whatever is done the Muncie contractors figure on acting in a way that will assure to the local field competent labor to handle next season's building business.

LOCAL ARCHITECTS CHEERY.

Our architects report that they are fairly busy on new building schemes and that prospective owners are showing an inclination to go right ahead if conditions will warrant such procedure.

AS SEEN BY OTHERS.

Says the Buffalo Builders' Exchange Bulletin:

No one wants to see wages reduced below a level on which a man may live comfortably, but has not the time arrived when the workman should be satisfied with a fair living wage and be ready to sacrifice some, at least, of the luxuries to which he has, in the last few years, grown accustomed?

When the employer is forced to economize and retrench, should not the workmen be willing to do likewise to a proportionate degree and particularly so when what he voluntarily yields will go to other workmen whose need is greater than his own.

INDIANA CONSTRUCTION RECORDER

FOR
ARCHITECT
ENGINEER

Devoted to the
Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

Vol. III

INDIANAPOLIS, INDIANA, FEBRUARY 25, 1922

No. 47

INDIANA CONSTRUCTION RECORDER
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ceding date of issue.

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the Act of March 3, 1879.

News of the Week

The asterisk (*) prefix to an item indicates ad-
ditional information to report published in pre-
vious issue.

INDIANAPOLIS.

Printing Plant: \$100,000. No. New Jersey
St. Archt. (Probably Private Palms.) Owner,
C. E. Pauley & Co., 112 East Maryland St.
Sketches. Definite data later. Brick and con-
crete.

Flour Mill: \$30,000. Vincennes, Ind. Archt.
and Engineers, Bacon & Tislow, 31 West Ohio
St., Indianapolis. Owner, Atlas Milling Co.,
Vincennes. Plans in progress. Brick or con-
crete.

***School (Consolidated)** \$68,000. 2 sty. & bas.
Green School Township, Hancock county, Eden,
Ind. Archt., J. Edwin Kopf and Woolling, 402
Indiana Pythian Bldg., Indpls. Owner, Sherman
Rothermel, trustee, Greenfield, Ind., R. R. 5.
Owner receiving bids to close March 18th at 1:30
P. M. (See legal advertising.)

School: 2 sty. & bas. 95x72. Huron, Ind.
Spice Valley township, Lawrence county. Archt.,
Elmer E. Dunlap & Co., 909-15 State Life Bldg.,
Indianapolis. Owner, John W. Wilson, Trustee,
Huron, Ind. Plans completed. Owner will ad-
vertise for bids shortly. Brick, stone trim, G. I.
skylight, steel partitions, asbestos built-up roof.
Will contain domestic science and manual train-
ing depts., assembly, class and recitation rooms.

Bank: \$50,000. Brookville, Ind. Archt., El-
mer E. Dunlap & Co., 909-15 State Life Bldg.,
Indianapolis. Owner, Peoples Trust Co., Casper
Ritzi, Prest., Geo. E. Mullen, Secy., Brookville,
Ind. Plans in progress. Brick and stone.

Church: \$35,000. Lowell, Ind. Archt., L. H.
Sturges, 527 Board of Trade Bldg., Indianapolis.
Owner, First Methodist Church, Rev. A. C. Brown,
pastor, Lowell. Preliminary plans in progress.
Brick, stone trim.

Store Building (5 store rooms). 1 sty. & bas.
35x95. 25th and Station Sts. Archt., Myers &
Coffin, 412 Traction Terminal Bldg. Owner, Co-
hen Bros., 2501 Station St. Plans in progress.
Brick, hollow tile, steam heat, comp. roof, cop-
per set store fronts.

Residence: (10 rooms). 4400 No. Meridian St.
Archt., Myers & Coffin, 412 Traction Terminal
Bldg. Owner, O. B. Iles, Prest., Chamber of
Commerce, Chamber of Commerce Bldg. Plans
in progress. Tile and stucco. Tile roof, vapor
heat, tile and hardwood floors.

Community House: \$50,000. Tremont & West
Mich. (Gymnasium, assembly hall, dormitory,
club rooms). 2 sty. & bas. Archt., Lee Burns,
Lemcke Annex. Owner, College Settlement As-
sociation, Broadhurst, Prest., % The Indianapolis
Glove Co., T. R. Baker, V. P., % W. J. Holliday
& Co., Joseph J. Daniels, Secy., % Baker & Dan-
iels, H. Foster Clippenger, Treas., % Fletcher
Trust Co., all of Indpls. Plans in progress.

Residence: 1½ sty. & bas., Michigan road, near
Indianapolis. Archt., Frank B. Hunter, State Life
Bldg. Owner, Maurice J. Tibbs, 436 American
Central Life Bldg. Plans in progress. Frame.

Contracts Awarded.

***Office Building:** \$500,000. 12 sty. & bas.
"Roosevelt Bldg." Ills. & Wash. Sts. Archt.,
Vonnegut, Bohn & Mueller, 610 Indiana Trust
Bldg. General contractor, Bedford Stone &
Constr. Co., Fletcher Trust Bldg., Indpls. Owner,
The Libby Realty Co., Silas Liebschutz, Prest.,
W. B. Frankenstein, Louis Leiser, all of Chicago.
Start wrecking present buildings March 1st.

Building Permits.

Residence: \$7,000. 3302 Broadway. Owner, A. B.
Cornelius, 3544 Carrollton Ave.

Residence: \$12,000. 3663 No. Penn. Owner,
Taylor C. Power, 506 No. Delaware St. Owner
builds. Brick veneer.

Residence: \$12,000. 3656 No. Delaware St.
Owner, American Estate Co., 801 Occidental Bldg.
Owner builds. Brick veneer.

Double Residence: \$8,000. 3737-39 Kenwood.
Owner, Estelle Prunk, 3746 No. Ills. General
contract let to Realtor Bldg. Co., Lemcke Bldg.

Double Residence: \$8,700. 4447-49 Guilford.
Owner, Elizabeth A. Hall, % Contractor. Gen-
eral contract let to Clyde Freeman, 42nd and
College.

Double Residence: \$4,600. 617-19 Douglas. Own-
er, J. C. Rowland, % Contractor. General con-
tract let to Ed. Warfield, 618 Patterson.

Double Residence: \$5,400. 418-20 Oakland. Own-
er, Ann and Alice Ainsley, 209 No. Gray St.
General contract let to J. F. Myers, 466 So.
Ritter St.

Residences (6) at \$2,750 each. 2200 block on
No. Rural St. Owner, L. C. Huey Bldg. Co.,
American Central Life Bldg.

Double Residence: \$6,000. 1348-45 Ringold.
Owner, Minnie Kurtzner, % contractor. Contract

let to W. A. Grady, 1528 Villa ave.

Residence: \$5,500. 950 No. Oakland. Owner,
N. L. Ridenour, 219 West Pratt St. Contract let
to S. J. Brown, 1412 Lawton St.

Residence: \$4,250. 2837 Brookside. Owner,
L. C. Eberhart, 1549 Oxford St. Owner builds.

CONNERSVILLE.

***School** (consolidated) \$37,000. 2 sty. & bas.
36x70. Guilford, Ind. Archt., Karl P. Henkel,
108 Heineman Bldg., Connerville. Owner, Nich-
olas Voegesang, Trustee of York Twp., Guil-
ford, Ind., Geo. E. Cole, Lawrenceburg, Ind.,
A. F. Wood, Harrison, Ohio. Plans completed.
Owner will advertise for bids soon. Brick and
tile.

School: \$26,500. 1 sty. & bas. 55x70. "Ab-
ington Township," near Brownsville, Ind. Archt.,
Karl P. Henkel, 108 Heinemann Bldg., Connerville.
Owner, Emmett J. Wright, Brownsville,
Ind., R. F. D. Owner receiving bids to close
February 25th.

CROWN POINT.

***Tuberculosis Sanitarium** (3 bldgs.) Archt.,
J. N. Coleman, 3251 St. Lawrence Ave., Chicago,
Ill. Asso. Archt., Nat. L. Smith, Crown Point.
Owner, Board of County Commissioners, G. M.
Foland, Auditor, Court House, Crown Point. Own-
er receiving bids to close April 3d at 1 o'clock
P. M. for the construction of 3 buildings and
tunnel, estimated cost \$260,000; separate bids on
general contract, heating, plumbing, electrical fix-
tures and wiring: "A" \$18,000; "B" \$15,000. Sep-
arate bids on children's bldg., \$50,000.

ELKHART.

***School:** \$55,000. 2 sty. & bas. 85x56. Mor-
gan township, Porter county, Ind. Archt., R. L.
Simmons, Beardsley Bldg., Elkhart. Owner, John
Bell, trustee, Valparaiso, Ind. Owner receiving
bids to close March 11th at 11 A. M. at the
office of County Superintendent of Schools, Court
House, Valparaiso, Ind. Brick, hollow tile, stone
trim, comp. roof, private water and sewer sys-
tem, steel sash, private lighting system.

Contracts Awarded.

***School:** \$61,842.00. 2 sty. & bas. 72x90. Al-
bion, Ind. Archt., R. L. Simmons, Beardsley Bldg.
Elkhart. Owner, Chas. Gatwood, trustee, Albion,
Ind. General contract let to G. E. Miller & Son,
Stroh, Ind. Heating and plumbing let to Leo
E. Beall, Sturgis, Mich. Electric work let to
Miller Electric Co., Goshen, Ind.

EVANSVILLE.

***School** (addition). \$15,000. Gentryville, Ind.
Archt., Clifford Shopbell & Co., Furniture Bldg.,
Evansville. Owner, G. W. Harris, trustee, Gen-
tryville, Ind. Owner receiving bids to close
March 4th at 10 o'clock A. M. Brick, asbestos
roof, fire doors, rolling partitions.

(Continued on Page 7)



FANS

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INDIANAPOLIS



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CATALOGUE on Rolled Steel Bars and Shapes presented on request.

WRITE, WIRE or PHONE for quotations, information or catalogue.

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TREADS, THRESHOLDS, ETC.
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- WATERTITE SCUPPERS
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- *REINFORCING STEEL, ANGLES, ETC.

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We Carry Stock in Indianapolis

Marble Work of Every Description

Tile Floor and Wainscots

WEGE-STANFORD MARBLE & TILE CO.

603 Odd Fellows Building
Indianapolis

Housing (25 bungalows). West Side. Archt., private plans. Owner, Werner Realty Co., 1196 West Franklin St. Start work soon. Frame.

Housing: (Bungalows). Ky. Ave. & Division kins and Henry A. Walker. Site purchased. Mature soon. Frame.

Garage & Salesroom: \$75,000. 4th and Division Sts. Owner, Fellowcock Auto Co., F. B. Fellowcock Secy., 4th and Division Sts. Contemplated. Mature early spring. Brick.

Cafeteria & Home Economics Bldg.: 1 sty. Archt., private plans. Owner, Evansville College, A. F. Hughes, Prest. Start work soon. Frame.

FT. WAYNE.

Consolidated School: \$50,000. 1 sty. & bas. 107x109. Allen county, Ind. Archt., F. A. Fortney, Bass Bldg., Ft. Wayne. Owner, name withheld for present. Preliminary plans. Will contain manual training and domestic science depts., laboratory, gymnasium and auditorium.

GARY.

Store & Apt.: \$20,000. Archt., Walter C. Hudson, 1301 Adams St. Owner, Peter Cidulka, 2563 Madison. Plans in progress. 2 sty. Brick walls.

Duplex: \$9,000. Archt., Walter C. Hudson, 1301 Adams St. Owner, Wm. Bacaak. Archt. taking bids. Brick walls. 2 sty.

Apartment Building (12 apts.) \$50,000. Archt., L. Harry Warriner, 673 Broadway. Owner, Parry-Shaw Co., 673 Broadway. Start work about April 1st. Day work. Brick. Ordinary construction. 3 sty. & bas.

Store & Apartment: \$7,000. 2 sty. Archt., private plans. Owner, Standard Realty Co., 2183 Broadway. Owner taking bids.

Duplex Residence: \$8,000. Archt., Walter C. Hudson, 1301 Adams St. Owner, George Turin, 2461 Adams St. Excavated. Owner builds; day work. Brick walls.

Residence: \$17,000. Archt., L. Harry Warriner, 673 Broadway. Gary. Owner, A. G. Nicholson, Merrillville, Ind. Plans completed. Ready for bids about March 15th. Brick and hollow tile.

Offices & Stores (rem. & alt.) \$15,000. Archt., L. Harry Warriner, 673 Broadway. Owner, Kelley & Semmes. Ready for bids soon. Work will consist of steam heat, copper set store front, tile floors, metal ceiling, vault door.

KOKOMO.

School (Township). \$60,000. 2 sty. & bas. Deer Creek Twp., Cass county, Ind. Archt., Thomas McGaw, Citizens Bank Bldg., Kokomo. Owner, William Henry, trustee, Young America, (Cass county), Indiana. Owner receiving bids to close March 2nd at 10 o'clock A. M. Brick.

Schools (2) \$22,000 and \$18,000. Butler township, Miami county, Ind. Archt., Elmer E. Dunlap & Co., Harrison Bldg., Kokomo. Owner, Willis Compton, trustee, R. R. No. 11, Peru, Ind. Owner taking bids to close March 10. (See legal advertising.)

School: (12 rooms). 2 sty. & bas. Warren, Ind., Huntington Township, Jefferson county. Archt., Elmer E. Dunlap & Co., Harrison Bldg., Kokomo. Owner, O. N. Lefler, trustee, Warren, Ind. Plans in progress. Brick, frpf. constr.

School: \$75,000. Somerset, Ind., Waltz Twp., Wabash county. Archt., Elmer E. Dunlap & Co., Harrison Bldg., Kokomo. Owner, Frank M. Truss, trustee, Somerset, Ind. Bids were not opened on Feb. 21st. Definite data later.

MUNCIE.

Grade School: "Riverside school bldg." 2 sty. & bas. Archt., Cuno Kibele, 335 Johnson Bldg.

Owner, Board of Education, V. W. Jones, Prest. Preliminary plans in progress. Brick.

Science Hall: \$250,000. 2 sty. & bas. 80x160. "Indiana State Normal School." Archt., Cuno Kibele, 335 Johnson Bldg. Owner, Board of Trustees, Ind. State Normal School, Muncie. Archt. revising plans. Will mature about April 1st.

School (grade): \$30,000. 3 rooms. 1 sty. and bas., Washington township, Blackford county, Indiana. Archt., Houck & Smenner, 123½ West Main St., Muncie. Owner, William P. Futrell, trustee, Hartford City, Ind., R. R. No. 3. Plans completed. Owner will advertise for bids soon. Brick, hollow tile, reinf. floors, marble name tablet, rolling partitions, D. I. htg. & vtr. system.

Residence & Garage: Archt., Ashburton & Tripp, 730 Guardian Bldg., Cleveland, Ohio. Owner, E. Arthur Ball, Muncie. Archt. preparing plans for landscaping, will probably not build residence and garage for about 1 year.

High School (add. & alt.) \$75,000. 1 sty. & bas. 62x100. Yorktown, Ind., Mt. Pleasant township. Archt., Houck & Smenner, 123½ West Main St., Muncie, Ind. Owner, P. J. Kautzman, trustee, Yorktown, Ind. Plans completed. Owner will advertise for bids soon. Brick.

RICHMOND.

School: \$50,000. School Dist. No. 5, Franklin township, Whitewater, Ind. Archt., C. E. Working & Son, Palladium Bldg., Richmond, Ind. Owner, William J. Curtis, trustee, Whitewater, Ind. Owner receiving bids to close February 27th at 2 P. M. Brick.

Tuberculosis Hospital (patients' bldg.) 200x30. Heating plant, 36x42. Dining hall 40x60. \$150,000. Archt., John W. Mueller, Palladium Bldg. Owner, Board of Trustees, John Rupe, Prest., Richmond. Plans in progress. May advertise for bids this spring.

Contracts Awarded.

School (Twp., High and Grade) \$70,000. Liberty township, Henry county, near Millville, Ind. Archt., Chas. E. Working & Son, Palladium Bldg., Richmond. Owner, Daniel M. Hoover, trustee, Newcastle, Ind., R. R. No. 3. General contractor, Bowyer Constr. Co., Newcastle. Start work in March.

SOUTH BEND.

Theater (seating 3,000) stores (11) and dance hall. 2 & 3 sty. & bas. \$300,000.00. Archt., J. S. Aroner & Co., 304 So. Wabash Ave., Chicago, Ill. Owner, Palace Theater Co., Jacob Handleman, % Kimball Piano Co., Chicago, Ill. Archt. receiving bids.

Contracts Awarded.

Church: \$75,000. 1 sty. & bas. 65x90. Archt., Austin & Shambleau. Owner, Sunnyside Presbyterian Congregation, Rev. M. M. Rodgers, pastor. General contract awarded to H. G. Christman Construction Co., South Bend. Brick, stone trim. Start work soon.

TERRE HAUTE.

Office Bldg. & Stores (42 offices and 9 stores.) "Pig & Whistle Bldg." 6th and Cherry Sts. Archt., Shourds-Stoner Co., 511 Tribune Bldg. Owner, Demas Deming, Prest., First National Bank. Archt. ready for bids. Brick. 2 sty. and bas. 111x141.

Residence: \$12,000. 2 sty. & bas. Archt., Shourds-Stoner Co., 511 Tribune Bldg. Owner, R. S. Swanagan, Edgewood Grove, Terre Haute. Plans in progress. Stucco.

Church: \$100,000. Brazil, Ind. Archt., Johnson, Miller & Miller, 30 No. 5th St., Terre Haute.

Owner, Presbyterian Church, Rev. Aikman, pastor, Brazil. Plans completed. Ready for bids about April 1st. Brick. Stone trim. 1 & 2 sty. and bas. 60x90.

Residence: (8 rooms). Clinton, Ind. Archt., Johnson, Miller & Miller, 30 No. 5th St., Terre Haute. Owner, Mark Nebecker, Clinton, Ind. Plans in progress. Brick. 2 sty. and bas.

Residence: \$8,000. Jasper, Ind. Archt., Johnson, Miller & Miller, 30 No. 5th St., Terre Haute. Owner, Dr. L. A. Salb, Jasper. Owner ready for bids. Brick veneer.

Contracts Awarded.

Duplex Apartment: 2 sty. & bas. Archt., Shourds-Stoner Co., 511 Tribune Bldg., Terre Haute. Owner, D. H. Whitaker, Brazil. General contract let to Edward Lashbrook, 2535 No. 13th St., Chicago, Ill. Brick veneer over frame.

School & Garage: \$45,000. 2 sty. & bas. Honeycreek township, Youngstown, Ind. Archt., Shourds-Stoner Co., 511 Tribune Bldg., Terre Haute. Owner, Edwin R. Halstead, trustee, Youngstown, Ind. General contract let to King Bros. Constr. Co., 2333 Locust St., Terre Haute.

School (addition & repairs.) \$40,000. Farmersburg, Ind., "Curry Township." Archt., Johnson, Miller & Miller, 30 No. 5th St., Terre Haute. Owner, Basil Thomas, trustee, Farmersburg, Ind. General contract let to Floyd & Weeks, Farmersburg. Heating let to C. A. Mahoney Co., Gary, Ind. Plumbing let to Jennings & McNab, Farmersburg.

School: \$50,000. Shelburn, Ind. Curry Twp. Archt., Johnson, Miller & Miller, 30 No. 5th St., Terre Haute. Owner, Basil Thomas, trustee, Farmersburg, Ind. General contract let to Urban & Apple Constr. Co., Brazil, Ind. Heating let to C. A. Mahoney Co., Gary, Ind. Plumbing let to Jennings & McNab, Farmersburg, Ind.

VINCENNES.

School: (High & Grade) 2 sty. & bas. 92x66. Mackey, Indiana. Archt., J. W. Gaddis, American National Bank Bldg., Vincennes. Owner, Chas. Wheaton, trustee, Mackey, Ind. Owner will readvertise for new bids soon. Brick. Hollow tile.

WHITING.

Schools: Junior High School, rem. present gymnasium, bldg. new smoke stack & 1 sty. 8 room grade and auditorium bldg. Archt., N. S. Spencer & Son, 37 West Van Buren St., Chicago, Ill. Owner, Board of Education, J. B. Kyle, Secy., Whiting. Low bidder on general contract, English Bros., Champaign, Ill., \$377,000.00; second low bidder, Rowley Bros., Chicago, Ill., \$392,000.00. Bids in under advisement.

Store Bldg.: \$20,000. Hammond, Ind. 1 sty. & bas. Archt., private plans. Owner, Wm. C. Mathew, Whiting, Ind. Start work soon. Brick.

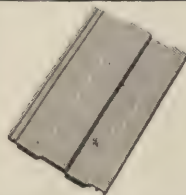
MISCELLANEOUS CITIES.

Crawfordsville: School. "John Beard School Annex." \$17,500. 1 sty. & bas. 42x50. Archt., W. F. Sharpe. Owner, Board of Education, Allen W. Johnson, Prest., John C. Snyder, Secy. Owner receiving bids to close March 20th at 2 P. M. Brick, wood joist and roof constr. Slate roof.

Dillsboro: School. 2 sty. & bas. 77x122. \$40,000. (6 class rooms, domestic science and manual training depts., gymnasium). Archt., James Bailey, Dillsboro. Owner, William Meyers, trustee, Clay township, Dillsboro, Ind. Owner receiving bids to close March 17th at 12 o'clock noon. Brick.

Frankfort: School (addition). \$35,000. Goldsmith, Ind., Jefferson Twp., Tipton county. Archt., Rodney Leonard, People Life Bldg., Frankfort.

(Continued on Page 9)



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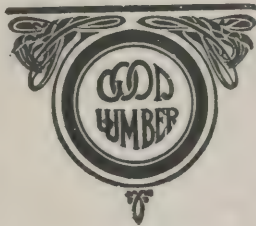
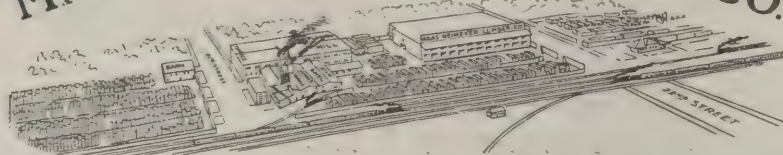
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Ind. Owner, J. H. Ferguson, trustee, Kempton, Ind., (Tipton county). Owner taking bids to close March 15th at 1 o'clock P. M.

Elwood: Armory. \$25,000. Archt. not selected. Owner, The Elwood Armory Realty Co., O. D. Hinshaw, Prest., Elwood. Mature early spring. Brick.

*Greenfield: Township school, \$69,000. 2 sty. & bas. 125x67. Blue River township, Hancock county, Ind. Archt., O. P. Gordon, Greenfield. Owner, Vernice R. Davis, trustee, Morristown, Ind. Owner receiving bids to close March 18th at 10 o'clock A. M. Brick. Will contain gymnasium, auditorium, manual training and domestic science depts., dining room.

Jasper: Radiators, F. J. Seng, Auditor, is receiving bids to close March 6th on 41 radiators.

Jeffersonville: Houses (10). 1 sty. & bas. About \$3,500 each. Archt., private plans. Owner, Southern Indiana Realty Co., F. N. Frank, Jeffersonville. Start work soon. Frame, ordinary construction.

*Lafayette: Consolidated school, 2 sty. 99x65. Madison township, Jay county, Ind. Archt., Nicol, Scholer & Hoffman, Ross Bldg., Lafayette, Ind. Owner, William A. Roush, trustee, Union City, Ind. Plans completed. Owner will advertise for bids soon. Brick, hollow tile, steel sash, skylights, gravel roof, fire doors, steel partitions. 4 class rooms, 4 recitation rooms, domestic science and manual training depts., laboratory, assembly.

Lebanon: Township School, 2 sty. 111x107. Harrison township, Boone county, Ind. Archt., John E. Frost, Reporter Bldg., Lebanon. Owner, Morton B. Kimmel, trustee, Lebanon, Ind., R. R. No. 13. Plans completed. Owner will advertise for bids in March. Brick, hollow tile, comp. roof, fire doors, G. I. skylight, pneumatic tank, septic tank. Will contain domestic science and manual training depts., gymnasium, assembly, class and recitation rooms.

Maumee: School (2 rooms). Salt Creek Twp., Jackson county, Maumee, Ind. Owner, Theodore Davis, trustee, Maumee. Contemplated. Mature early spring.

Princeton: Church gymnasium: \$10,000. Archt. Private plans. Owner, First Presbyterian church. Preliminary plans in progress. Owners financing. Mature early spring.

Michigan City: Hotel (20 rooms). \$15,000. "Duneland Beach." Owner, Joseph Esser, Laporte, Ind. Contemplated. Mature in spring. Frame.

Salem: High School (rem. & add.) \$100,000. close March 6th at 2 P. M., also for 2 20-ft. span bridges.

Archt., Paul Moosmiller, New Albany, Ind. Owner, Mason Martin, trustee, Salem, Ind. Plans in progress. Will contain gymnasium, auditorium, manual training and domestic science depts. Plans in progress.

*Vincennes: Township High School (add.) 2 sty. & bas. 66x109. Flora, Ill. Archt., L. H. Osterhage and Byron Sutton, Citizens Trust Bldg., Vincennes, Ind. Owner, Board of Education, H. W. Irvin, Secy., Flora, Ill. Owner receiving bids to close March 13th at 2 P. M. at Flora. Includes general construction, heating, plumbing, and wiring.

ROADS—BIDS WANTED.

Angola: 2 gravel roads, \$11,183.25 and \$10,099.19. Frank O. Watkins, Auditor. Bids close March 6th at 1:30 P. M.

Boonville: Owner, Wm. A. Campbell, Auditor. Bids close March 7th at 2 P. M. 2 roads. Broken stone.

Bloomfield: 6 roads. Herschell Corbin, Auditor. Bids close March 7th at 2 P. M.

Bluffton: 3 gravel roads, 14,448 feet. F. B. Fishbaugh, Auditor. Bids close March 6th at 1 P. M.

Brazil: 2 stone and gravel roads. Wiley E. Parrish, Auditor. Bids close March 7th, 10:30 A. M. 24,747 feet.

Brownstown: Gravel road, 26,170 feet. Samuel Carr, Auditor. Bids close March 6 at 1 P. M.

Decatur: 4 macadamized roads. Martin Jaeger, Auditor. Bids close March 7th at 10 A. M.

Evansville: Asphalt road, \$88,110.77. Willis M. Copeland, Auditor. Bids close March 9th, 10 A. M., and another road est. cost, \$21,806.00, to close March 6th at 10 A. M.

Ft. Wayne: Stone road, \$32,496.00. Angus C. McCoy, Auditor. Bids close March 7th at 10 A. M.

Greencastle: 5 roads, \$70,865.00. K. E. Knoll, Auditor. Bids close March 6 at 1:30 P. M.

Greenfield: Cement road, 13,620 feet. Edw. A. Cooper, Auditor. Bids close March 7th at 10 A. M.

Huntington: 4 roads, 41,329 feet. Joseph E. Shideler, Auditor. Bids close March 10 at 10 A. M.

Indianapolis: Road, \$12,325. Leo K. Fesler, Auditor. Bids close Feb. 28th at 10 A. M.

Jasper: 15 roads, crushed blue limestone, macadam, crushed rock. Frank J. Seng, Auditor. Bids

Jasper: 15 roads, crushed blue limestone, macadam. Bids close March 2nd at 2 P. M.

Madison: Gravel road, 10,740 feet. Chas. S. Dabler, Auditor. Bids close March 7th at 1 P. M.

Martinsville: Gravel road, 13,280 feet. H. H. Nutter, Auditor. Bids close March 7th at 2 P. M.

New Albany: Stone macadam road, 13,340 feet. John D. Mitchell, Auditor. Bids close March 9th at 10 A. M.

Rensselaer: Road, S. C. Robinson, Auditor. Bids close March 6th at 2 P. M.

Rockport: 2 gravel roads, \$31,528.83. R. W. Richards, Auditor. Bids close March 7th at 2 P. M.

Salem: Road, \$17,216.90. Eli E. Batt, Auditor. Bids close March 6 at 2 P. M.

Terre Haute: 2 roads. \$17,546.00. Chas. M. Lee, Auditor. Bids close March 7th at 11 A. M.

Valparaiso: 3 gravel roads, \$126,882.00. B. H. Kinne, Auditor. Bids close March 7th at 2 P. M.

Vernon: 2 gravel or crushed stone roads, \$41,110.64. Everett Bemish, Auditor. Bids close March 6th at 1 P. M.

Wabash: 2 roads, 23,900 feet. Ben Bannister, Auditor. Bids close March 7th, at 10 A. M.

Williamsport: \$27,834.57. 4 roads, Wm. H. Stephens, Auditor. Bids close March 6th at 1 P. M.

Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field.

Copy should reach us, at the latest, Wednesday of the week of publication.

SCHOOL HOUSE
NOTICE TO CONTRACTORS.

Notice is hereby given that on the 10th day of March, 1922, until 10 o'clock A. M., on said date at the office of the Trustee located in the Consolidated School Building in Butler Township, Miami County, Indiana, the undersigned, Willis Comp-

(Continued on Page 11)

STONEWALL EXTERIOR STUCCO

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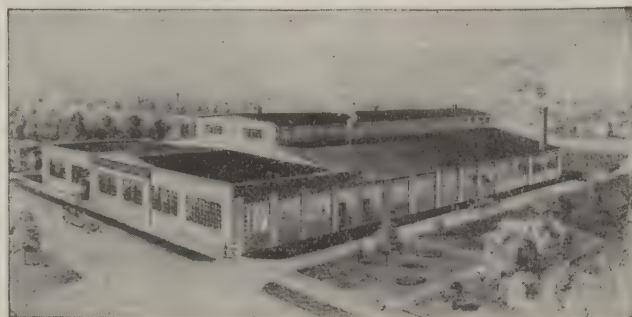
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ton, School Trustee of Butler Township, Miami County, Indiana, will receive bids for the erection and completion of an addition to the consolidated school building known as the Butler Twp. School, located in the S. E. quarter of Section 9 in Township No. 26 north, Range 5E., all being in Butler Township, Miami County, Indiana and at the same time and place will receive bids for the addition to the heating plant now installed in the same building and all in strict accordance with the plans and specifications therefor, now on file in the office of the State Board of Accounts in Indianapolis, Indiana, in the office of the Trustee and in the office of the Architects, The Elmer E. Dunlap Co., Kokomo, Indiana. The estimated cost of the contemplated work is \$22,000.00.

All bids must be in writing, sealed and in every respect made to conform to the Indiana Laws and the Rules and Regulations of the School Board of said state. The right is expressly reserved to reject any or all bids.

Each bid, whether for the general construction or the heating shall be accompanied by a certified check equal to 5% of said bid.

These checks must be made payable to the Trustee of Butler School Township, Miami County, Indiana, and will be held by him as a guarantee of good faith that said bidder or bidders will enter into a contract and execute a bond for the full amount of his bid, approved by the Trustee for the due performance thereof if his bid or bids are accepted. The checks of those bidders who fail to be awarded contract shall be returned to them when the contracts are let.

Should the successful bidder or bidders fail to enter into such contract and execute such bond then he or they shall forfeit the amount of said certified check as liquidated damages for such failure for the use and benefit of the proper funds of Butler School Township, Miami County, Indiana.

Copies of the plans and specifications may be obtained from the office of the Architects, Kokomo, Indiana, upon deposit of \$25.00 for each set. Said deposits will be returned to the bidders upon the safe return of the plans and specifications to said office of the Architects on or before the day and hour set for receiving bids.

Each bidder receiving plans and specifications will be required to submit a bid or bids to the Trustee, or failing to do so, the deposit for plans and specifications will be retained for the use and benefit of the proper funds of the School Township, County and State above named.

At the same time and place bids will be received for the remodeling of the plumbing system now installed in the building, the estimated cost of this work is \$5,000.00. Plans and specifications for this portion of the work can be secured from the Trustee. The same conditions covering the filing of bids on the other portions of the work in connection with this building shall obtain in the filing of bids on the plumbing.

(Signed) WILLIS COMPTON,

Trustee of Butler School Township, Miami County, Indiana.

SCHOOL HOUSE. NOTICE TO CONTRACTORS.

Notice is hereby given that on the 10th day of March, 1922, until 10 o'clock A. M., on said date at the office of the Trustees located in the Consolidated School Building in Butler Township, Miami County, Indiana, the undersigned, Willis Compton, School Trustee of Butler Township, Miami County, Indiana, will receive bids for the erection and completion of a one story and basement brick veneered school building to be located near old Santa Fe, being in Butler Township, Miami County, Indiana, and at the same time and place will receive separate bids for the heating and plumbing therefor and all in strict accordance with the plans and specifications now on file in the office of the State Board of Accounts in Indianapolis, Indiana, in the office of the Trustee and in the office of the Architects, The Elmer E. Dunlap Co., Kokomo, Indiana. The estimated cost of the contemplated work is \$18,000.00.

All bids must be in writing, sealed and in every respect made to conform to the Indiana Laws and the Rules and Regulations of the School Board of said state. The right is expressly reserved to reject any or all bids.

Each bid, whether for the general construction, the heating, or the plumbing shall be accompanied by a certified check equal to 5% of said bid.

These checks must be made payable to the Trustee of Butler School Township, Miami County, Indiana, and will be held by him as a guarantee of good faith that said bidder or bidders will enter into a contract and execute a bond for the full amount of his bid, approved by the Trustee for the due performance thereof if his bid or bids are accepted. The checks of those bidders who fail to be awarded contract shall be returned to them when the contracts are let.

Should the successful bidder or bidders fail to enter into such contract and execute such bond then he or they shall forfeit the amount of said certified check as liquidated damages for such

failure for the use and benefit of the proper funds of Butler School Township, Miami County, Indiana.

Copies of the plans and specifications may be obtained from the office of the Architects, Kokomo, Indiana, upon deposit of \$25.00 for each set. Said deposits will be returned to the bidders upon the safe return of the plans and specifications to said office of the Architects on or before the day and hour set for receiving bids.

Each bidder receiving plans and specifications will be required to submit a bid or bids to the Trustee, or failing to do so, the deposit for plans and specifications will be retained for the use and benefit of the proper funds of the School Township, County and State above named.

(Signed) WILLIS COMPTON,

Trustee of Butler School Township, Miami County, Indiana.

SCHOOL HOUSE NOTICE TO CONTRACTORS.

Notice is hereby given, That the undersigned, Sherman Rothermel, Trustee of Green School Township, Hancock County, Indiana, and the Advisory Board of said Township, will, until the hour of 1:30 P. M. on Saturday, March 18th, 1922, at the office of said Trustee in the town of Eden, in Green Township, Hancock County, Indiana, receive sealed bids for the erection, construction and completion of a consolidated school building; also for the construction and installation of a heating and ventilating system; also for the construction and installation of a plumbing and water supply system; also for the construction and installation of a sewerage disposal system; also for the construction and installation of an electrical lighting system, all for said building; all in accordance with the drawings and specifications therefore adopted by said Trustee, and as prepared by J. Edwin Kopf and Wooling, Architects and Engineers, Indiana Pythian Building, Indianapolis, Indiana, and now on file at the offices of said Trustee and of said Architects, and at the office of the State Board of Accounts, at the State House, Indianapolis, Indiana. All bids therefor will be opened and publicly read at 1:30 P. M. on March 18th, 1922, at said office of said Trustee in the presence of said Advisory Board. Said building and said systems connected therewith are to be constructed on the school property of said Township at Eden in said Township, on the real estate known as the Eden School grounds.

Bidders desiring duplicate copies of the drawings and specifications for their personal use may obtain same by depositing \$25.00 for the general construction documents and \$10.00 for the documents for each of the other branches; which deposits will be refunded if the drawings and specifications are returned in good condition on or before the time above set for receiving bids.

All bids must be on forms prescribed by the State Board of Accounts and must be accompanied by a certified check of not less than three per cent of the gross bid submitted, payable to the Trustee of Green School Township, Hancock County, Indiana, and the said check of the accepted bidder shall be forfeited to the said Township as agreed and liquidated damages, in the event that the accepted bidder fails to enter into a proper contract for the work bid upon and to give the proper approved bond, within ten days from the acceptance of such bid. Checks of the unsuccessful bidders will be returned.

Within ten days from the acceptance of this bid, the accepted bidder will be required to enter into a written contract to construct and complete the work covered by his bid, including the furnishing of all material and the performing of all work in conformity with the said drawings and specifications, and also to furnish at the same time, a proper bond with approved security.

All branches and the whole of the work herein mentioned must be completed within six months from the date of signing the contracts.

Each bidder shall file with his bid the statutory affidavit required by Sec. 8969, Burns' Annotated Indiana Statutes 1914, and the successful bidder before entering into contract shall present a certificate from the industrial board showing that he has complied with Sec. 68 of the Indiana Workmen's Compensation Act.

The said School Trustee reserves the right to reject any and all bids and to take time to investigate the bids and the qualifications of the bidders. No contract will be awarded to any bidder unless said bid shall be approved in all things by the Indiana State Board of Tax Commissioners.

The estimated cost of the work is \$68,000.00. Dated this 21st day of February, 1922.

SHERMAN ROTHERMEL,

Trustee of Green School Township, Hancock County, Indiana. Office at Eden, Hancock County, Indiana. Post Office Address, R. R. 5, Greenfield, Indiana.
Feb. 25-Mar. 4-11.

HOSPITAL.

NOTICE TO CONTRACTORS.

Notice is hereby given that the Board of Trustees of the Putnam County, Indiana, Public Hospital, will, until the hour of two o'clock, P. M., on Wednesday, the twenty-second (22d) day of March, 1922, at the office of the Auditor of said Putnam County, at Greencastle, Indiana, receive sealed bids, and then to be opened for a general contract for the furnishing of all material and labor for the erection, construction and completion of the Putnam County, Indiana, Public Hospital, at Greencastle, Indiana, including heating, plumbing, elevator equipment and lighting system for said hospital building, all of which is to be in accordance with plans and specifications therefor which have been approved by the State Board of Charities and Board of Accounts of the State of Indiana, which said plans and specifications are on file in the office of the Auditor of Putnam County, Indiana, and copies of said plans and specifications for all said construction and work may be had at the office of D. A. Bohlen & Son, architects, 1001 Majestic Building, Indianapolis, Indiana, and may also be inspected in the office of the Auditor of said Putnam County, at Greencastle, Indiana.

All bids and proposals shall be on forms prescribed by the State Board of Accounts. These proposals must be accompanied by an approved surety company bond to the full amount of the maximum bid. Said bond is to protect the owners, the Hospital Board and Putnam County, Indiana; in case the contractor fails to enter into contract within five (5) days after the awarding of the contract, and also to protect the owners in the fulfillment of all parts of the contract, according to plans and specifications and the time within which said building shall be completed.

Each contractor receiving plans and specifications from the architect will be required to deposit as security for their return in good order the sum of twenty dollars (\$20).

The estimated cost of the construction and completion of said hospital building in accordance with the plans and specifications therefor, is eighty-five thousand dollars (\$85,000).

Before the closing of a contract with any contractor for the construction and completion of said building the Board will require that such contractor furnish to the Board a certificate from the Industrial Board of Indiana showing that such contractor has complied with Section 68 of the Workmen's Compensation Act of Indiana.

And such contract when entered into and the bond to be furnished by said contractor, shall contain a condition and agreement to empower the said Board of Trustees to withhold from the contract price sums sufficient with which to pay all claims of laborers, material men and subcontractors, as well as claims for labor and material furnished to contractors and to pay off such claims out of such fund as provided by Acts of the General Assembly of the State of Indiana.

Payment to the contractor upon estimates made as the work progresses and final payment shall be made as stated and fixed in the specifications for said work.

The Board reserves the right, and all contractors bidding for said work must bid with the understanding and condition, that the Board may reject any and all bids received and reserve the right to determine for themselves what bid may be accepted for said work and what bids may be rejected.

ANDREW H. HANNA,
WILLIAM A. KREIGH,
DAVID V. HOSTETTER,
and
JESSE McCOY.

Board of Trustees of Putnam County, Indiana, Public Hospital.

James & Allee, Greencastle, Indiana, Attorneys for Board of Hospital Trustees.
Feb. 4-11-18-25, March 4-11.

HOSPITAL.

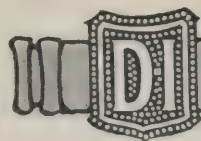
NOTICE TO CONTRACTORS.

Bids for the construction of a Children's Building (appropriation \$100,000) and for a Superintendent's and Nurses' Cottage (appropriation \$25,000) will be received by the Trustees of the Indiana State Sanatorium, Rockville, Ind., at the Claypool Hotel, Indianapolis, Ind., on Thursday, March 9, 1922, up to 2 o'clock P. M. Shourds-Stoner Co., Architects, Terre Haute, Ind.

CHURCH

NOTICE TO CONTRACTORS.

Sealed proposals for the construction of the St. Lawrence Roman Catholic Church will be received by the Rev. Alfred Herman, O. F. M., Pastor, at his Pastorate located at 1916 Meharry St., Lafayette, Ind., on Tuesday, March 14th, 1922, up to 10 o'clock A. M. Plans can be obtained at the office of Reidel & Zink, Architects, Lafayette, Indiana.



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THE Woodrow Wilson School pictured above has 22 class rooms, rest rooms and offices. It was completed in 1921. **Architects:** Ashby, Ashby and Schultze, Chicago, Illinois; **General Contractors:** Cermak and Novotny, Cicero, Illinois; **Heating and Ventilating Contractors:** H. W. Keppner, Cicero, Illinois.

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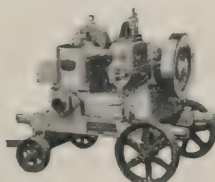
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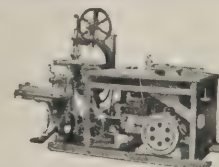
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ARCHITECTURAL SERVICE DISCUSSIONS PROVE GOOD DRAWING CARD.

It was clearly demonstrated at Indianapolis the past week that the layman is not only interested in home building but that he will take out time to go to hear the architectural features of the home discussed that he may know how to build a better home. At Indianapolis the News sponsored, in co-operation with the civic and business associations, a Better Home Institute, securing the services of Mr. Ross Crane, architect and authority on interior decorating, and F. A. Cushing Smith, a landscape architect, both of the Art Institute of Chicago, to speak on the value of architectural service in planning the home, interior decoration of the home and its influence, and how to landscape the site to the best advantage, making for a suitable and pleasing environment.

The program presented was as follows:

Monday, Feb. 20, 8 P. M.
Interior Decorating Demonstration, Using a portable room, furniture, draperies, etc.-----Ross Crane

Tuesday, Feb. 21, 8 P. M.
Interior Decorating Demonstration—"The Overcrowded Room" or "Art Versus Aunt Matilda"-----Ross Crane
9 P. M.
"Design and Planting of the Home Grounds." Illustrated.-----F. A. Cushing Smith

Wednesday, Feb. 22, 3 P. M.
Interior Decorating Demonstration. "Maximum Beauty at Minimum Cost"-----Ross Crane
8 P. M.
"How to Plan, Build and Finance a Small Home"-----Ross Crane
8 P. M.
"City Planning for Your Community." Illustrated.-----F. A. Cushing Smith

Thursday, Feb. 23, 8 P. M.
"Question Box"-----Ross Crane and F. A. Cushing Smith
8:20 P. M.
"Dollars and Sense for Your Town"-----Ross Crane

The Better Home Institute was held in Caleb Mills Hall, Shortridge High School and at every session both afternoons and evenings the auditorium was crowded to capacity by audiences that were most

receptive, appreciative and enthusiastic. Especially did the audiences appear greatly interested when it came to discussions of those things that pertained to the small homes. Mr. Crane continually dwelt upon the advisability of consulting an architect when it came to building and sought to impress upon his auditors that an architect was not a luxury as is the common conception, but is a necessity if a real home with all its attractive features is desired.

Nor were Mr. Crane's interior decorating demonstrations less interesting. At each demonstration he used settings depicting a living room, with draperies, actual furniture, lamps, etc., and as he rearranged, built up, or eliminated certain unessentials, he lectured in his own inimitable, pleasing, captivating way that gripped his auditors and held their interest to the very last word. His talks had to do with the carrying through of color schemes, the selection of appropriate furniture and the proper arrangement, nor did he overlook that all important feature, the illuminating effects. The whole demonstration had to do with getting the maximum of suitability and utility out of that which was at one's disposal.

Following up Mr. Crane's lectures, Mr. F. A. Cushing Smith took up the thread of the better home idea, discoursing on the planning and planting of the outdoor environment of the home. He spoke of the yard or garden as "the outdoor living room" and showed how, by a little thought and planning, the yard can be made most attractive, make for comfort and contentment, and enhance the value of the property. He referred to the garden as reflecting the individuality and personality of the occupants of the home, and suggested that when spring arrives and our thoughts turn to the out-of-doors, and perusals are made of nursery catalogs with the view to selecting that which is to be planted, a careful selection be made of a few good varieties of plants and flowers, rather than a wide and varied assortment. Having finished with the planning of the immediate environment of the home Mr. Smith spoke of city planning and what such procedure would mean to the whole commonwealth and posterity. He complimented Indianapolis for the steps it had taken in that direction and concluded with the remarks that Indiana was in the foremost ranks

of those who had adopted the city plan idea and in the position to show the rest of the country the good that could be accomplished through that channel.

BETTER-HOMISMS.

"Living with furniture you don't like is about as bad as living with a husband you don't like."

"Interior decoration means not only beauty, but involves the idea of comfort in order to be successful."

"Indispensable in the living room—an open fireplace, books, music and flowers."

"It is impossible to estimate the power of the open fireplace to vitalize the imagination of childhood."

"A little nook in the living room is so much nicer for courtship than the movies, or an auto out along a lonely road."

"There should be no living room without a benediction of books."

"Flowers in the room add the finishing touch, and no home is complete without music."

"A table in the living room is appropriate; it is a good thing to have around so that the family, father, mother, sister and brother, can gather about it—if they are ever all home at one time. However, locate it and the chairs with a view to suitability."

"Draperies are the accent of the room."

"The rug should always be reticent; it should never say, 'Hello' as you enter the room."

"More crime is committed under the name of art than under the guise of religion or patriotism."

"Star shaped and other figuratively designed flower and plant beds are all right in parks where they have plenty of room, but should never interrupt or break up the lawn around a little home."

"When you decide to build employ an architect—a good one."

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Official Paper

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If You are Contemplating any kind of Construction Work, you should Communicate with
General Office for Information

MEETING NIGHTS

General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.

ANOTHER IN COMMAND.

The Chicago Building Trades Council is having difficulty traversing a rough and stormy sea, and in the meantime is having considerable trouble in finding a captain to hold the tiller down and pilot its bark to port. When things began to creak and it seemed as if the old hulk would spring a leak O'Donnel was ousted from command to be succeeded by Tom Karney who tried hard to right things but he too failed, walked the plank, and Curran, head of the Plumbers' Union, took the bridge only to find the fog banks too dense for much speed, so, he relinquished his position of authority, was placed on the retired list, and Fred Mader, president of the Fixture Hangers' Union, stepped forward to try his hand. The latter has hoisted a new standard to the mast head and is seeking to pour oil on the troubled waters by announcing that he is for peace and harmony.

This is the policy that every one desires to see injected into the building industry and it is hoped that Mader is sincere in his avowed intentions, that he will practice what he preaches and refrain from calling into use the old pike hook, now and then known as the Double Cross which has been used heretofore all too frequently. It is probable that Mr. Mader will profit from the experiences of his predecessors and seek to steer a straight course. If he can convince the Citizens Committee of Chicago that he is really sincere in his endeavor it is predicted that success will be his and that the long-sought-after peace and harmony

will become a reality in the building industry. Here's wishing him success.

"PEPPING UP" AT GARY.

A crowd of our members, L. E. Granger, J. Wesley Reed, Rufus Danner, H. L. Morris and Secy. E. E. Cole slipped over to Gary the other night to attend a meeting of the sub-contractors of that city. It was a "peppery" gathering, well attended and full of enthusiasm. If they keep up the gait at which they have set out they surely are going to get somewhere.

The general contractors are still sitting on the sidelines and haven't gotten into the game as yet. However, if the G. C.'s ever do wake up and get a little of the spirit that the subs are manifesting, take their stand for action, it will help wonderfully in clearing up a mean situation over there. Gary needs a revival among the contractors, an awakening of spirit that will sink deep and sweep the whole crowd into the lists for a contention of fair play, equity and real, sincere co-operation. The sooner it comes the better for all concerned in the Gary building business.

BLANKET WOULD HAVE COVERED THEM ALL.

Bids for the construction of the new manual training high school at Whiting, opened a few days ago, were very close there not being a great deal of difference in the ten submitted. English Bros., Champaign, Ill. with \$377,000 were low with Rowley Bros., Chicago, next at \$392,000. The figures submitted were taken under advisement and it is expected that the contract will be awarded soon.

WHEN!

When Union Labor concedes to the non-union man his constitutional right to work whether a member of a union or not, when they cease unlawful picketing and violence, when they incorporate and become responsible to the law, when they are willing to give an honest day's work, when they are willing to observe both the spirit and the letter of every agreement, and cease in their attempts to organize our police and fire departments, when they abandon their program of intimidation, threats, coercion, and their rule or ruin policy toward local merchants, when they demonstrate their faith and interest in the community by respecting the rights of others and by more a progressive and constructive policy, the Open Shop Division of the Chamber of Commerce will naturally feel more kindly toward resolutions emanating from this source.—(From the Oklahoma Open Shop News.)

CALUMET BUILDING PROGRESS.

Architect Mac Turner, Hammond, is finishing up the plans for a handsome new residence for Dr. Chidlaw, to be out for bids shortly. He is also revising plans for the new city sewage disposal plant, a project that will be put out for proposals in the very near future.

Contractors Shade and Wall were successful in landing the masonry contract for the Sullivan Building at Whiting. The estimated cost of the entire building is \$23,000.

E. E. COLE.

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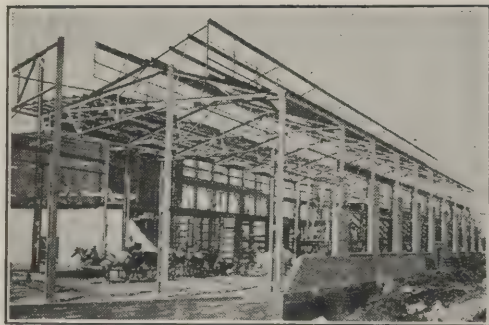
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Associated Building Contractors of Indiana

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ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller.....President
Chas. Scarborough.....Secretary

Office of Secretary, 710 Old State Bank

PUBLIC WORK MATERIALIZING.

Local architects are working on plans for two public building projects, an annex to the city hall, and a grade school swimming pool. The boards of works and parks have definitely decided that the two projects will be carried through. No estimates on the cost are at hand, but the cost of the swimming pool will not be over \$10,000, and the cost of the office building will be in the neighborhood of from \$20,000 to \$30,000.

A decrease in the cost of building material and labor is expected to permit the construction of a larger pool for \$10,000 than was possible in the building of the Howell and Booker T. Washington pools.

Plans for the office building will provide for a structure, probably of concrete construction that will be of about the same proportions as the old police station. A corridor will lead through the city hall, across the space that will separate the buildings and through the new structure.

Architects Russ and Karges are handling plans on the office building and Architect Alfred Neucks is working on plans for the pool.

LOCAL ENGINEERS ORGANIZE

Technical men of Evansville have gotten together and organized under the head of the Evansville Association of Engineers. There will be three classes of members in the new organization, senior, comprising men with at least five years' experience in executive technical positions; junior, comprising those having at least two years practical experience in technical positions; and associate members, comprising those whose previous training and fitness qualifies them to co-operate with the association.

The membership committee consists of Chester J. Vaught, president of the Evansville Structural Supply company, chairman; Gilbert N. Karges, architect; Irving Blemker, of the International Iron and Steel company; C. E. Gage, assistant superintendent of the Bucyrus company, and Harry N. Robinson, civil and mining engineer.

Max Robinson, professor of engineering at Evansville college is chairman of the nominating committee, with W. L.

Hitch V. E. Mullin, Harry Toelle, and Roy Sampson, as associates.

CHIPS AND SHAVINGS.

W. A. Hopkins and Henry A. Walker have purchased the plat at Kentucky avenue and Division street, formerly known as the "sand bank," and will erect forty homes.

The citizens out in the Avondale, Elmwood and Idlewild districts in Center Township are all worked up over the prospect of a new central township school building and are whooping it up to get the project started this spring.

St. Paul's Evangelical Church has under contemplation the erection of a \$35,000 addition to the present church. Another nice spring prospect.

FT. WAYNE

BUILDERS' EXCHANGE
Member State A. B. C.

Max Irmscher.....President
Eph Dailey.....Secretary
825 Calhoun St.

Phone 2001

THE THING MOST NEEDED

Spring is but a few weeks off and with anything like favorable conditions there should be a reawakening in the building industry such as has not been seen for years. Locally there is every indication that building construction will be good for there has been considerable activity in the realty market, many lots having changed hands and the new owners have signified their intention of erecting new homes this season. The architects are busy with preliminary plans and even the contractors have been called upon to make preliminary estimates, to say nothing of the inquiries that are being made of the builders for data and ideas relative to building conditions, trend of prices, and the advisability of undertaking building operations.

Now, with things shaping themselves favorably, the most important feature for a realization of the consummation of this promising aspect still hinges on that old topic, that has been lingering around for some time, stability. The contractors are agreed on this; it is the big thing for which to strive.

Stability means prices which stand the test of good judgment and therefore stand as incentives to buy and sell freely without fear of such tremendous fluctuations that either buyer or seller has to be over cautious and playing with fire during the whole operation.

Stabilization for the builder means conditions under which he is ready to make commitments because of faith in

the future of the proposed development. Stabilization is the big factor in the building field that has been conspicuous by its absence for lo, these several years, back to the time when war conditions turned things topsy-turvy.

Building was checked woefully by the hectic turn of affairs and everyone engaged in the industry suffered. Since the tide has turned and is inclined to start back, to bring with it prosperity to those who build and those who are interested in seeing building go ahead, a little discretion, co-operation, and unselfishness will go a long way toward ushering in a stability that will assure a good volume of construction business in 1922 not only in Ft. Wayne but all over Indiana and the entire country at large.

STRONGER THAN EVER

Some people are due for an awakening.

It seems that the building public has passed the stage and is not only looking for the best possible prices, but, is expecting them. Experience of the past few months has convinced us of that fact and there is no getting away from the fact that competition is going to rule in future building operations.

In view of this fact it did seem that a certain man had failed to catch the spirit of the times when he said, "A fellow can't get anywhere now days for competition has taken the life out of things and the old prices we used to get are impossible."

There has been a readjustment, though some people refuse to acknowledge it. Further, there is going to be competition, close competition, and the fellow who gets the business will have to fight for it. If 1921 was to reward fighters, 1922 will doubly reward them, but fight it will be.

DIMENSION STUFF.

Fred Keller, retired contractor, is contemplating a new home on Organ ave. this spring.

General contractors Max Irmscher & Son, have begun work on remodeling the building on West Berry St., adjacent to the Old National Bank building. When completed the building will contain three store rooms on the ground floor with office suites above.

Clarence Brights, formerly of Lima, Ohio, has purchased some lots upon which he expects to erect a couple of houses this season.

A new modern duplex will arise on a Lawton Place site according to W. A. Stockmann, who recently secured title to the ground.

Charles Lambakis has in mind a new home at the corner of Florida Drive and Delaware avenue.

INDIANAPOLIS

Building Contractor's Association
Member State A. B. C.

F. W. Junglaus.....President
C. C. Pierson.....Secretary

MEETINGS.

Executive Committee meets second Tuesday each month.

General Contractors meet second Friday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

INDIANAPOLIS REPRESENTED AT BIG CONTRACTORS' GATHERING.

One of the big conventions of the contractors of the country was held at Memphis, Tenn., when building delegates gathered in the southern city to participate in the annual gathering of the National Association of Builders' Exchanges. The Building Contractors Association of Indianapolis was represented at the above affair by Secretary Chiron C. Pierson and Walter W. Wise.

LOCAL BUILDING GOING GOOD.

Activity at the city building inspection department at the city hall indicates that building operations are beginning to assume promising proportions. Though we are right in the midst of winter the applications for building permits grow every day. The mild weather that is prevailing is helping things along and seems to be encouraging those who had contemplated building to proceed with their projects.

Up to Saturday, February 18th, permits had been granted for new buildings the total estimated valuation of which was \$805,364. Of the permits granted, 98 were for frame residences, 55 were for sheds and stables, 4 were for brick buildings, 2 were for fire resistive construction, 8 were for concrete block construction, 2 were for tenements, and 42 were for miscellaneous repairs and alterations.

FIVE RULES TO BE FOLLOWED IF BUILDING PERMIT IS DESIRED.

Over at the city hall the new administration at the building department has issued the following requirements if a permit is to be granted:

1st. A complete ground plan must be submitted.

2nd. Architectural sketches of all parts must be turned in for inspection.

3rd. The size and length of all joists must be given.

4th. The thickness and material of all walls and foundations must be shown.

5th. The height of all walls must be shown.

Unless these rules are complied with no permit will be issued.

HEADQUARTERS ESTABLISHED BY STATE ASSOCIATION.

It may be interesting to the contractors of the state to learn that the State A. B. C., now has new headquarters at 326 People's Bank Building, Indianapolis. Heretofore the Association headquarters were located at 21 S. Meridian street, Mr. Owens, the field representative, maintaining a desk at the Building Contractors' Association quarters. When the latter association moved over on Market street, arrangements were made to secure a room for State A. B. C. officers and with Mr. Owens established in his private office the contractors from out over the state will find a hearty welcome should they drop in to transact business.

VISITORS AT A. B. C.'S INDIANAPOLIS HEADQUARTERS.

Among the visitors who called at State A. B. C.'s headquarters the past week were Guy Brill and O. A. Toelle, both of Terre Haute, and W. O. Fassnacht, South Bend.

KOKOMO CONTRACTORS TAKE STEPS TO ORGANIZE.

An invitation has been received at State A. B. C.'s headquarters from Kokomo inviting the officers, and such other members as can do so, to attend a meeting in that city Monday night, Feb. 27th, when an effort is to be made to organize a local A. B. C.'s organization. The Kokomo contractors have had the organization scheme in mind for some time but no definite steps have been taken up to this time.

E. E. Danner who is an ardent supporter of the State Association has been active in trying to interest the Kokomo contractors in organization and has at last succeeded in arousing them to action. Among the Indianapolis men who will go to the inaugural meeting will be Fred W. Junglaus, C. C. Pierson, Attorney Fenton and Field Representative J. H. Owens. Other cities who will probably be represented are Muncie, Peru, Marion and possibly Anderson.

THREE BIG PROJECTS AT INDIANAPOLIS AWARDED.

Three unusually large building construction contracts have just been let at Indianapolis indicating that those who are backing these projects are convinced that conditions are such that they warrant going ahead. This work totaled will represent an estimated valuation of \$1,700,000 upon which operations will be started within the next few weeks. The buildings and the successful contractors are: Parcel Post Station, \$800,000, to Hall Construction Co.; "Roosevelt" Office Building, \$500,000, to Bedford Stone & Construction Co., and the Murat Theater Annex, \$400,000, to the W. P. Junglaus Co.

CONTRACTORS BUSY FIGURING TWO MORE LARGE PROJECTS.

And still there is more. Indianapolis contractors are now figuring on two more big building projects, the new building for the Indianapolis Athletic Club and the 12 story Bank and Office Building for J. F. Wild & Co. The former is estimated to cost \$1,000,000 and the latter \$500,000. Bids for these structures are to be in March 1st.

MUNCIE

Associated Building Contractors
Member State A. B. C.

Chas. RowePresident
J. A. Gallivan.....Secretary

314 Main Street

GROWING BRIGHTER.

Things continue to develop right along that lend more and more promise to the outlook for building in the local field this coming spring and summer. Prospects never looked brighter for the Muncie building industry than they do at this time.

In the past week a number of good projects have come to light and reached the plans in progress stage. These will aggregate an estimated valuation of close to \$450,000. In addition to this work Muncie architects are getting out plans for several schools one of which will be erected in Delaware county, and three of them are contemplated for Blackford county.

CONTRACT FOR ANOTHER RELIGIOUS EDIFICE AWARDED.

The new Hebrew synagogue is expected to mature soon and will be quite an addition to the religious institutions of the city. Architects Houck and Smenner of Muncie prepared plans for this edifice, the contract for the construction of which has just been awarded to Lee M. Glass, one of the city's best known general contractors.

STATE NORMAL SCHOOL PLANS BEING REVISED.

Plans for the new Science Hall over at the State Normal School are being revised somewhat and will probably be sent out to the contractors for estimates about April 1st. This building is estimated to cost \$250,000.

NEW SCHOOL FOR MUNCIE.

The Board of Education has decided to erect the new Riverside Grade School this season and has selected Architect Cuno Kibele, Muncie, to prepare the plans.

FINE RESIDENCE CONTEMPLATED.

Quite an addition to Muncie's residential property is contemplated by E. Arthur Ball who is having plans prepared for a magnificent residence grounds. A Cleveland firm of architects is preparing the plans.

MUNCIE ARCHITECTS BUSY.

Architects Houck & Smenner of Muncie, are now engaged in preparing plans for a \$75,000 High School addition at Yorktown, and also a grade school for Washington township, Blackford county.

INDIANA CONSTRUCTION RECORDER

FOR
ARCHITECT
ENGINEER

Devoted to the
Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

VOL. III

INDIANAPOLIS, INDIANA, MARCH 4, 1922

No. 48

INDIANA CONSTRUCTION RECORDER
Published Every Saturday

DONALD CAMPBELL Publisher
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PHONE—MAIN 5673

TERMS OF SUBSCRIPTION

One Year\$6.00
Six Months\$4.00

.....Advertising Rates Furnished on Application.....

Advertising forms close Saturday of week pre-
ceding date of issue.

Entered as second class matter August 29, 1919,
at the Post Office at Indianapolis, Indiana, under
the Act of March 3, 1879.

News of the Week

The asterisk (*) prefix to an item indicates ad-
ditional information to report published in pre-
vious issue.

INDIANAPOLIS.

*School of Commerce & Finance Bldg.: 3 sty.
& bas. 185x75. \$350,000. "Indiana University,"
Bloomington, Ind. Archt., Robert Frost Dag-
gett, 959 Lemcke Annex, Indianapolis. Owner,
Indiana University, Board of Trustees, John W.
Cravens, Secy., W. L. Bryan, Prest. Receiving
bids to close April 6th. Brick. Limestone trim,
structural terra cotta, hollow tile, slate and comp.
roofing, terrazzo and marble work.

Consolidated School: Liberty Township, Shelby
County, Ind. Archt., J. Edwin Kopf and Wool-
ling, 402 Indiana Pythian Bldg., Indpls. Owner,
Omer E. Perkins, trustee, Shelbyville, Ind., R. R.
No. 8. Archt. preparing preliminary plans. De-
tails later.

*Grade School, \$91,000, and Physical Training
and Agricultural Bldg.: \$45,000. Shelbyville, Ind.
Archt., J. Edwin Kopf and Woolling, Indiana
Pythian Bldg., Indpls. Owner, Board of School
Commissioners, D. Wray DePrez, Prest. Bayard
G. Keeney, Secy., Shelbyville. Owner taking bids
to close March 27th at 2 P. M. (See legal ad-
vertising.)

Parochial School: 2 sty. & bas. About 100
x 90. Prospect and Hunter Sts. Archt., Adolph
Scherrer, Indiana Trust Bldg. Owner, St. Pat-
rick's R. C. Church, Rev. John P. O'Connell, 950
Prospect St. Preliminary plans in progress.
Brick.

Gymnasium and Class Rooms: (Will contain

bowling alleys, domestic science and manual
training depts.) 2 sty. & bas. Noblesville, Ind.
Archt., McGuire & Shook, 320 Indiana Pythian
Bldg., Indianapolis. Owner, Board of Education,
H. L. Finley, Secy., C. B. Jenkins, Prest.,
Noblesville. Archt. selected. Details not de-
cided. Brick.

Fire Station: \$40,000. Broad Ripple, Ind. Own-
er, Town of Broad Ripple, Fred T. Brown, clerk,
5403 Broadway, Indianapolis. Plans in prog-
ress. Brick.

Double Residence: 2 sty. & bas. 59th and
Broadway. Archt., private plans. Owner, Wil-
liam J. Kleinhenn, 5644 Broadway. Plans in
progress. Mature this spring.

Residence & Garage: 2 sty. & bas. (8 rooms).
Crawfordsville, Ind. Archt., Merritt Harrison,
500 Board of Trade Bldg., Indpls. Owner, Law-
rence E. DeVore, Crawfordsville. Preliminary
plans in progress. Brick veneer.

Residence & Garage: 2 sty. & bas. (8 rooms).
Hampton Drive. Archt., Merritt Harrison, 500
Board of Trade Bldg. Owner, Dr. Harry A.
Vanosdal, 314 Board of Trade Bldg. Preliminary
plans. Details undecided.

Residence: (rem. & alt.) 2 sty. & bas. Spen-
cer, Ind. Archt., Merritt Harrison, 500 Board
of Trade Bldg., Indpls. Owner, D. W. Beach,
Spencer, Indiana. Plans in progress.

*School: (Pumping outfit & toilet system).
Coatsville, Ind. Archt., Layton Allen, Lombard
Bldg., Indpls. Owner, John Masten, trustee,
Coatsville. Owner taking bids to close March
25 at 2:30 P. M.

Concrete Reservoir: Liberty, Ind. Engineer,
C. C. Huffine, 721 No. Capitol Ave. Owner,
Town of Liberty, % Town Clerk, Liberty, Ind.
Will adv. for bids soon. Concrete.

Contracts Awarded.

*Schools (1) 12 room Ward Bldg., \$87,500 and
(1) 10 room addition to ward bldg., \$77,000.
Huntington, Ind. Archt., Elmer E. Dunlap &
Co., State Life Bldg., Indpls. (1st bldg.) Ever-
ett Brown, Bluffton, Ind. Archt. on 2nd bldg.
Owner, Board of Education, Marion B. Stultz,
Thad Clark, Oscar E. Bradley, Huntington. Gen-
eral contract awarded to William L. Pierce, El-
wood, Ind., for both buildings.

*Residence & Garage: \$22,000. 2 sty. & bas.
33d and Meridian Sts. Archt., Chas. E. Bacon,
605 I. O. O. F. Bldg. Owner, Ratti-Fox, 234 So.
Meridian St. General contract let to the Service
Construction Co., P. O. Box No. 444. Heating
and plumbing let to Clarke Bros., East Ohio St.

*Club House (rem.) \$15,000. No. Meridian
St. Archt., Chas. Byfield, 923 Peoples Bank
Bldg. Owner, The Marion Club, No. Meridian
St. General contract let to John R. Curry
Constr. Co., Lombard Bldg.

Building Permits.

Residence: \$12,000. 48 Audubon Road. Owner,
Bertram Day, Prest., Crescent Life Insurance
Co. General contract let to J. H. Moorman, at
site. Brick veneer.

Residence: \$12,000. 1337 West 26th St. Own-

er, Chas. Brown, % Contractor. General con-
tract let to John Adamson, 1337 W. 26th St.
Brick veneer.

Residence: \$9,400. 3114-16 College Ave. Own-
er, Harry Rasmussen, % Indpls. Electric Supply
Co., So. Meridian St. General contract let to
John Diederick, 3434 Carrollton Ave.

Double Residence: \$9,000. Owner, B. R. Brun-
son, 4355 Carrollton Ave. General contract let
to J. Rosenberger, % Owner.

ELKHART.

Hotel: 2 sty. & bas. 150x100. Lake Manitou,
Rochester, Ind. Archt., R. L. Simmons, Beards-
ley Block, Elkhart. Owner, C. H. Shank, Roch-
ester, Ind. Plans in progress. Stucco and frame,
built-up roof, vapor heat, private water and sew-
erage system.

EVANSVILLE.

School (Township) \$20,000. Haubstadt, Ind.
Gibson County, Johnson Township. Archt., Clif-
ford Shopbell & Co., Furniture Bldg., Evans-
ville. Owner, Fred C. May, Trustee, Haubstadt,
Ind. Plans in progress. Brick.

*Swimming Pool: \$10,000. 45x90. Bath house,
30x62. Fulton Ave. and Keller St. Archt., Al-
fred E. Neucks, 515-16 Woods Bldg. Owner,
Board of Park Commissioners. Owner taking
bids to close March 7th. Brick, concrete and
stucco.

Laboratory (Domestic Science). Archt., Russ &
Karges, Furniture Bldg. Owner, Evansville Col-
lege. Plans in progress.

Contracts Awarded.

Factory (add.) \$8,000. 2 sty. 36x57. Archt.,
private plans. Owner, Never Split Seat Co.,
George A. Cunningham, Prest. General contract
let to Jacob Bippus & Sons.

FT. WAYNE.

*Factory: (1st unit). Owner, The International
Harvester Co., Chicago, Ill. Plans completed.
Expect to start work April 1st on 1st unit. Brk.

*Apartment Bldg.: (add.) \$100,000. Archt.,
L. W. Larrimore, % City & Suburban Realty
Co., Utility Bldg. Owner, The Progressive In-
vestment Co., % City & Suburban Realty Co.
Plans in progress. Owner will build by day
labor and buy material.

*Church: \$50,000. 1 sty. & bas. 50x70. Green-
lawn Ave. Owner, Greenlawn Congregation,
Edw. L. Howe, in charge, 635 Archer St. Owner
will build by day labor. Stucco over hollow
tile.

Residence & Garage: \$20,000. Harrison Boule-
vard and Cornell Circle. Owner, Dr. N. C. Ross,
Prest., Ross College of Chiropractic. Site pur-
chased. Will build this spring. Area, 76x205.

Office Bldg.: 2 sty. 90x140. Calhoun St. Archt.,
private plans. Owner, Dr. Edward Kruse, Berry
and Clinton Sts. Plans in progress. Brick.

Stores (2) rem. from residence: 1213 Wells St.

(Continued on Page 7)



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Indianapolis

Owner, Gust A. Strieby, 1213 Wells St. Start work soon. \$4,000.

Residence: 1232 Calhoun St. Owner, O. W. Heim. Start work shortly. 2 sty. & bas. \$5,600.

Residence: 2 sty. & bas. \$8,000. Kinnaird Ave. near Hoagland. Owner, Clark V. Miller, % C. Miller & Sons. Site purchased. Will build this spring.

Residence: 2 sty. & bas. \$8,000. Archt. and owner, C. E. Kendrick, 2944 Broadway. Plans in progress.

Contracts Awarded.

*Office Bldg. & Stores: 2 sty. & bas. 70x40. "Elmore Bldg." E. Berry St. Archt., A. M. Strauss, Shoaff Bldg. Owner, Edmund H. Seelberg. General contract let to Oscar Springer, and Henry J. Kaiser. Pressed brick.

Residence: Indiana Ave. So. of Rudisill Blvd. Owner, Nelson Ritchey, % General Electric Co. Excavated.

RICHMOND.

*Custodial Bldg.: \$17,000. 1 sty. 2 miles W. of Centerville. Archt., C. E. Werking & Son, Richmond. Owner, W. H. Brooks, Auditor, Court House, Richmond. Owner taking bids to close March 11th at 11 A. M.

*School: \$50,000. Whitewater, Ind. Archt., C. E. Werking & Son, Richmond. Owner, Wm. J. Curtis, trustee, Whitewater, Ind. Bids rejected. In abeyance.

SOUTH BEND.

*Masonic Cathedral: \$750,000. Archt., R. G. Schmid, 154 West Randolph St., Chicago, Ill. Owner, Ancient Accepted Order of Scottish Rite, Abe Frank, South Bend. Plans nearing completion. Expect to be ready for bids soon. Brick, stone, reinf. concrete floor and roof constr.

*Club House: \$500,000. 3 sty. & bas. Jefferson St. Archt., Freyermuth & Maurer, 654 Farmers Trust Bldg. Owner, Knights of Columbus, L. W. McCaun, 338 No. Michigan. Plans about completed. Mature this spring.

TERRE HAUTE.

Boys' Dormitory: \$50,000. 2 sty. & bas. 40x78. Allendale, Terre Haute. Archt., Shourds-Stoner Co., 511 Tribune Bldg. Owner, Gibault School

for Boys, Rev. Father Gorman, Allendale, Terre Haute. Archt. taking bids to close at once. Brk.

MISCELLANEOUS CITIES.

*Elkhart: Hospital (20 rooms, rem. from res.) Coldwater, Mich. Archt., A. H. Elwood & Son, Elkhart. Owner, Dr. Robert L. Wade, Fremont, Ind. Owner taking bids.

*Veedersburg: High school (add.) Archt., Liese & Ludwick, 618 Temple Bldg., Danville, Ill. Owner, Board of Education, R. D. Gookins, Prest., E. W. Kirk, Secy. Owner receiving bids to close March 20th at 2 P. M. 1 sty. 65x80 ft., to contain a general assembly hall, auditorium and gymnasium, with a seating capacity of approximately 1,300 persons; also a two-story bldg. 22x40 ft., the first story to contain dressing rooms, locker rooms and shower baths for boys and girls; the second story to contain two class rooms and a stage, being a brick building having steel joists and steel trusses and covered with a composition roof, the estimated cost of which is \$20,000.

*Valparaiso: Hotel, 6 sty. & bas. Archt. and Builder, Chas. Lembke. Owner, Valparaiso Hotel Co. Archt. taking bids on material. Brick.

Contracts Awarded.

*Connersville: School, \$29,930.60. 1 sty. 67 x 73. "Abington Township" near Brownsville, Ind. Archt., Karl P. Henkel, Heinemann Bldg., Connersville. Owner, E. J. Wright, trustee, Brownsville, Ind., R. F. D. General contract let to The Bowyer Co., Newcastle, Ind. Htg. & Plmg. let to J. L. Dawes, Connersville. Electrical work let to W. R. Cooper, Connersville.

*Frankfort: Hospital, \$90,000. Archt., Rodney Leonard, Peoples Life Bldg. Owner, Board of Trustees, Clinton County Hospital, Frankfort. General contract let to John Paden, Frankfort. Heating let to Hayes Bros. Co., Indpls. Plumbing let to Lane-Pyke & Werkhoff Co., Lafayette, Ind. Electr. work let to Scott & Son, Kokomo, Ind.

*Greensburg: Newspaper Bldg., rem. from bank. Owner, The Greensburg Daily News. General contract let to McCormick & Co. Constr. Co.

*Portland: Armory, 1 & 2 sty. 100x120. Archt., Nicol, Scholer & Hoffman, Lafayette, Ind. Owner, Morris Weller, Portland. Lessee, Indiana National Guard. General contract let to Jesse Poling, Portland.

Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field.

Copy should reach us, at the latest, Wednesday of the week of publication.

SCHOOL HOUSES

NOTICE TO CONTRACTORS.

Notice is hereby given, that the undersigned, Board of School Commissioners, School City of Shelbyville, Shelby County, Indiana, will until the hour of two o'clock P. M., Monday, March 27th, 1922, at the office of the said Board, in the city of Shelbyville, Indiana, receive sealed bids for the erection, construction and completion of a Grade School; for the installation of a heating and ventilating system; a plumbing system, a sewer system; and an electric lighting system; located on the school property at Franklin and Pike Streets, Shelbyville, Indiana; also for the erection, construction and completion of a Physical Training and Agricultural Building; for the installation of a heating system; a plumbing system; a sewer system and an electric lighting system; located on the present high school grounds and all in accordance with the drawings and specifications adopted by the said Board, and as prepared by J. Edwin Kopf and Woolling, Architects and Engineers, Indiana Pythian Building, Indianapolis, Indiana, and now on file at the office of the said Board and the said Architects and Engineers, as well as the office of the State Board of Accounts, Indianapolis, Indiana.

Bidders desiring duplicate copies of the drawings and specifications for their personal use may obtain same by depositing \$25.00 for the general construction documents and \$15.00 for the documents of each of the other branches; which deposits will be refunded if the drawings and specifications are returned in good condition on or before the time above set for receiving bids.

All bids must be on forms prescribed by the State Board of Accounts and must be accompanied by a certified check of not less than three

(Continued on Page 8)

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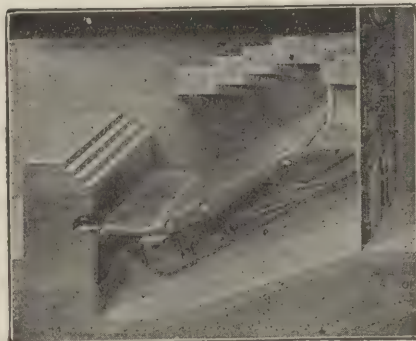
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We make working plans and specifications
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THE MOUAT-SQUIRES CO.
CLEVELAND, OHIO

Our representative travels Indiana regularly

percent of the gross bid submitted, payable to the Board of School Commissioners, School City of Shelbyville, Indiana, and shall be forfeited to the said School City as agreed and liquidated damages, in the event that the successful bidder fails to enter into a proper contract for the work bid upon and to give the proper surety bond, within ten days from the acceptance of such bid. Checks of the unsuccessful bidders will be returned, and upon his executing contract and giving bond the check of the successful bidder will be returned.

Within ten days from the acceptance of bids, the successful bidders will be required to enter into a written contract to construct and complete the work covered by the bids, including the furnishing of all material and the performing of all work in conformity with the said drawings and specifications on file in the said Boards Office, and also to furnish at the same time, proper bonds with approved security.

All branches and the whole of the work herein mentioned must be completed on or before September 15th, 1922. The estimated cost of the Grade School is \$91,000; the estimated cost of the Physical Training and Agricultural Building is \$45,000.

The Board reserves the right to reject any and all bids.

Dated this 2nd day of March, 1922.

D. WRAY DE PREZ, President,
ELIZABETH DAVIS, Treasurer,
BAYARD G. KEENEY, Secretary,
Board of School Commissioners,
School City of Shelbyville, Ind.

Mar. 4-11-18.

SCHOOL HOUSE

NOTICE TO CONTRACTORS.

Notice is hereby given, That the undersigned, Sherman Rothermel, Trustee of Green School Township, Hancock County, Indiana, and the Advisory Board of said Township, will, until the hour of 1:30 P. M. on Saturday, March 18th, 1922, at the office of said Trustee in the town of Eden, in Green Township, Hancock County, Indiana, receive sealed bids for the erection, construction and completion of a consolidated school building; also for the construction and installation of a heating and ventilating system; also for the construction and installation of a plumbing and water supply system; also for the construction and installation of a sewerage disposal system; also for the construction and installation of an electrical lighting system, all for said building; all in accordance with the drawings and specifications therefore adopted by said Trustee, and as prepared by J. Edwin Kopf and Woolling, Architects and Engineers, Indiana Pythian Building, Indianapolis, Indiana, and now on file at the offices of said Trustee and of said Architects, and at the office of the State Board of Accounts, at the State House, Indianapolis, Indiana. All bids therefor will be opened and publicly read at 1:30 P. M. on March 18th, 1922, at said office of said Trustee in the presence of said Advisory Board. Said building and said systems connected therewith are to be constructed on the school property of said Township at Eden in said Township, on the real estate known as the Eden School grounds.

Bidders desiring duplicate copies of the drawings and specifications for their personal use may obtain same by depositing \$25.00 for the general construction documents and \$10.00 for the documents for each of the other branches; which deposits will be refunded if the drawings

(Continued on Page 9)

HATFIELD ELECTRIC COMPANY

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GEO. W. FIFE EQUIPMENT CO.

1403 MERCHANTS BANK BUILDING
PHONE MAIN 6360
INDIANAPOLIS, IND.

and specifications are returned in good condition on or before the time above set for receiving bids.

All bids must be on forms prescribed by the State Board of Accounts and must be accompanied by a certified check of not less than three per cent of the gross bid submitted, payable to the Trustee of Green School Township, Hancock County, Indiana, and the said check of the accepted bidder shall be forfeited to the said Township as agreed and liquidated damages, in the event that the accepted bidder fails to enter into a proper contract for the work bid upon and to give the proper approved bond, within ten days from the acceptance of such bid. Checks of the unsuccessful bidders will be returned.

Within ten days from the acceptance of this bid, the accepted bidder will be required to enter into a written contract to construct and complete the work covered by his bid, including the furnishing of all material and the performing of all work in conformity with the said drawings and specifications, and also to furnish at the same time, a proper bond with approved security.

All branches and the whole of the work herein mentioned must be completed within six months from the date of signing the contracts.

Each bidder shall file with his bid the statutory affidavit required by Sec. 8969, Burns' Annotated Indiana Statutes 1914, and the successful bidder before entering into contract shall present a certificate from the industrial board showing that he has complied with Sec. 68 of the Indiana Workmen's Compensation Act.

The said School Trustee reserves the right to reject any and all bids and to take time to investigate the bids and the qualifications of the bidders. No contract will be awarded to any bidder unless said bid shall be approved in all things by the Indiana State Board of Tax Commissioners.

The estimated cost of the work is \$68,000.00. Dated this 21st day of February, 1922.

SHERMAN ROTHERMEL,

Trustee of Green School Township, Hancock County, Indiana. Office at Eden, Hancock County, Indiana. Post Office Address, R. R. 5, Greenfield, Indiana.
Feb. 25-Mar. 4-11.

HOSPITAL.

NOTICE TO CONTRACTORS.

Notice is hereby given that the Board of Trustees of the Putnam County, Indiana, Public Hospital, will, until the hour of two o'clock, P. M., on Wednesday, the twenty-second (22d) day of March, 1922, at the office of the Auditor of said Putnam County, at Greencastle, Indiana, receive sealed bids, and then to be opened for a general contract for the furnishing of all material and labor for the erection, construction and completion of the Putnam County, Indiana, Public Hospital, at Greencastle, Indiana, including heating, plumbing, elevator equipment and lighting system for said hospital building, all of which is to be in accordance with plans and specifications therefor which have been approved by the State Board of Charities and Board of Accounts of the State of Indiana, which said plans and specifications are on file in the office of the Auditor of Putnam County, Indiana, and copies of said plans and specifications for all said construction and work may be had at the office of D. A. Bohlen & Son, architects, 1001 Majestic Building, Indianapolis, Indiana, and may also be inspected in the office of the Auditor of said Putnam County, at Greencastle, Indiana.

All bids and proposals shall be on forms prescribed by the State Board of Accounts. These proposals must be accompanied by an approved surety company bond to the full amount of the maximum bid. Said bond is to protect the owners, the Hospital Board and Putnam County, Indiana, in case the contractor fails to enter into contract within five (5) days after the awarding of the contract, and also to protect the owners in the fulfillment of all parts of the contract, according to plans and specifications and the time within which said building shall be completed.

Each contractor receiving plans and specifications from the architect will be required to deposit as security for their return in good order the sum of twenty dollars (\$20).

The estimated cost of the construction and completion of said hospital building in accordance with the plans and specifications therefor, is eighty-five thousand dollars (\$85,000).

Before the closing of a contract with any contractor for the construction and completion of

said building the Board will require that such contractor furnish to the Board a certificate from the Industrial Board of Indiana showing that such contractor has complied with Section 68 of the Workmen's Compensation Act of Indiana.

And such contract when entered into and the bond to be furnished by said contractor, shall contain a condition and agreement to empower the said Board of Trustees to withhold from the contract price sums sufficient with which to pay all claims of laborers, material men and sub-contractors, as well as claims for labor and material furnished to contractors and to pay off such claims out of such fund as provided by Acts of the General Assembly of the State of Indiana.

Payment to the contractor upon estimates made as the work progresses and final payment shall be made as stated and fixed in the specifications for said work.

The Board reserves the right, and all contractors bidding for said work must bid with the understanding and condition, that the Board may reject any and all bids received and reserve the right to determine for themselves what bid may be accepted for said work and what bids may be rejected.

ANDREW H. HANNA,
WILLIAM A. KREIGH,
DAVID V. HOSTETTER,
and
JESSE McCOY.

Board of Trustees of Putnam County, Indiana,
Public Hospital.

James & Allee, Greencastle, Indiana, Attorneys
for Board of Hospital Trustees.
Feb. 4-11-18-25, March 4-11.

CHURCH

NOTICE TO CONTRACTORS.

Sealed proposals for the construction of the St. Lawrence Roman Catholic Church will be received by the Rev. Alfred Herman, O. F. M., Pastor, at his Pastorate located at 1916 Meharry St., Lafayette, Ind., on Tuesday, March 14th, 1922, up to 10 o'clock A. M. Plans can be obtained at the office of Reidel & Zink, Architects, Lafayette, Indiana.

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Official Paper

Indiana Society of Architects

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WORTHY OF A HEARTY RESPONSE FROM INDIANA ARCHITECTS.

A move that is worthy of more than passing notice, and one in which every architect should heartily co-operate, has been started by the American Institute of Architects in an endeavor to make up a complete file of the practicing architects of the country.

In announcing the above intention the Institute has sent out a letter enclosing a form card which the architects are requested to fill in and return at once to the Executive Secretary, E. C. Kemper, The Octagon House, Washington, D. C. The card reads as follows:

For the Confidential Records of
The American Institute of Architects.
NAME -----
Address -----
Architectural Work -----
(Indicate specialty or write "general")
Education -----
(If architectural graduate, name school,
if not give office training.)
Designer or head draughtsman -----

(Firm) ----- (Position.) -----
The letter proper says: "The Institute intends to do more than keep pace with the coming revival in the building industry. It intends to render to the architectural profession regardless of Institute affiliation, to the public, and to the building industry, the fullest measure of service within its power.

"To do this effectively it must know first who are the practicing architects in the United States.

"The best way to get this information is from the architects themselves, so this communication is being sent to the architects in each state, as their names and addresses appear on our present records.

"Some say this plan of establishing a brief but authoritative record of the whole architectural profession will fail, because the Architects will not return the information cards.

"We say that it will succeed because we believe that the Architect of today is keenly aware of his opportunities—a better business man than he was ten years ago.

"Fill in the card now, it will require only a moment of your time. Mail it in the envelope enclosed herewith, and help give us the 100% return we are counting upon from your state.

"Your response will be appreciated, and treated as confidential."

The Institute has of late years shown a most commendable desire to be of service to the building industry and has inaugurated a number of ideas that have been taken up by other building organizations, endorsed and carried through to successful and beneficial operation. This latest move is just another evidence that the Institute is on the alert to be of service and promote the progressive policy that has been adopted. Regardless of how the architects in the other states respond to this latest call of the Institute, it is to be hoped that the Indiana Architects will appreciate the value of a complete architectural professional file, and that, when the returns are all in, the data on Indiana will show that the architects of this state had enough interest in their profession to have exerted the required effort to make the Indiana file complete in its entirety.

SUGGESTIONS SOUGHT FROM INDIANA SOCIETY OF ARCHITECTS.

A communication has been sent to the Indiana Society of Architects by the Building Code Committee of the Department of Commerce, Washington, D. C., asking for an expression as to what fundamental building laws the Society considers in need of standardization, it being the desire of the Committee, in so far as practical, to devote its attention first to those requirements in which there appears to be the greatest demand for revision.

The Building Code Committee of the Department of Commerce is at present preparing minimum specifications for construction of small dwellings and expects to issue a report offering a set of tentative recommendations upon that subject within the next few weeks. Later, the Committee, through the co-operation of its Sub-Committee on Plumbing, will issue recommendations intended to reduce the cost of plumbing equipment in such houses.

Further, this committee plans to take under consideration other building code regulations, which, because of variations in different cities, breed confusion and work hardships. The Committee will endeavor to unify and standardize such laws, and, so far as possible, make them conform to safe engineering practice and approved economical building design.

This inquiry that has come to the I. S. A., is but one of similar communications that have been sent out to numerous technical and building industry organizations and the future work of the Building Code Committee of the Dept. of Commerce will be largely influenced by the suggestions that it hopes to receive from these organizations.

CITY ASSOCIATION LAUNCHED BY EVANSVILLE ARCHITECTS.

Evansville architects have formed an association through which they hope to further the interests of the profession by discussions and lectures on subjects of interest, both to members of the profession and to the public.

Various questions will be brought before meetings of the association. Innovations in the profession will be discussed and explained. Education of the public to the value of architectural guidance in building operations will be carried on through the association.

The membership, in addition to being open to all local architects, has been extended to include draughtsmen the purpose being to create a greater interest in the profession and a better understanding among those of the local architectural fraternity.

The new association will take an active interest in civic improvement plans, the members being of the opinion that more heed and consideration will be given suggestions coming from an association rather than from the architects individually.

PRESENCE OF ALL BOARD MEMBERS EARNESTLY DESIRED.

There will be a meeting of the Board of Directors of the Indiana Society of Architects at the Lincoln Hotel, Indianapolis, Saturday, March 11th, and, since the February meeting was poorly attended, it is the desire of President Cannon that the other members of the board will keep the approaching meeting in mind and make it a point to attend as there are some important matters to be taken up for consideration. The meeting will be preceded by a luncheon at 12:30 P. M.



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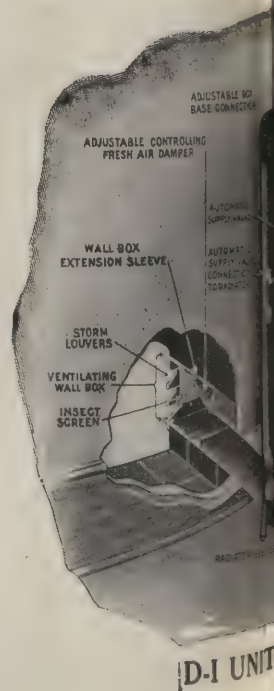
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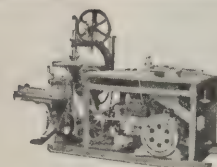
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Official Paper

Building Trades Employers Ass'n

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MEETING NIGHTS

General meeting every third Tuesday evening.
General contractors meet second and fourth Monday evening.
Master plumbers every Thursday evening.

SURELY THEY MUST HAVE BEEN HYPNOTIZED.

Some members of associations, through carelessness and indifference to the goings on of their association, are continually missing the good things that crop out. Such a situation developed at Hammond the other night, and since Feb. 21st was in such close proximity to the "Great Truth Day" we, like George Washington "can not tell a lie," hence, we are here to say that our general meeting on Tuesday evening, Feb. 21st, was one of the most delightful and instructive the Building Trades Employers' Association of the Calumet District has ever held.

Among our visitors were Mr. O. C. Holtz, genl. mgr. of the Builders and Manufacturers Mutual Casualty Co., and M. Rosenthal, prominent Illinois contractor, both of Chicago, who highly entertained those present. The former made a splendid talk on Compensation Insurance, analyzing this subject and concluding with an illustration of the remarkable growth, in a few years, of the B. & M., the "contractors' own company,"—using a new map he has invented to bring out the various angles of the business and the long strides forward that his company has made. The facts that he had at his command and his convincing delivery made a most favorable impression upon his auditors.

Following Mr. Holtz, Mr. Rosenthal

took the floor and in well chosen remarks talked to the Calumet contractors as only a contractor can talk who knows the building game, rather, business, from A to Z. There was a lunch scheduled for the evening, but the local contractors became so interested in Mr. Rosenthal's talk that "they cleon forgot the 'eats'" and had Alderman George Wolf not arrived when he did, late, to announce that he was mighty hungry the food would probably still be out in the kitchen waiting to be passed around, and, Mr. Rosenthal might still have been talking, so intent were the contractors upon listening to him.

Both Mr. Holtz and Mr. Rosenthal certainly gave the Calumet contractors a lot of food for thought and now we are all looking forward to the time when they can escape from the Chicago whirlpool again for a time and drop in on us, there is always time and room in our meetings for them.

UPSET FOR THE MOMENT.

What a shame the sun was not shining and the movie man with his crank camera was not around the other night. Had it all occurred up in the "land of the midnight sun" Hammond might have broken in on the screen in the "News of the Week." To satisfy your curiosity let us inform you that what we started out to say was that a powder house of the Consumers Co., of Chicago, located over in Illinois not far from our bailiwick, containing about a ton of dynamite, let go with a terrific detonation that set the old earth to rocking in this section until our people all thought an earthquake had occurred. Like the

breezes that spring up, coming from nowhere and going nowhere in particular a gust of rumors broke out to fly thick and fast. These ranged all the way from hints at a Labor upheaval at Chicago to the belief that the Standard Oil tanks at Whiting had blown up, to say nothing of the earthquake scare. There was a wild time for a while, and just the semblance of a panic as people rushed frantically from their homes to the accompaniment of a roar like distant thunder, a roar that reverberated in lessening echoes. Some wag suggested that the "white mule" that is said to lurk around had broken out and was trying out his hoofs to see if he still retained his kick.

ISN'T IT FUNNY THE DIFFERENCE A FEW MILES MAKE?

Consistency, thou art a jewel, at least we are led to that opinion after the news that has reached us from Chicago. Over there some of the union men are applying for work on non-union jobs, but down here in the Calumet District they refuse to be employed under like conditions.

ALL IN THE VIEWPOINT.

It is reported that the carpenters are taking a referendum vote to decide whether they will or will not accept the \$1.00 per hour wage that has been offered them. It looks to a man up a tree as if \$1.00 per hour as a reality and plenty of work would be better than a theoretical wage at a higher figure and no employment.

E. E. COLE.

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ORGANIZATION AND CURRENT NEWS

EVANSVILLE

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Office of Secretary, 710 Old State Bank

"ATTA-BOY."

Optimism continues to shed its radiant glow about the city building inspection department at the City Hall and the chief dispenser of encouragement and cheer that is handed out is chief inspector Ed. C. Kerth, a sample of which runs like this:

"The prospect for local building construction is mighty bright and with the return of seasonable building weather I look for much activity, especially in the way of new home building.

"To Feb. 25 this department has issued 128 permits since Jan. 1st, a volume of business that will represent the expenditure of close to \$200,000. Of this amount \$87,050 will go for twenty-nine new homes. Last year for the same period there were but sixteen permits issued for an estimated valuation of \$37,800, a gain this year, so far, of \$49,250 in new house construction.

CITY PLANNERS BUSY.

The experts employed by the local city planning commission have plunged into their work with zest and have taken up as the first item of importance the consideration of those thoroughfares, to be known as "major streets," that have a big influence in the proper development of the city. The aim of the commission is to get away from the one main street and distribute business over a wider area. They have named eight streets as having strategic advantages for the distribution of traffic throughout the city.

Speaking of the problems as presented by the present layout of Evansville, the commission experts from St. Louis said:

"Evansville has a well arranged street system, and few recommendations are necessary to get traffic to moving in accordance with economical and scientific principles."

Asserting that city planning is not the so-called city beautiful movement, these city planners said: "It is a movement that is purely economical. Indirectly it produces the city beautiful by creating the properly arranged city.

"A one-street town is an expensive one in which to live, because the value of property is always controlled by the traffic that passes it." They reasoned that property on the main street, or the important business street, is certain to

mount higher and higher in value, until rental rates are exorbitant.

One remedy exists for the relief of high rentals in the business district and that is the distribution of traffic over the business district so that no one street will become the one main street of the city.

CHIPS AND SHAVINGS

Jacob Bippus and Son have secured the contract for the construction of a 2 story, 36x90 ft. addition to the Never-Split-Seat Co. factory.

Gottman-Weber Co., heating and ventilating engineers and contractors, have taken over the building at 23 Main st., and removed their offices to that location.

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Phone 2001

MORE SCHOOL WORK PROMISED.

"Half a million for new school construction for Ft. Wayne in 1922" is the program upon which the local school board is now working, seeking a ways and means for putting same into operation. Guess this will help some to boost our 1922 building total.

The program contemplates a new 16-room building to replace the present McCulloch school; an athletic field and stadium, in connection with the new south side high school; a 10-room addition to the South Wayne school, gymnasiums at the Nebraska and Hoagland schools, portables at Wayne Trace and Anthony boulevard, and new heating plants for the Miner and Clay schools.

Plans for some of the work have been completed and it is probable that the board will soon advertise for bids for the construction work. Naturally the awarding of the new heating plants at the schools already constructed will be deferred till just before school closes next summer.

NO LET UP IN HOME BUILDING.

The vanguard of spring has approached, in fact is already at Ft. Wayne despite the calendar.

Great activity in the building of residences is being exhibited at the present time in almost every section of the city. Although there is a wide variation in the amount of this activity in different sections of the city, due chiefly to the degree to which the district has already

been built up, the activity all down the line is very marked and especially worthy of comment, after the comparatively small amount of building done in recent years.

Thirteen houses are in varying stages of completion or have just recently been finished in a small section of the city lying to the right and to the left of State boulevard, beyond the state school. Over in the southern part of the city in the vicinity of Oakdale Terrace there are twenty-six new residences in course of construction or just completed.

Everything points to a good volume of home building locally for 1922.

DIMENSION STUFF.

Architect C. W. Kendrick, formerly of Ft. Wayne, but more recently of Gary, has returned to this city.

Indianapolis, because of her size has the advantage of the other Indiana cities when it comes to the volume of building construction business transacted, but when it comes to the cities of similar size, Ft. Wayne has been holding her own right along, month after month, and during the year hopes to step out in the front rank of the "Little Big Four" from time to time. Prospects look good for her to do it.

If the talk about the belt line railway develops into a reality it should mean much for future industrial building in this section. The representatives of the railroads entering Ft. Wayne have had the matter up for consideration and the hope is expressed that the work will be started this year.

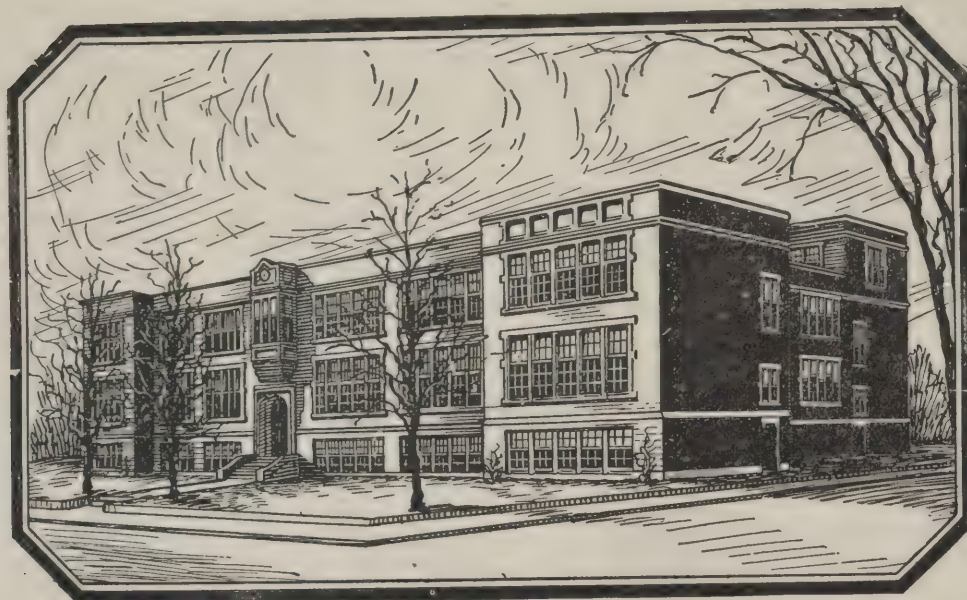
Rumor has it that the International Harvester Co. will begin construction operations soon on its contemplated new truck plant at Ft. Wayne.

Contractors Springer and Kaiser are soon to begin work on the erection of a new store and office building on East Berry st., opposite the post office. The building will be two stories high, 40 ft. x 70 ft. A. M. Strauss was the architect for owner, Edmund H. Seelberg.

Plans for the new eight story hotel and theater to be erected by the Consolidated Realty and Theatres Corporation, Chicago, on East Wayne st., will soon be in the hands of contractors for bids and it is hoped to get the work under way early this spring.

Max Irmscher & Son, general contractors, will shortly start building operations on East Washington st., next to the Palace Theatre, where W. C. Quimby, will erect a two story store and office building, 40 ft. x 110 ft.

And there is more coming.



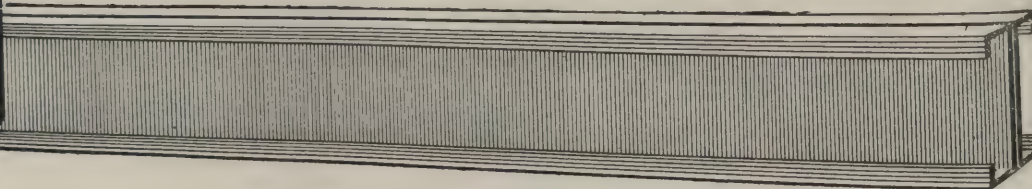
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FOR
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Vol. III

INDIANAPOLIS, INDIANA, MARCH 11, 1922

No. 49

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Entered as second class matter August 29, 1919, at the Post Office at Indianapolis, Indiana, under the Act of March 3, 1879.

News of the Week

The asterisk (*) prefix to an item indicates additional information to report published in previous issue.

INDIANAPOLIS.

Fairgrounds (Building Program) \$1,000,000. Indiana State Fairgrounds. Archt., J. Edwin Kopf and Woolling, 402 Indiana Pythian Bldg. Owner, Indiana State Board of Agriculture, State House, Indpls. Archt. selected. One million dollars appropriated for buildings this year. Details not decided. Brick and concrete.

***School** (Joint High and Elementary). 2 sty. & bas. Moral Township, Shelby county, Ind. Archt., J. Edwin Kopf and Woolling, 402 Indiana Pythian Bldg., Indpls. Owner, Harry Barrett, trustee, London, Ind., Rural Route No. 1. Owner receiving bids to close April 3d at 2 o'clock p. m.

***Office Building:** \$860,000. 7 sty. & bas. 88x120. Meridian and Circle. Archt., Rubush & Hunter, American Central Life Bldg. Owner, Guarantee Building Corp., Albert E. Metzger, Pres., Fletcher Savings & Trust Co., Alex Metzger, V. P., % Indiana Investment & Securities Co., George A. Kuhn, Secy., % Marion Title & Guarantee Co. Archt. receiving bids to close March 15th. Bids on reinforced concrete or structural steel construction.

Apartment Building: (24 apts.) 3 sty. & bas. N. W. corner of 29th and Broadway. Archt., George & MacLucas, 1153 Lemcke Annex. Owner, Corporation Organizing, % Archt. Preliminary plans in progress. Brick, tile and marble floors, comp. roof, 2 pipe steam heating system.

Residence & Garage: \$30,000. 2 sty. & bas. (12 rooms.) Northwestern Ave. near Golf Course. Archt., Bass, Knowlton & Co., 801 Hume-Man-sur Bldg. Owner, G. M. Sanborn, Pres., Sanborn Electric Co., 309 No. Illinois St. Archt. taking bids to close April 1st. Brick, tile roof (alt. on asbestos shingle), modulation system of heating, tile floors in baths, marble floor in hall, birch and buckeye trim, maple and oak floors.

***Sewage Disposal Plant** (Equipt.) Engineer, Chas. H. Hurd, 1405 Merchants Bank Bldg. Owner, Board of Sanitary Commissioners, Jay A. Craven, Pres., City Hall. Owner taking bids to close March 30th at 10 A. M. on the following: (3) 400 H. P. water tube boilers, (3) chain grate stokers, (3) steam turbine blowers, (2) steam turbine electric generators, 5 surface condensers, 1 electric switchboard, 4 wells.

***Residence:** (for Dr. W. L. Bryan). \$20,000. 2 sty. & bas. 30x48. Bloomington, Ind. Archt., Robert Frost Daggett, Lemcke Annex, Indpls. Owner, Indiana University, Board of Trustees, John W. Cravens, Secy., Bloomington, Ind. Owner receiving bids to close April 6th.

***Apartment Bldg:** (8 apts. rem. from residence) 2421 No. Illinois. Archt., S. A. Hastings, R. R. O. Box 334, Indpls. Owner, Nick Doid, 40½ East Ohio St. Archt. taking bids on sub contracts. Frame, steam heat.

Residence: \$10,000. 3900 No. New Jersey St. Archt., John P. Parrish, 217 Castle Hall Bldg. Owner, Dr. William P. Best, 610 Bankers Trust Bldg. Archt. taking bids. Brick veneer.

Contracts Awarded.

***Bank & Office Building:** \$850,000. 12 sty. & bas. 123-27 East Market St. Archt., Fernor S. Cannon, 21 Virginia Ave. Owner, J. F. Wild & Co. (State Bank). J. F. Wild, Pres., 123 E. Market St. General contract awarded to Bedford Stone & Construction Co., Fletcher Trust & Savings Bldg., all of Indianapolis. Heating, plumbing and wiring not let.

***Parcel Post Bldg.:** \$800,000. 8 sty. & bas. 157x100. Illinois and South Sts. Archt., Fernor S. Cannon, 21 Virginia Ave. Owner, Postal Station Building Co., Dick Miller and Milton Kelly, % City Trust Co. General contractor, Hall Constr. Co., Board of Trade Bldg. Contractor taking sub bids and bids on material. Wrecking bldgs. on site. Reinf. concrete.

Store Bldg.: \$15,000. 2 sty. 32x62. 506 Indiana Ave. Archt., S. A. Hastings, R. R. O. Box 334, Indpls. Owner, Chas. Medias, 510 Indiana Ave. General contract let to Abe Greenspan, 18 North West St. Start work shortly. Brick and granite cast blocks.

Store Building: 1 sty. & bas. 99x64. Roosevelt and Ludlow Ave. Archt. and builder, F. M. Bartholomew & Son, 7720 Salem St. Owner, George Schick, 1508 Roosevelt Ave. Brick. Start work shortly.

Building Permits.

Residences (3) \$8,000 each. 2831-39 No. Delaware and 1 on No. Capitol. Owner, Otis Kirkpatrick, 535 E. 30th. Owner builds. Excavating.

Residence: \$6,000. 4141 Central Ave. Owner, M. Estle, 3425 Broadway. Owner builds.

Residence: (double) \$5,000. 446-48 No. Kealing. Owner, Elizabeth Hess, 3614 E. Wash. St. Excavating.

Residence: (double) \$5,000. 452-54 No. Kealing. Owner, Fred Hess, 3614 E. Wash. St. General contract let to A. J. Everitt, 3104 E. Mich. St. Excavating.

Residence: \$5,200. 4846 Carrollton. Owner, W. R. Hunter, 631 Lemcke Bldg. Excavating.

Residence: (double) \$5,000. 1443-45 Woodlawn. Owner, Henry M. Brandlin, 1447 Woodlawn Ave. Excavating.

Residence: (double) \$5,500. 2121-23 Coyner. Owner, Emma McCall, % G. C. General contract let to Phil Calkins, 2206 Roosevelt Ave.

Apartment Bldg.: (6 apts.) \$23,500. 5202 College Ave. Owner, Knue Building Co., 112 Garfield Ave. Owner builds. Brick veneer. Excavating.

Residence: \$8,000. 4808 Park. Owner, H. L. Simons, 4244 No. Capitol Ave. Excavating.

CONNERSVILLE.

***Memorial Building:** \$54,000. Batesville, Ind. Archt., Karl P. Henkel, 108 Heinemann Bldg., Connerville. Owner, Batesville Memorial, Board of Trustees. Michael F. Bohland, Pres., Batesville Bank Bldg., Batesville, Ind. Owner receiving bids to close March 31st at 10 A. M. (See legal advertising this issue.)

***School:** \$32,000. 2 sty. & bas. Vernon, Ind. Vernon Township. Archt., H. M. Griffin, 105 Mo-Farlan Bldg., Connerville. Owner, Clarence E. Dawson, Trustee, R. R. No. 2, Vernon, Ind. Owner receiving bids to close April 19 at 1 o'clock P. M. (See legal advertising this issue). Brick and tile, built-up flat roof, fan blast htg.

***Consolidated School:** \$37,000. 2 sty. & bas. 36x70. Guilford, Ind., Dearborn County. Archt., Karl P. Henkel, 108 Heinemann Bldg., Connerville, Ind. Owner, Nicholas Vogelgesang, trustee of York Twp., Guilford, Ind. George C. Cole, County Supt. of Schools, Lawrenceburg, Ind. A. F. Woods, trustee, Harrisburg, O. Bids are being received to close March 28th at 12 o'clock noon, at the office of George C. Cole, Court House, Lawrenceburg, Ind. Brick and tile, asbestos shingle roof, steam heat, steel sash, private water, lighting and sewage system. (See legal advertising.)

ELKHART.

School: 2 sty. & bas. 180x80. \$150,000. "Beardsley School." Archt., A. H. Elwood & Son, Haynes Bldg. Owner, Board of Education, H. L. Carr, Secy. Plans in progress. Brick.

***School** (Consolidated.) \$60,000. 2 sty. 60x100. Clinton Township, near Goshen. Archt., A. H. Elwood & Son, Haynes Bldg., Elkhart. Owner, W. S. Stiver, trustee, Goshen, Ind., R. F. D. Owner receiving bids to close March 16th at 10:30 a. m.

EVANSVILLE.

***Grade School** (add. 4 class rms. & gym.) \$106,014.50. "Baker Ave. School." Archt., Russ & Karges, 305 Furniture Bldg. Owner, Board of (Continued on Page 7)



FANS

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Marble Work of Every Description

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WEGE-STANFORD MARBLE & TILE CO.

603 Odd Fellows Building

Indianapolis

Education. Low bidder on general contract, M. J. Hoffman Constr. Co., Furniture Bldg., \$59,839.00; low on heating and plumbing, H. G. Newman Co., \$48,922.00. Low bidder on elect. work, Evansville Electrical Service Co., \$2,243.50, all of Evansville. Owner will probably award contracts shortly.

***Parochial School:** (4 room add. & rem.) \$16,-000. Huntingburg, Ind. Archt., A. E. Neucks, 515 Woods Bldg., Evansville. Owner, St. Mary's Parochial School, Huntingburg. Owner taking bids on separate contracts. Brick.

Garage: 1 sty. 32x137. 1042 Main St. Archt., Alfred E. Neucks, 515-16 Woods Bldg. Owner, Miss Lorena Althoff, 107 Read St. Archt. ready for bids March 13th. Concrete and brick. Concrete roof, public service heat.

***Store (rem.)** \$7,500. Archt., H. E. Boyle & Co., 405 Furniture Bldg. Owner, Dr. W. P. Woods, 203 Main St. Plans in pro. Work will consist of enameled brick front, copper set store front, tile floor and general alterations.

Housing (25 residences). \$2,500 each. Owner, William A. Hopkins. Owner starting six, others will mature soon.

Contracts Awarded.

***Swimming Pool & Bath House:** 1 sty. 45x90, and 30x62. Fulton Ave. and Keller St. Archt., Alfred E. Neucks, 515-16 Woods Bldg. Owner, Board of Park Commissioners. General contract let to M. J. Hoffman Constr. Co., \$10,164.00. Heating and plmg. let to Grant & Watters. Electr. work let to Evansville Electrical Service Co.

Store Bldg. (fire rebuild) \$15,000. 2 sty. Archt., private plans. Owner, Emory Dyer, 109 Harriett St. General contract let to Jacob Bippus & Son.

FT. WAYNE.

***School** (Consolidated High & Grade.) \$75,000. 2 sty. & bas. 135x70. Near Hometown, Ind., Allen county. Archt., Guy Mahurin, 500 Lincoln Life Bldg., Ft. Wayne. Owner, Joint Ownership, Chas. Hartung, Trustee, Perry township, Hometown, Ind., Chas. Miller, trustee, Eel River Twp., Chubbusho, Ind. Owners receiving bids to close March 20th at 2 p. m. Brick.

Contracts Awarded.

***Store & Office Bldg.:** \$40,000. 2 sty. & bas. 60x80. 123 W. Wayne St. Archt., Chas. R. Weatherhogg, 405 Citizens Trust Bldg. Owner, Julia E. Emanuel, Berry and Harrison Sts. General contract let to Buesching & Hagerman, 402 East Superior St. Start work shortly. Brick.

LAFAYETTE.

Apartment Building (4 apts.) Archt., Riedel & Zink, Lafayette Life Bldg. Owner, A. E. Werkhoff, 1244 No. 15th St. Archt. receiving bids. Stucco and frame, comp. roof, hot water heat.

Residence: (Colonial) 2 sty. & bas. Highland Park Addition. Archt., Riedel & Zink, Lafayette Life Bldg. Owner, Dr. G. E. Bell, 818 Lafayette Life Bldg. Plans in progress. Frame, asphalt shingle roof, hardwood floors, tile floor in bath, furnace heat.

***Church:** Archt., Riedel & Zink, Lafayette Life Bldg. Owner, St. Lawrence R. C. Church. Father, Alfred Herman, Pastorate. Bids close March 14th at 10 a. m.

Residence: (rem.) Archt., Riedel & Zink, Lafayette Life Bldg. Owner, John S. A. Riefers, 614 No. 8th St. Archt. receiving bids.

Residence: (rem.) Archt., Riedel & Zink, Lafayette Life Bldg. Owner, John Ruger, 9th & Elliott Sts. Plans in progress. Work will consist of new bath room fix., electric wiring & fixtures, int. & ext. decorating, tile flr. & base in bath room.

Residence (rem.) Archt., Riedel & Zink, Lafayette Life Bldg. Owner, Chas. Milford, 10th and Elliott Sts. Plans in progress. Work will

consist of stucco exterior, asphalt shingle roof, new bath room and fixtures, tile floor and wainscoting in bath, int. and ext. decorating, garage in basement.

Apartment Bldg.: (3 apts rem. from Residence.) Archt., Riedel & Zink, Lafayette Life Bldg. Owner, Mary Kious, 918 Highland Ave. Highland Park Add. Plans in progress. Work will consist of 3 baths, laundry trays and tubs, kitchen cabinets, In-a-Door beds, new furnace, electr. wiring and fix., hardwood floors, int. and ext. decorating.

Residence: (rem.) Archt., Riedel & Zink, Lafayette Life Bldg. Owner, Wm. Teal, 8th and Salem Sts. Plans in progress. Will move old house to rear of lot, new foundation, complete plumbing and sewerage, furnace heat, electrical wiring and fix., garage attached to house, interior and exterior decorating.

Residence: (add. & rem.) Archt., Riedel & Zink, Lafayette Life Bldg. Owner, John Kennington, 707 Wabash Ave. Plans in progress, new bath room, furnace, int. and ext. painting & finishing.

Church: (Cloister & Baptistry.) Archt., Riedel & Zink, Lafayette Life Bldg. Owner, St. Boniface Church, Rev. Father Florian Briede, pastor. Plans in progress. Brick and stucco, art glass, tin roof, steam heat.

Contracts Awarded.

***School:** Big Creek Township, White county, Chalmers, Ind. Archt., Riedel & Zink, Lafayette Life Bldg., Lafayette. Owner, John A. Kassabaum, trustee, Chalmers, Ind. General contract let to E. A. Carson, Logansport, Ind. \$57,-625.00. Heating, plumbing and sewerage let to D. M. Hatton, Monticello, Ind., \$16,870.00. Electric wiring and fix. let to H. Hoffman, Monticello, \$1,616.00.

***Apartment:** (rem. from res.) Archt., Riedel & Zink, Lafayette Life Bldg. Owner, T. F. Gaylord, No. 8th St. General contractor, Pfrommer & Hannifen. Plmg. and htg. to Ed Gallagher. Work started.

Store: (rem.) Archt., Riedel & Zink, Lafayette Life Bldg. Owner, A. S. Muller, 13th & Union Sts. General contract let to Wm. Altherr.

RICHMOND.

***Bank Building** (add.) \$150,000. 2 sty. 38x114. Archt., H. H. Hiestand, Eaton, Ohio. Asso. Archt., C. C. and E. A. Weber, 3d and Walnut Sts., Cincinnati, Ohio. Owner, The First National Bank, A. D. Gayle, Prest., F. M. Taylor, V. P., 7th and Main Sts., Richmond, Ind. Owner receiving bids to close March 29th. Brick and stone.

***Parochial School:** \$30,000. 2 sty. & bas. 45x62. Archt., C. E. Werking & Son, Palladium Bldg. Owner, St. John's Evangelical Lutheran Church, Alex L. Nicklas, pastor, 7th and E. Sts. Owner awarding separate contracts. Heating and plumbing let to J. H. Niewoehner. Elect. work to Geo. H. Kramer. Start work at once.

VINCENNES.

***School:** (rem.) Dugger, Ind. Archt., J. W. Gaddis, 608 American National Bank Bldg., Vincennes. Owner, Chas. Hale, trustee, Sullivan, Ind., R. F. D. Owner receiving bids to close March 18th at 2 p. m. Work will consist of concrete ftgs., steps, platforms, heating and ventilating, new partitions, asphalt roof, and general alterations to present 1 sty. bldg. of 6 rooms.

KOKOMO.

***School:** (Township.) \$60,000. 2 sty. & bas. Deer Creek township, Cass county, Ind. Archt., Thomas McGaw, Citizens Bank Bldg., Kokomo. Mechanical Engineer, Ammerman & McColl, Indianapolis. Owner, William Henry, trustee, Young America, Ind., (Cass county.) General contract awarded to W. R. Dunkin & Son, Flora, Ind. Heating let to Hipskind Co., Wabash, Ind.

MISCELLANEOUS CITIES.

***Anderson:** Orphans Home, \$145,000. 2 miles east of Anderson. Archt., E. R. Watkins, Union Bldg. Owner, Board of County Commissioners, Court House, Anderson. Plans in progress. Brick.

Kentland: Church, \$35,000.00. 50x96. Goodland, Ind. Archt., John A. Bruck, Kentland. Owner, Methodist Episcopal Congregation, Goodland, Ind. Brick, stone trim, asbestos shingle roof, vapor heating system, steel trusses.

***Marion:** High School, \$200,000. Archt., Harry G. Bowstead, 410 Glass Block. Owner, Board of Education, Marion. Plans completed. Owners expect to advertise for bids April 1st.

***New Albany:** Apartment Bldg., \$125,000. 3 sty. & bas. Archt., Paul Moosneller, 9th and Market Sts. Owner, Chas. D. Knoedel, Prest., New Albany Trust Co. Plans in progress. Brick.

Wabash: County Infirmary, (rem.) Owner, Ben Banister, Auditor. Receiving bids to close April 5th at 10 o'clock a. m. for the repair and improvement of the County Infirmary; bids on painting, plastering, etc. must be submitted separately and then together as a whole.

Contracts Awarded.

Clinton: County Hospital, \$175,000. 2 sty. & bas. Archts., Thomas & Allen, 22½ S. Fifth St., Terre Haute. Owner, Bd. of County Comms., Newport. General contract let to Ben Bright, Clinton. Heating and plumbing to Hayes & Balmer, Clinton. Brick, fireproof construction.

Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field.

Copy should reach us, at the latest, Wednesday of the week of publication.

SCHOOL HOUSE

NOTICE TO CONTRACTORS.

Notice is hereby given, that the undersigned, Trustee of Moral School Township, Moral Township, Shelby County, Indiana, will until the hour of two o'clock P. M. April 3rd, 1922 at the office of the said Trustee in the Town of Pleasant View, Moral Township, Shelby County, Indiana receive sealed bids for the erection, construction, and completion of a Township Joint High and Elementary School Building; for the installation of a heating and ventilating system therein; a plumbing, sewer and lighting system therein and connected therewith; located in the Northeast corner of Section 19, Township 14 North and Range 6 East in said Moral Township, Shelby County, Indiana; all in accordance with the drawings, plans and specifications therefor, adopted and approved by the said Trustee and the Advisory Board of said Township, and as prepared by J. Edwin Kopf and Woolling, Architects and Engineers, Indiana Pythian Building, Indianapolis, Indiana, and now on file at the office of said Trustee and the said Architects and Engineers, as well as the Office of the State Board of Accounts, Indianapolis, Indiana.

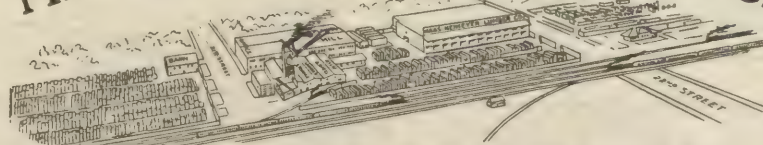
Bidders desiring duplicate copies of the drawings and specifications for their personal use may obtain same by depositing \$25.00 for the general construction documents and \$15.00 for

(Continued on Page 8)



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the documents of each of the other branches; which deposits will be refunded if the drawings and specifications are returned in good condition on or before the time above set for receiving bids.

All bids must be on forms prescribed by the State Board of Accounts and must be accompanied by a certified check of not less than three percent of the gross bid submitted; payable to the said Trustee of said Moral Township, Shelby County, Indiana, and shall be forfeited to the said Moral School Township as agreed and liquidated damages, in the event that the successful bidder fails to enter into a proper contract for the work bid upon and to give the proper surety bond, within ten days from the acceptance of such bid; and upon his executing contract and giving bond the check of the successful bidder will be returned. Checks of the unsuccessful bidders will be returned.

Within ten days from the acceptance of bids, the successful bidders will be required to enter into a written contract to construct and complete the work covered by the bids, including the furnishing of all material and the performing of all work in conformity with the said drawings and specifications on file in the said Trustee's Office, and also to furnish at the same time proper bonds with approved security.

All branches and the whole of the work herein mentioned must be completed on or before September 15th, 1922.

The Advisory Board of said Township shall attend the opening of bids and the letting of the contracts; and said Advisory Board and Trustee reserve the right to reject any and all bids.

Dated this 8th day of March, 1922.

HARRY BARRETT,
Trustee Moral School Township,
Shelby County, Indiana.

March 11-18-25.

SCHOOL HOUSES

NOTICE TO CONTRACTORS.

Notice is hereby given, that the undersigned, Board of School Commissioners, School City of Shelbyville, Shelby County, Indiana, will until the hour of two o'clock P. M., Monday, March 27th, 1922, at the office of the said Board, in the city of Shelbyville, Indiana, receive sealed bids for the erection, construction and completion of a Grade School; for the installation of a heating and ventilating system; a plumbing system, a sewer system; and an electric lighting system; located on the school property at Franklin and Pike Streets, Shelbyville, Indiana; also for the erection, construction and completion of a Physical Training and Agricultural Building; for the installation of a heating system; a plumbing system; a sewer system and an electric lighting system; located on the present high school grounds and all in accordance with the drawings and specifications adopted by the said Board, and as prepared by J. Edwin Kopf and Woolling, Architects and Engineers, Indiana Pythian Building, Indianapolis, Indiana, and now on file at the office of the said Board and the said Architects and Engineers, as well as the office of the State Board of Accounts, Indianapolis, Indiana.

Bidders desiring duplicate copies of the drawings and specifications for their personal use may obtain same by depositing \$25.00 for the general construction documents and \$15.00 for the documents of each of the other branches; which deposits will be refunded if the drawings and specifications are returned in good condition on or before the time above set for receiving bids.

All bids must be on forms prescribed by the State Board of Accounts and must be accompanied by the gross bid submitted, payable to the Board of School Commissioners, School City of Shelbyville, Indiana, and shall be forfeited to the

said School City as agreed and liquidated damages, in the event that the successful bidder fails to enter into a proper contract for the work bid upon and to give the proper surety bond, within ten days from the acceptance of such bid. Checks of the unsuccessful bidders will be returned, and upon his executing contract and giving bond the check of the successful bidder will be returned.

Within ten days from the acceptance of bids, the successful bidders will be required to enter into a written contract to construct and complete the work covered by the bids, including the furnishing of all material and the performing of all work in conformity with the said drawings and specifications on file in the said Board's Office, and also to furnish at the same time, proper bonds with approved security.

All branches and the whole of the work herein mentioned must be completed on or before September 15th, 1922. The estimated cost of the Grade School is \$91,000; the estimated cost of the Physical Training and Agricultural Building is \$45,000.

The Board reserves the right to reject any and all bids.

Dated this 2nd day of March, 1922.

D. WRAY DE PREZ, President,
ELIZABETH DAVIS, Treasurer,
BAYARD G. KEENEY, Secretary,
Board of School Commissioners,
School City of Shelbyville, Ind.

Mar. 4-11-18.

SCHOOL HOUSE

NOTICE TO CONTRACTORS.

Notice is hereby given, That the undersigned, Sherman Rothermel, Trustee of Green School Township, Hancock County, Indiana, and the Ad-

HATFIELD ELECTRIC COMPANY

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visory Board of said Township, will, until the hour of 1:30 P. M. on Saturday, March 18th, 1922, at the office of said Trustee in the town of Eden, in Green Township, Hancock County, Indiana, receive sealed bids for the erection, construction and completion of a consolidated school building; also for the construction and installation of a heating and ventilating system; also for the construction and installation of a plumbing and water supply system; also for the construction and installation of a sewerage disposal system; also for the construction and installation of an electrical lighting system, all for said building; all in accordance with the drawings and specifications therefore adopted by said Trustee, and as prepared by J. Edwin Kopf and Wooling, Architects and Engineers, Indiana Pythian Building, Indianapolis, Indiana, and now on file at the offices of said Trustee and of said Architects, and at the office of the State Board of Accounts, at the State House, Indianapolis, Indiana. All bids therefor will be opened and publicly read at 1:30 P. M. on March 18th, 1922, at said office of said Trustee in the presence of said Advisory Board. Said building and said systems connected therewith are to be constructed on the school property of said Township at Eden in said Township, on the real estate known as the Eden School grounds.

Bidders desiring duplicate copies of the drawings and specifications for their personal use may obtain same by depositing \$25.00 for the general construction documents and \$10.00 for the documents for each of the other branches; which deposits will be refunded if the drawings and specifications are returned in good condition on or before the time above set for receiving bids.

All bids must be on forms prescribed by the State Board of Accounts and must be accompanied by a certified check of not less than three per cent of the gross bid submitted, payable to the Trustee of Green School Township, Hancock County, Indiana, and the said check of the accepted bidder shall be forfeited to the said Township as agreed and liquidated damages, in the event that the accepted bidder fails to enter into a proper contract for the work bid upon and to give the

proper approved bond, within ten days from the acceptance of such bid. Checks of the unsuccessful bidders will be returned.

Within ten days from the acceptance of this bid, the accepted bidder will be required to enter into a written contract to construct and complete the work covered by his bid, including the furnishing of all material and the performing of all work in conformity with the said drawings and specifications, and also to furnish at the same time, a proper bond with approved security.

All branches and the whole of the work herein mentioned must be completed within six months from the date of signing the contracts.

Each bidder shall file with his bid the statutory affidavit required by Sec. 8969, Burns' Annotated Indiana Statutes 1914, and the successful bidder before entering into contract shall present a certificate from the industrial board showing that he has complied with Sec. 68 of the Indiana Workmen's Compensation Act.

The said School Trustee reserves the right to reject any and all bids and to take time to investigate the bids and the qualifications of the bidders. No contract will be awarded to any bidder unless said bid shall be approved in all things by the Indiana State Board of Tax Commissioners.

The estimated cost of the work is \$68,000.00. Dated this 21st day of February, 1922.

SHERMAN ROTHERMEL,
Trustee of Green School Township, Hancock County, Indiana. Office at Eden, Hancock County, Indiana. Post Office Address, R. R. 5, Greenfield, Indiana.
Feb. 25-Mar. 4-11.

HOSPITAL.

NOTICE TO CONTRACTORS.

Notice is hereby given that the Board of Trustees of the Putnam County, Indiana, Public Hospital, will, until the hour of two o'clock, P. M., on Wednesday, the twenty-second (22d) day of March, 1922, at the office of the Auditor of said Putnam County, at Greencastle, Indiana, receive sealed bids, and then to be opened for a general contract for the furnishing of all material and labor for the erection, construction and comple-

tion of the Putnam County, Indiana, Public Hospital, at Greencastle, Indiana, including heating, plumbing, elevator equipment and lighting system for said hospital building, all of which is to be in accordance with plans and specifications therefor which have been approved by the State Board of Charities and Board of Accounts of the State of Indiana, which said plans and specifications are on file in the office of the Auditor of Putnam County, Indiana, and copies of said plans and specifications for all said construction and work may be had at the office of D. A. Bohlen & Son, architects, 1001 Majestic Building, Indianapolis, Indiana, and may also be inspected in the office of the Auditor of said Putnam County, at Greencastle, Indiana.

All bids and proposals shall be on forms prescribed by the State Board of Accounts. These proposals must be accompanied by an approved surety company bond to the full amount of the maximum bid. Said bond is to protect the owners, the Hospital Board and Putnam County, Indiana, in case the contractor fails to enter into contract within five (5) days after the awarding of the contract, and also to protect the owners in the fulfillment of all parts of the contract, according to plans and specifications and the time within which said building shall be completed.

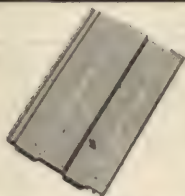
Each contractor receiving plans and specifications from the architect will be required to deposit as security for their return in good order the sum of twenty dollars (\$20).

The estimated cost of the construction and completion of said hospital building in accordance with the plans and specifications therefor, is eighty-five thousand dollars (\$85,000).

Before the closing of a contract with any contractor for the construction and completion of said building the Board will require that such contractor furnish to the Board a certificate from the Industrial Board of Indiana showing that such contractor has complied with Section 68 of the Workmen's Compensation Act of Indiana.

And such contract when entered into and the bond to be furnished by said contractor, shall contain a condition and agreement to empower the said Board of Trustees to withhold from the contract price sums sufficient with which to pay all claims of laborers, material men and sub-

(Continued on Page 11)



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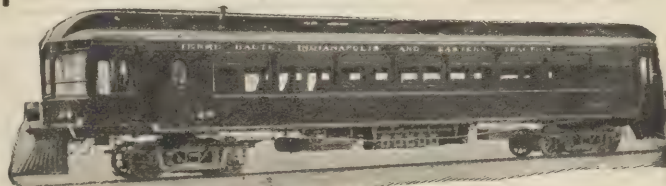
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contractors, as well as claims for labor and material furnished to contractors and to pay off such claims out of such fund as provided by Acts of the General Assembly of the State of Indiana.

Payment to the contractor upon estimates made as the work progresses and final payment shall be made as stated and fixed in the specifications for said work.

The Board reserves the right, and all contractors bidding for said work must bid with the understanding and condition, that the Board may reject any and all bids received and reserve the right to determine for themselves what bid may be accepted for said work and what bids may be rejected.

ANDREW H. HANNA,
WILLIAM A. KREIGH,
DAVID V. HOSTETTER,
and
JESSE McCOY.

Board of Trustees of Putnam County, Indiana,
Public Hospital.

James & Allee, Greencastle, Indiana, Attorneys
for Board of Hospital Trustees.
Feb. 4-11-18-25, March 4-11.

MEMORIAL BUILDING NOTICE TO CONTRACTORS.

Notice is hereby given that the Board of Trustees of the Batesville Memorial, Batesville, Indiana, will, until the hour of 10:30 A. M., on Friday, the 31st day of March, 1922, at the office of said Board at 5 Batesville Bank Building, Batesville, Indiana, receive sealed bids, and then to be opened for a general contract for the furnishing of all material and labor for the erection, construction, and completion of the Batesville Memorial at Batesville, Indiana, including heating, plumbing, ventilating, water system, and electric wire for said Memorial Building, all of which is to be in accordance with the plans and specifications therefor, which have been approved by the State Board of Accounts of the State of Indiana, and which said plans and specifications are on file in the office of said Board of Trustees at 5 Batesville Bank Building, Batesville, Indiana, and copies of said plans and specifications for all said construction and work may be had at the office of Karl P. Henkel, Architect, at 108 Heinemann Building, Connersville, Indiana, and may also be inspected at the office of said Board of Trustees at 5 Batesville Bank Building, Batesville, Indiana. Proposals shall be submitted, first, for the complete general construction of said building; second, heating and ventilating; third, plumbing and water system; fourth, electric wiring, and each bid shall be separate and distinct from any other bid. All bids and proposals shall be on forms prescribed by the State Board of Accounts. All bids must be in writing, sealed and with the envelope endorsed, giving the name of the bidder and the class of the work bid upon, and all bids will be opened and read publicly at the time and place fixed in this notice. Each bid for the general construction shall be accompanied by certified cashier's check of a responsible bank for the sum of five hundred (\$500.00) dollars. Each bid for heating and ventilating, plumbing and water system, and electric wiring shall be accompanied by a certified cashier's check of a responsible bank for the sum of one hundred (\$100.00) dollars. These checks must be made payable to the Board of Trustees of the Batesville Memorial, and will be held by them as a guarantee of good faith that said bidder or bidders will enter into contract and execute bond by the Board of Trustees for the performance thereof if their bid or bids are accepted. The checks of those bidders who failed to be awarded contracts shall be returned to them when the contracts are let.

Should the successful bidder or bidders fail to enter into such contract and fail to execute such bond they or he shall forfeit the amount of said certified check as liquidated damages for the use and benefit of the proper fund of the Batesville Memorial, Batesville, Indiana.

The Board of Trustees reserve the right, and contractors bidding for said work must bid with the understanding and condition that the Board may reject any and all bids received, and said Board of Trustees reserve the right to take time to investigate the bids and the qualifications of the bidders, and reserve the right to determine for themselves what bid may be rejected. The limit of time to be allowed the said Board of Trustees for proper investigation of bidders shall not be less than seven (7) days from the date of receiving bids. The estimated cost of the construction and completion of said Memorial, in accordance with the plans and specifications therefor, is fifty-four thousand (\$54,000.00) dollars.

Before the closing of a contract with any contractor for the construction and completion of said building, the Board of Trustees will require that such contractor or contractors furnish to said Board of Trustees a certificate from the Industrial Board of Indiana, showing that said contractor has complied with Section 68 of the Work-

men's Compensation Act of Indiana, and such contract when entered into, and the bond to be furnished by such contractor shall contain a condition and agreement to empower the said Board of Trustees to withhold from the contract price sums sufficient with which to pay all claims of laborers, material men, and sub-contractors, as well as claims for labor and material furnished to contractors, and to pay all such claims out of such funds as provided by the Acts of the General Assembly of the State of Indiana.

Payment to the contractors upon estimates made as the work progresses and final payment shall be made as set and fixed in the specifications for said work.

Each bidder shall file with his bid the statutory affidavit required under Section 8698, Burns Revised Statutes of the State of Indiana, 1914.

Copies of the plans and specifications may be obtained from the office of the Architect, Karl P. Henkel, 108 Heinemann Building, Connersville, Indiana, upon deposit of twenty (\$20.00) dollars for each set. Said deposit shall be returned to the bidders upon the safe return of said plans and specifications free of cost, to the office of said Architect on or before the day and hour set for receiving bids. Each bidder receiving plans and specifications will be required to submit a bid or bids to the said Board of Trustees, or failing to do so, the deposit for plans and specifications shall be retained for the proper fund of the Batesville Memorial, Batesville, Indiana.

MICHAEL F. BOHLAND
WILLIAM H. SCHWIER, JR.
MRS. TORA McCALLUM
ANTHONY W. ROMWEBER
HARRY C. CANFIELD,

Board of Trustees of the Batesville
Memorial, Batesville, Indiana.

March 11-18-25.

SCHOOL HOUSE NOTICE TO BIDDERS.

Notice is hereby given that Vernon School Township, Jennings County, Indiana, by the trustee and advisory board thereof, will receive sealed bids at the office of the trustee at the town of Vernon, within said Vernon township, Jennings County, Indiana, until 1 o'clock p. m., on Wednesday, April 19th, 1922, for the construction of a new high school building and for the installation of a heating and ventilating system and for the installation of a plumbing and sewerage system and electric wiring, all for said proposed building. All bids shall include all labor, material and supplies necessary for complete construction or installation of that part of the work bid on, and all strictly in accordance with the plans and specifications provided therefor, which have been properly accepted and approved and are now on file in the office of said trustee. Said building to be two stories and basement brick building and to be located on real estate now owned by said township in said town of Vernon, within said Vernon township, Jennings county, Indiana.

Bidders will submit their bids as follows:
(1) For the construction of school building (General Contract).

(2) For the installation complete of heating and ventilating system.

(3) For the installation complete of plumbing and sewerage system.

(4) For the installation complete of electric wiring.

(5) For the construction as a whole, or any combination of contracts.

The estimates on the cost of the construction of said building are approximately as follows: General Contract, \$22,000.00; heating and ventilating, \$7,000.00; plumbing and sewerage \$2500.00; electric wiring, \$500.00.

All bids and proposals must be upon the form prescribed by the State Board of Accounts. Each bid on the General Contract, or on complete construction, shall be accompanied by certified check of the bidder in an amount equal to 2 per cent. of the bid. Each bid on heating and ventilating system or plumbing and sewerage system or electric wiring shall be accompanied by certified check of the bidder in the amount of One Hundred Twenty-five Dollars (\$125.00). All checks shall be payable to Clarence E. Dawson, Trustee, and conditioned that the successful bidder will enter into a contract with sufficient surety for the performance thereof. When the contract or contracts are let checks of unsuccessful bidders will be returned to them.

The successful bidder or bidders will be required to enter into a written contract and execute a bond with sufficient surety to be approved by said trustee in an amount equal to the amount of the contract and conditioned for the faithful performance of the same.

Plans and specifications may be had for the individual use of bidders from the architect, H. M. Griffin, Connersville, Indiana, by making a deposit of \$10.00 for each set, which will be returned upon the return of the same in good con-

dition on or before the day of receiving bids. One complete set of plans and specifications are on file with the trustee.

The right is reserved to reject any and all bids, and all bids will be received on the condition that any contracts entered into thereon will be subject to the sale of bonds of said school township for the payment of said contract.

CLARENCE E. DAWSON,

Trustee, Vernon School Township, Jennings
County, Indiana. Address, North Vernon,
Ind., R. R. 2.

W. T. SEMON, Attorney,
Vernon, Ind.

March 11-18-25.

SCHOOL HOUSE NOTICE TO BIDDERS.

Notice is hereby given, That the Miller & York Township Consolidated School Board, Dearborn County, Indiana, by their Advisory Boards, Trustees and The School Board thereof will receive sealed bids at the office of the County Superintendent of schools in the city of Lawrenceburg, Indiana, until 12 o'clock Noon, of Tuesday, March 28, 1922, at which time and place same will be opened, read and considered for the construction of a school building, and for the installation of heating and ventilating system for said building, and for a complete wiring system, and the same for the uses of said Townships therein; and all by and according to the plans and specifications as provided thereof approved by said Board and by the State Board of Health and the State Board of accounts. The plans and specifications are on file for the inspection of bidders at the office of the County Superintendent who is a member of this School Board, and at the office of the Architect, Karl P. Henkel, No. 108 Heinemann Bldg., Connersville, Indiana, and duplicates of plans and specifications are available for bidders for their personal use upon deposit of \$15.00 with the Architect to guarantee the return of same on or before the opening of bids, it being understood that all checks will be cashed if not redeemed by the return of plans and specifications within ten days after the date of opening of bids.

Bidders must familiarize themselves with such plans and specifications before bidding, as no departure from same will be considered.

Bidders on submission of bids will submit same as follows:

(1) For the general construction of the school building, (general contract).

(2) For the installation complete of heating and ventilating system.

(3) For the installation complete of plumbing and sewerage disposal.

(4) For the installation complete of electric wiring system.

(5) For all work inclusive as is comprehended by the plans and specifications.

In this way the bidder will only be required to submit his bid for such portion or portions of the total improvement as he may desire. Special attention is called to the provision of alternate propositions by bidders and the desired receipt of alternate proposals.

All bids and proposals must be upon the form prescribed by the State Board of Accounts; and all bids must be accompanied by a certified check of the bidder in the sum equal to at least two per cent of the gross bid however a certified check of \$100 will be required from the heating and ventilating contractor and \$100 from the plumbing and sewerage contractors, and \$100 for the electric wiring contract.

This is to guarantee that the contractor will enter into a written contract with sufficient and approved security if he is the successful bidder. Unless bids are accompanied by such check and upon such forms no attention will be given same.

The successful bidder will be required to enter into his written contract, and also to deliver his bond with approved security, in the sum equal to the amount of the contract, as usually conditioned upon faithful compliance with terms of contract.

The bidder will be required by terms of contract to complete the same within not to exceed two hundred working days therefrom.

Immediately following the acceptance of any bid, the School Townships will file their application with the State Board of Tax Commissioners petitioning for approval of bond issue in the sum sufficient to procure funds with which to make payments for all work contemplated, and execution of contract with successful bidders will abide the approval of such application.

The Board reserves the right to reject any or all bids without giving any further reason thereof.

NICHOLAS VOGELGESANG,

ALFRED J. WOODS,

GEORGE C. COLE,

Constituting Board of the Consolidated Township School for
York and Miller Townships.

March 11-18-25.



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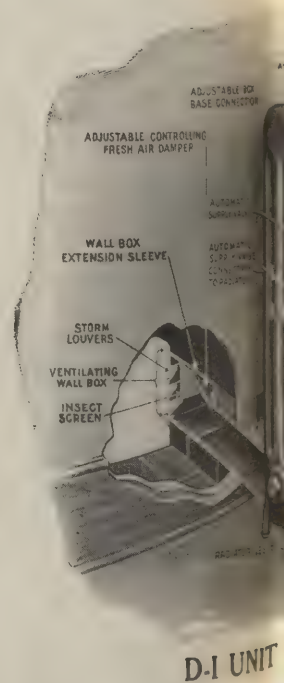
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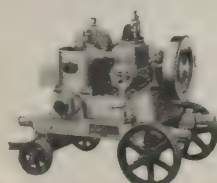
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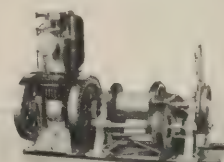
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NEW POLICY ADVOCATED BY STATE HOUSING DIRECTOR.

Indiana Architects now have the opportunity of greatly strengthening the operation and function of the State Housing Law of 1913 by adopting the policy of sending copies of plans for proposed tenements, apartment buildings, and revisions of same, direct to the Director of Housing of the State Board of Health, State House, Indianapolis, for approval, suggestions or comment.

The function of the local health officers will be co-ordinated with this arrangement by the Housing Division. In those cities where city building inspection departments are maintained the plans for such work as described above should be sent direct to the officer or chief inspector in charge.

This line of procedure is in keeping with a policy that the Director of Housing is now working out, and will be embodied in a set of final rules and regulations to be submitted for approval and adoption at some future session of the State Board of Health.

CITY PLAN EXPERT TO DECIDE ON CIRCLE BUILDING HEIGHT.

Proposed new building construction around Monument Circle, Indianapolis, recently brought to the fore the advisability of establishing a legal height restriction for new buildings that might be erected around the Circle.

The matter of settlement of the Monument circle building height was brought up some time ago when Fred G. Gardner, representing owners of property on the Circle, requested that the city planning commission set the height limit at 125 feet, allowing the erection of a ten-story building. Members of the board of control of the Monument declare that the height should not be more than 104 feet. The present height is eighty-six feet.

At the suggestion of members of the commission, the board of control appointed two architects, William E. Russ and Herbert Foltz, and the property owners appointed Edgar O. Hunter and Oscar D. Bohlen several weeks ago, to thrash out the matter. Three conferences have been held by the architects. Those representing the board of control refused to approve a height of more than 104 feet

and those for the property owners would not consent to a height less than 125 feet.

As a result of this deadlock the members of the commission have decided to call in George E. Kessler of St. Louis, Mo., city plan expert, to settle this controversy over the height and type of buildings facing Monument Circle.

HOW ONE CITY WENT AT IT.

A remarkable example of a movement to provide homes and to encourage people to own their homes has been given at Wilkesbarre, Pennsylvania. The Chamber of Commerce there recently put up forty-seven houses at a cost of \$4,600 to \$5,300 each. The construction was let to one contractor who figured on the closest possible margin, and it is claimed the dwellings were put up for \$1,000 less apiece than it would have cost the individual.

Most of the houses were sold before the first shovel of earth was turned. The possibilities of such a project were made to appear so attractive that several real estate agencies were stimulated to promote similar plans of their own.

These houses were three-ply stucco on metal lath, back plastered, with hot air heat, slate roof, and all modern conveniences. The buyers in most cases paid down 20 per cent of the cost, the balance to be paid in monthly installments running eleven years. A large number of families are thus becoming permanently attached to the soil, and are not paying much more than they would ordinarily pay out for rent.

PROMINENT ARCHITECT NAMED ADVISOR BY WAR MEMORIAL BOARD.

The State War Memorial Commissioners have selected Thomas Kimball, Omaha, Neb., as architectural advisor. His duties will be to offer counsel in the matter of the selection of the architect and in the construction of the proposed War Memorial. Mr. Kimball was formerly president of the American Institute of Architects, being one of the most widely known and prominent members of the architectural profession in this country.

INDIANAPOLIS ARCHITECTS DIS- CUSS CITY SCHOOL PROBLEMS.

The regular meeting of the Indianapolis Architects' Association was held Wednesday night, March 8th., at the Columbia Club, being preceded by a dinner at 6:30 p. m. There was a good attendance with a fine display of good fellowship, optimism and merriment.

While there was no special speaker for the occasion the architects devoted the time to an interesting discussion of problems of the school city, the building program, the approach to, the handling of same and the future requirements of the city.

Considerable attention was given to the proposition that has been suggested for the establishment of a department by the Board of Education and the installation of a city architect to take care of the plans that will be required in future building, repair and alteration programs.

It was the sense of the meeting that the Indianapolis Architects' Association is willing at all times to co-operate with the Board of Education in the matter of suggestion and consultation if such is desired that the city may be assured of good school buildings.

MORE BETTER HOMISMS.

"Never buy furniture just for now. Buy the best you can manage to get; it is impossible to estimate the part furniture plays in the environment of a child."

"All things of beauty are expressive of the soul of man in our homes."

"Here's some furniture that is an abomination; we want to get rid of it. What will we do with it? We can't give it to our neighbors—we like them too well for that."

"Don't pass 'stuff' off on your neighbors because you don't like it; you have no right to corrupt your neighbors by your unwise purchasing."

"Your yard, your garden, reflect you."

"An out door living room—your garden; that is what it should be."

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**ASSOCIATED BUILDING CONTRACTORS
OF INDIANA**

Official Paper

Building Trades Employers Ass'n OF THE CALUMET DISTRICT

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If You are Contemplating any kind of Construction Work, you should Communicate with
General Office for Information

MEETING NIGHTS

General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.

BOND TO HOLD MEMBERS IN LINE
HELD LEGAL.

Once more it looks as if the old adage, "Honesty is the best policy," was right, also, according to latest developments one is led to believe, as the good book says, "The way of the transgressor is hard"; i. e.—the Building Trades Employers' Association has in effect individual bonds of \$1,000, given by each member, guaranteeing that all rules and regulations of the Association would be lived up to.

Last spring when the Association decided that but \$1.00 per hour be paid as the scale to the various crafts, the business agent of the Plumbers Union induced one of our plumbing contractor members to break away from the Association and pay \$1.25 per hour, the inducement being backed by promises to the effect that the aforesaid contractor would be thrown a lot of extra work and be made one of the leading master plumbers of this section. The argument was advanced that the Association bond could not be collected even if the contractor did break the rules of the Association.

The word was also given out that the Union would also help the recalcitrant member to fight the Association if any attempt was made to collect the bond by court proceedings. This left the Association nothing else to do but to bring suit, the case coming up for hearing before Judge Crites, a few days ago. Sure enough the contractor was reinforced by

the best legal talent in the Calumet district, and the bonding company also contributed a senator from Illinois to aid in contesting the collection of the bond by the Association.

All sorts of arguments were advanced to prove that the bond was not legal, that the practice of having the members furnish such bonds was unconstitutional and in restraint of trade. When all the evidence was in the court ruled that the bond was legal and that the Association had just as much right to set a wage scale and bond its members to live up to the rulings of the organization as did the Unions to hold its members to their rules and regulations. The court further held that if the Association could show that the member in question had broken his obligations and violated the rules of the Association he was liable under the provisions of the bond. We of the association can easily prove our contention, and it looks as if this contractor, who was so easily convinced and led, had made a bad bargain.

ASSOCIATION AND UNIONS STILL
SPLIT ON WAGE QUESTION.

The Association is still standing pat on its original contention of the Landis Wage Award.

Several of the crafts have reduced their original scale demands, the plumbers having come down to \$1.10 per hour, the Sheet Metal Workers to \$1.02½, Cement Finishers to \$1.00, Plasterers to \$1.10 and the Painters to \$9.00 per day. These reductions don't mean anything to the Association as they do not yet meet with the provisions as handed down by Judge Landis. We'll talk turkey when they all agree to the big decision.

GETTING SCARED.

The ten outlaw Unions in Chicago have petitioned the City Council to appoint a committee to investigate the Contractors' and Citizens' Committee, as the former are fearing that the committees in question are to establish the open shop and put the Unions out of business. How much easier the Unions could have made life for themselves had they lived up to the agreements they signed.

JUST AROUND THE CORNER.

There seems to be two lines of business that continue good despite the depression, are not troubled with strikes and no demand; these businesses have to do with hold-ups and bootlegging.

CALUMET BUILDING PROGRESS

Our local architects report that they will have quite a few projects out for bids in the next few weeks.

George Bates was awarded the contract to build a new \$18,000 home for Dr. Childlaws, a \$6,000 bungalow for Fred Hepners, and some remodeling for Jake Hartman to cost approximately \$2,500.

THE GAME IS ON AT GARY.

It may be too early for baseball but we have information from Gary to the effect that the sub-contractors there are going to bat in great shape in an attempt to straighten out Labor's in and out shoots. We are hoping that a few "Babe" Ruths will step to the plate before the game is over. Go to it, fellows, you have our best wishes, we are rooting for you. "Peanuts, pop-corn and chewing gum! Score card, get the line-up for today's game!"

—E. E. COLE.

CALUMET DISTRICT

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Official Paper

Associated Building Contractors of Indiana

FRED W. JUNGCLAUS, President
Indianapolis

C. C. PIERSON, Secretary
Indianapolis

ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller President
Chas. Scarborough Secretary

Office of Secretary, 710 Old State Bank

PERMITS SHOW HOME BUILDING GOING GOOD.

A steady increase in the amount of building locally during February is noted in figures obtained from building permits.

During the month ninety-one permits were issued. Money involved amounted to \$98,158. During February, 1921, 55 licenses were issued representing an expenditure of \$39,550.

Not only is the increase noted over the corresponding period in 1921, but the increase over January of this year is marked. During January 1921, sixty-six permits were issued involving the expenditure of \$85,432.

Construction of residences is playing an important part in the increase in building operations, the figures show. During the month just passed, twenty-five residences and one apartment house were licensed. Money involved in residential building during the last month totals \$66,700.

In January fourteen residences were licensed, for a total of \$49,800.

Figures would indicate that increase in residence building is along the line of moderately-priced homes. In January the average cost of houses built was \$3,557. In February the average cost was \$2,664.

OTHERS STRONG FOR APPRENTICE MOVE.

That for which the Associated Building Contractors of Indiana have stood for a long time, the encouragement of more apprentices in the ranks of the building trades, has also been endorsed by the Associated General Contractors of America. The national association came out strong for this proposition, calling for a committee survey of the building labor situation and recommending that the encouragement of more apprentices be agitated.

Since the A. B. C's., of Indiana has stood strongly for more apprentices right along, the action of the national association only goes to show that the A. B. C's., are right out in front all the time when it comes to the important questions that are confronting the building industry.

BUILDING ACTIVITY HINTED FOR CADICK SITE.

It begins to look as if there would be something doing on the new Cadick Theater building which has been standing half completed since those back of the project ran into financial troubles. This building is situated on one of the advantageous corners in the business district and Mayor Bosse who has become interested in the project has intimated that the construction work may be started again as soon as the plans can be revamped to provide for an apartment hotel.

FT. WAYNE

BUILDERS' EXCHANGE
Member State A. B. C.

Max Irmscher President
Eph Dailey Secretary
825 Calhoun St.

Phone 2001

A NEW INTERPRETATION.

"The hammer has been used as the sign and symbol of the 'knocker.' Just now that is a mistake. Today the hammer is the sign and symbol of hope and courage. It is a talisman to every person, whether engaged in selling or manufacturing, in the arts or sciences, and its sturdy steel face on nail-head or timber, on brick or stone, on steel-beam or marble block is the most cheering music that could fall upon the ear. The hammers are out, not for knocking but busy at reconstructing the commercial and industrial edifice which tottered from the shock of war, but did not fall and never was in danger of falling, and all men are interested in this rat-a-tat-tat sing song of the hammer for it means that real reconstruction is going on; it is the overture, a breaking of the silence, marking the end of that which we have had to endure and ushering in the beginning of what we may expect to enjoy—better business."—(John Sulzer Jr., manager Ft. Wayne Builders' Supply Co.)

ANOTHER LANDMARK GOES INTO THE DISCARD.

Progress demands its toll and when the demand comes it means that the community is going ahead. Ft. Wayne each year has contributed to that toll and now another payment has fallen due, and while the fulfillment may cause a straining at the chords of sentiment, nevertheless, there is no citizen who would allow that to hold Ft. Wayne back.

Into the maw of Progress must go the old Ft. Wayne High School on East Wayne street, an edifice built in 1868, and at the time, and for years afterward, considered the last word in up-to-date school construction. The passing years with the attendant growth of Ft. Wayne saw the demand upon the old high school increase until it failed farther to meet the needs of the city and the new South Side High School was conceived and is now well under construction. As a result the curtain was rung down on the old high school which is being razed to make room for a new \$1,000,000 hotel and theatre, eight stories high, 150 ft. by 178 ft., of 200 rooms, with a theatre provision having 3,000 seating capacity. Bids for the construction of the new building are now being received by the owner, The Consolidated Realty and Theatre Corporation, Kahn Bldg., Indianapolis. J. E. O. Pridmore, Chicago, is the architect.

DIMENSION STUFF.

The sale of a lot in the Harrison Hill District to W. C. Glass, of the Dudlo Manufacturing Co., probably means a new home on that site some time this season.

R. E. Grodrian has in mind a residence to be built on a lot on Smith street, that he purchased recently.

George C. Marth has awarded the contract for a \$7,000 bungalow in the Forest Park addition. Work is to start at once.

General contractors Buesching & Hagerman are soon to start construction operations on a \$40,000 store and office building at 123 W. Wayne street, for Julia E. Emanuel.

Big improvements under way or planned soon to be carried out by the Indiana Service corporation on its city street car lines and at its power plant promise great things for the future of Ft. Wayne.

FEBRUARY BUILDING IN FT WAYNE FALLS BEHIND OPERATIONS IN FEB. 1921.

Though Ft. Wayne in February failed to reach the building record made during the corresponding period in 1921 in the amount of estimated costs of building operations started, the prospects for future work is good and no one is discouraged by the past month's showing. Building activity locally for February was ahead of the January figures, 47 permits to 42 and \$191,035 as against \$136,660 in estimated valuations.

INDIANAPOLIS

Building Contractor's Association
Member State A. B. C.

F. W. Junglaus.....President
C. C. Pierson.....Secretary

MEETINGS.

Executive Committee meets second Tuesday each month.

General Contractors meet second Friday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

ALL READY FOR THE CONVENTION OF INDIANA SANITARY ENGINEERS.

And now comes the annual convention of the Indiana Sanitary Engineers to be held at the Claypool Hotel, Indianapolis, March 13th, 14th and 15th. The convention committee, headed by Vice President Harry Callon, has been busy for several weeks whipping things into shape for a big time and everything is ready for the ringing up of the curtain Monday morning. The word has been received at headquarters that the plumbers and heating contractors with their wives, are preparing to descend upon

BUILDING RETURNS FOR FEBRUARY SUBSTANTIAL GAINS SHOWN BY B FROM INDIANA'S LEADING CITIES.

Building construction throughout Indiana during the month of February was good, according to the reports from the cities that maintain building inspection departments and though there were a few losses in some of the cities as compared with the February, 1921, figures the returns as a whole are encouraging. The sum total of permits issued and the estimated valuation for same exceeded not only the returns for the corresponding period last year, but also surpassed the totals for January this season.

Regarding the number of permits issued; there were 948 issued in February, 1922 as against 846 in February, 1921, and 728 in January, 1922, the gains being 102 permits over February, 1921, and 220 in excess of the January, 1922, permits. As to the money involved, February, just past, out-stripped February a year ago to the extent of \$227,331, and surpassed January to the tune of \$421,714.

The cities that made the best showing in comparison with the figures of a year ago and the gains made were, Evansville, 399%, Richmond, 809%, Indianapolis, 89%, and South Bend, 18%. Ft. Wayne, Gary, Hammond and Terre Haute recorded losses in the estimated valuation of work for which permits were issued, though the latter city really issued more permits this February than for the same period last year.

Commenting on the building outlook the inspectors wrote in as follows: Edward Kerth, Evansville, "At present prospects are very promising." Oscar G. Salzbrenner, Ft. Wayne, "Very bright; looks as if prospects within the next few months, will exceed those of last year." Henry Vis, Hammond, "Things bear promise; results depend on attitude of labor." N. D. Brill, Terre Haute, "Outlook good." J. Edward Higgs, Richmond, "Prospects very bright." South Bend inspector writes, "The chances for building are fine." Gary's inspector is the only one of the crowd who holds out no hope, he says, "Prospects poor. Oh, well, it's a long way to the first of the year and maybe things will change up at Gary and make building unanimously good throughout the state before the season is over."

February Building Returns.

City	Pct.	1922		Pct.	1921	
		Est. Val.			Est. Val.	
Evansville	91	\$ 98,058		49	\$ 28,005	
Ft. Wayne	47	191,035		57	208,600	
Gary	38	115,390		57	177,955	
Hammond	19	35,050		38	135,900	
Indianapolis	576	1,170,398		512	617,834	
Richmond	24	66,000		10	7,260	
South Bend	70	85,355		67	72,955	
Terre Haute	83	111,814		56	244,260	
Total	948	\$1,720,100		846	\$1,292,769	

Indianapolis from all sections of the State, to say nothing of the manufacturers and their representatives who have signified their intention of attending.

One of the big features of the convention will be the sessions of the auxiliary to the big association; this auxiliary is composed of the wives of the men. Then, too, in addition to the convention proper there has been quite an entertainment program arranged for the delegates and visitors for the evenings.

Among the speakers for the occasion will be Mayor Lewis Shank, Indianapolis, Honorable Albert J. Beveridge, and Dr. W. F. King, of the State Board of Health.

INDIANAPOLIS BUILDING SHOWS DECIDED PICKING UP.

Building operations in Indianapolis took on renewed activity during the month of February with the result that the records at the city building inspection department for both January, 1922, and February, 1921, were excelled. During the second month of 1922, 576 building permits were issued for a total estimated valuation of over one million dollars. In January, 1922, this same item amounted to only \$580,706 and in February, 1921, it reached but \$617,834, the comparisons netting nice gains for February, 1922.

The record for permits granted, covering the above mentioned periods are, February, 1922—576, January, 1922—403, and February, 1921—512.

MUNCIE

Associated Building Contractors
Member State A. B. C.

Chas. RowePresident
J. A. Gallivan.....Secretary

314 Main Street

WOULD REVISE BUILDING CODE

There is agitation on among certain citizens that if carried through will probably result in revisions being made in the new building code of this city that was compiled and adopted a year or so ago. This agitation has been going on for some time and has been proposed to the new city council. At first the proposition met with favor until the council went further into the matter and now it is realized that the revisions will entail a great amount of labor and the council seems lost as just what to do.

The new code had many drastic changes to be enforced and some of the requirements were so at variance with the old order that had been the custom when it came to building in Muncie that they raised a storm of protest. This protest loud at first, died out for a time, smoldered and has broken out again.

The chief objection to the code has to do with certain specifications and a closer supervision of building to which some building interests object. The object of the code was to bring about better building construction and insure to the builder full value for the money invested. This procedure would greatly interfere with the profits on some investment building projects, hence, the objection.

The code also provides for the office of a city building inspection department to be presided over by a chief inspector whose duties it would be to inspect all plans and issue permits for building projects. This feature of the code has been sadly neglected, and to date there has been no such office created. Before an inspector is appointed and inducted into office there are those who are eager to get some of the clauses of the code revised so that they will not be so exacting.

PLASTERING CONTRACTOR DIES.

The local A. B. C.'s have lost another good member, one who was enthusiastic and greatly interested in the work of the association. He was David Lewis, plastering contractor, who had been engaged in Muncie building operations for the past twenty years. Mr. Lewis had been ill for several weeks.

GETTING THINGS STARTED.

General Contractor Lee Glass is getting things under way at the site for the new synagogue and will have construction work under way in a few weeks if the weather is anywhere near propitious for building.

SOON READY FOR BIDS.

The Spring building season is about to be ushered in with the figuring of two school buildings out of Architect Cuno Kibele's office. One of these is a new building at the State Normal and the other is a grade school for the city. These two projects will be out shortly for bids from the contractors.

INDIANA CONSTRUCTION RECORDER

FOR
ARCHITECT
ENGINEER

Devoted to the
Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

VOL. III

INDIANAPOLIS, INDIANA, MARCH 18, 1922

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Entered as second class matter August 29, 1919,
at the Post Office at Indianapolis, Indiana, under
the Act of March 3, 1879.

News of the Week

The asterisk (*) prefix to an item indicates ad-
ditional information to report published in pre-
vious issue.

INDIANAPOLIS.

Office Building: (Insurance Exchange). \$1-
300,000. 16 sty. & bas. 100x150. Cass Ave. near
Elizabeth St., Detroit, Mich. Archt., Merritt
Harrison & Turnock, 500 Board of Trade Bldg.,
Indianapolis. Owner, Cass Building Co., F. E.
Miller, Pres., A. C. Sommerville, Secy., 406
Hammond Bldg., Detroit, Mich. Preliminary
plans. Brick, terra cotta, steel frame, reinf.
concrete slabs, 5 high speed elevators, 1 freight
elevator, terrazzo floors, marble wainscoting,
metal windows, sidewalk lights, hollow metal
doors.

Horse Show Barn: \$75,000. Indiana State Fair
Grounds. Archt., J. Edwin Kopf & Wooling,
102 Indiana Pythian Bldg. Owner, Indiana State
Board of Agriculture, State House. Owner tak-
ing bids to close April 4th at 11 A. M.

School: \$32,000. 1 sty. & bas. 4 rooms and
auditorium. Liberty township, Tipton county,
Ind. Archt., W. H. Gains, Fletcher Trust Bldg.,
Indpls. Owner, John Cage, trustee, Sharpesville,
Ind. Plans in progress. Brick, private water and
sewage system.

Apartment Buildings (2) & Stores: 24 apts.,
2 stores. \$65,000. 2 sty. & bas. 35x85. 2 wings.
324-26 Prospect St. Archt., Thomas H. Harri-
son, 140 South Ritter Ave. Owner, David Krei-
ger, 3043 No. Illinois St. Taking bids on ma-
terial. Archt. and owner will build. Stucco and
frame.

***Tuberculosis Sanitarium** (Ambulant cottage
for men, \$25,000. Ambulant cottage for women,
\$25,750. Children's building, \$39,000. "Sunny-
side." Archt., Bass, Knowlton & Co., 801 Hume-
Mansur Bldg. Owner, Board of County Commrs.,
Leo. K. Fesler, Auditor, Court House, Indpls.
Owner taking bids to close April 5th at 10 a. m.
Brick.

Contracts Awarded.

Residence: \$18,000. 2 sty. & bas. Archt., Lee
Burns, Lemcke Annex. Owner, Elizabeth C.
Marmon, 970 No. Delaware St. General contract
let to Burns Realty Co., Lemcke Annex. Wreck-
ing old residence. Brick.

***Athletic Club:** \$1,000,000. Cor. Vermont and
Meridian Sts. Archt., Robert Frost Daggett,
Lemcke Annex. Owner, Indianapolis Athletic
Club. General contract awarded to Bedford
Stone & Construction Co., Indianapolis.

***Apartment Building** (48 apts.) 2010 No. Mer.
Archt., private plans. Owner, Van Cortland
Realty Co., Henry E. and Henry L. Dollman,
Merchants Bank Bldg. General contract let to
the Dollman Construction Co., Merchants Bank
Bldg. Start work shortly. 3 sty. & bas. 60x202.
\$150,000.

Storage Building: 2 sty. 35x85, and two service
stations: Archt., private plans. Owner, Western
Oil Refining Realty Co. General contract let to
J. G. West, 208 Castle Hall Bldg. Start work
at once. Brick.

Store (rem.) Greencastle, Ind. Owner, name
withheld. General contract let to J. G. West,
208 Castle Hall Bldg., Indianapolis.

Building Permits.

Residence: \$8,000. 36 W. 43d. Owner, Burns
Realty Co., Lemcke Annex.

Double Res.: \$7,500. 4238-40 College. Owner,
Ross Mitchell, 440 No. Delaware.

Double Res.: \$6,700. 4720-22 Guilford. Owner,
Wm. C. Gehrlein, 3019 Barnes St.

Res.: \$7,000. 3949 No. New Jersey St. Owner,
E. K. McKinney, 2957 Wash. Blvd.

Res.: \$7,000. 3725 No. Del. St. Owner, Al-
bert Sahm, % State Life Insurance Co. Contract
let to Bartholomew & Son, 326 E. 16th. Brick
vener.

Double Res.: (2) \$6,000 each. 1802 Commer.
Owner, Geo. Derleth, 426 W. McCarty. General
contract let to F. A. Rathbun, 1046 Blaine Ave.

Double Res.: (2) \$5,500 each. Owner, Chas.
Hartman, 315 E. Wash. St. General contract
let to Ed. Schmoer, 3708 E. New York St.

Duplex: \$5,500. 21 No. Wallace. Owner, Paul
V. Matkin, 306 Lombard Bldg. Frame.

Double Res.: \$9,000. 3225 College. Owner,
A. C. Rearick, % G. C. Contract let to Harrell
& Rabb Construction Co.

Residence (double) \$8,000. 230 51st St. Owner,
A. E. Glidden, 2226 No. Talbott. Brick veneer.

Res.: \$6,500. 5136 Maple Road. Owner, Edw.
H. Dalby, 3025 E. Michigan.

Res. (2 doubles): \$5,500 each. 907 No. Sher-
man Dr. Owner, W. Guy Justus, 4202 E. 10th
street.

Res.: \$7,500. 4356 Carrollton. Owner, C. F.
Stout, 315 E. Market St.

Res.: \$7,200. 5435 Pleasant Run Blvd. Owner,
H. L. Scott, % L. C. Valentine Co. Contract
let to Realtor Bldg. Co., Lemcke Bldg.

Res.: \$8,000. 246 Hampton Dr. Owner, M. M.
Miller, 604 Fletcher Trust Bldg.

Res.: \$6,500. 3563 Carrollton. Owner, R. E.
McCreary, 3429 Carrollton. Contract let to
W. F. Parrish, 2458 No. Delaware.

Apartment: \$6,000. 2241 N. W. Owner, For-
est M. Knight, 1203 W. 34th.

Res.: (double) \$7,500. 3029 Ruckle. Owner,
Wm. F. Steck, 1005 W. Michigan.

BLUFFTON.

***High School:** \$160,000. 2 sty. 140x240.
Archt., Everett I. Brown. Owner, Board of Edu-
cation, H. F. Kain, Pres., Stella Vaughn Pat-
ton, Secy. Owner taking bids to close April 1st
at 10 a. m. (See legal advertising in this issue.)

Church: \$25,000. Ege, Indiana, Laotto Post
Office, Noble County. Archt., Ferd Nusbaumer,
Bluffton. Owner, Immaculate Conception Par-
ish, Rev. Father R. Donnelly, Pastor, Ege, Ind.
(Laotto P. O.) Plans in progress. Owner will
buy brick at once. Brick, steam heat, art glass.

ELKHART.

Hotel: \$125,000. 2 sty. & bas. 150 rooms.
Cedar Lake, Ind. Archt., R. L. Simmons,
Beardsley Bldg., Elkhart. Owner, O. C. Harris,
1407 Michigan Ave., Chicago, Ill. Plans in pro-
gress. Brick, stucco, concrete and steel, built-up
roof, vapor heat, private water, lighting and
sewage systems. The above is an apartment ho-
tel, each suite is owned by a stockholder.

***Residence:** \$7,000. Archt., A. H. Elwood &
Son. Owner, D. E. Bussler. Taking bids. Brick
vener.

Contracts Awarded.

***School:** \$55,000. 2 sty. 85x56. Morgan Twp.
Porter County, Ind. Archt., R. L. Simmons,
Elkhart. Owner, John Bell, Trustee, Valpara-
iso. General contract let to Foster Lumber
Co., Valparaiso, Ind.

EVANSVILLE.

High School: \$40,000. French Lick, Indiana.
Archt., Clifford Shoppell & Co., Evansville, Ind.
Owner, Board of Education, French Lick, Ind.
Plans in progress. Brick.

School (4 rooms and auditorium add. and rent.)
Knight Township, Vanderburg County, Ind.
Archt., Alfred E. Neucks, 515-16 Woods Bldg.,
Evansville. Owner, Fred Mann, Trustee, R. R.
No. 4, Evansville. Plans in progress. Brick,
stone trim, D. I. heating.

Residence (Suburban) Archt., Alfred E. Neu-
cks, 515-16 Woods Bldg. Owner, Wm. Kreyling,
813 Washington Ave. Plans in progress. Frame,
1 sty. Private water, light and sewage system.

Theater (M. P.) \$5,000. 1 sty. 35x100. Ar-
thur, Ind., near Winslow, Ind., R. R. No. 4.
Archt., Fritz Anderson, Evansville. Owner, Mrs.
Anna Ross, R. R. No. 4, Winslow, Ind. Plans
in progress. Brick, furnace, built-up roof.

(Continued on Page 7)



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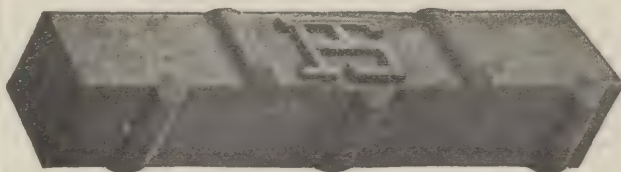


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FT. WAYNE.

School: \$60,000. Spartanburg, Ind. Road from Crete, Randolph county, Ind. Archt., Mahurin & Mahurin, W. Jefferson St., Ft. Wayne. Owner, Francis M. Potts, Trustee, Greensfort Twp., Winchester, Ind., R. F. D. Plans in progress. Brick.

*School: \$140,000. North Manchester, Ind. Archt., Chas. R. Weatherhogg, Ft. Wayne. Owner, Board of School Trustees, North Manchester. Owner taking bids to close April 10th (See legal advertising this issue.)

Church: \$20,000. Kendallville, Ind. Archt., Chas. R. Weatherhogg, Ft. Wayne. Owner, Church of the Immaculate Conception, Rev. Father Robert Haplin, Kendallville. Plans in progress. Brick.

Store & Office Bldg.: 122 West Wayne. Archt., Chas. R. Weatherhogg. Owner, Brown Cooper, Utility Building. Plans in progress. Brick.

Residence: \$25,000. Fulton & Berry Sts. Archt., A. M. Strauss, Shoaff Bldg. Owner, Charles Goodman. Plans in progress. Brick.

Residence: \$15,000. 2 sty. & bas. Archt., A. M. Strauss, Shoaff Bldg. Owner, Dr. M. C. Ross. Plans in progress. Brick.

Residence: \$15,000. 2 sty. 40x37. Auburn, Ind. Owner, Dr. F. N. Heinz. Auburn. Archt., Guy Mahurin, Lincoln Life Bldg., Ft. Wayne. Plans in progress. Brick veneer, tile roof, hot water heat.

Residence: \$8,000. Garrett, Ind. Archt., A. M. Strauss, Shoaff Bldg., Ft. Wayne. Owner, Harry Bridgling, Garrett, Ind. Plans in progress.

Residence: 2 sty. & bas. 34x36. Lawton Place. Archt., Perry W. Fair, Bass Bldg. Owner, W. A. Stockmann, 724 Lawton Place. Plans in progress. Brick and stucco, slate roof.

Duplex Residence: Archt., Perry W. Fair, Bass Bldg., Ft. Wayne. Owner, Wallace Grayson, Huntington. Owner taking bids.

Parochial School: (rem.) \$20,000. Archt., Guy Mahurin, Lincoln Life Bldg. Owner, St. Patrick's R. C. Congregation, Rev. J. F. Delaney, Pastor. Plans in progress. 2 sty. addition. Brick, steam heat, slate roof.

Contracts Awarded.

*Office Bldg.: \$70,000. Archt., Chas. R. Weatherhogg. Owner, Wayne Oil Tank & Pump Co. General contract let to Max Irmischer & Son, all of Ft. Wayne. Brick.

*Department Store: 4 sty. & bas. Archt., Henry W. Meyer, 615 W. Jefferson. Owner, A. Weil, 614 West Wayne. Low bidder on general contract, Henry Kaiser, 1728 Spy Run Ave. Probably award contracts soon.

*School: Kimmel, Ind. Archt., Chas. R. Weatherhogg, Ft. Wayne. Owner, Perry W. Kiser, Trustee, Cromwell, Ind. General contract let to H. B. Fuller, Wolf Lake, Ind.

*Bank Bldg.: \$40,000. Archt., private plans. Owner, Broadway State Bank. General contractor, Indiana Engineering & Constr. Co. Work started. Brick.

*Apartment Bldg.: \$10,000. Archt., A. M. Strauss, Shoaff Bldg. Owner, Louis Novitsky, Erie St. General contract let to W. S. Roebuck, Frame.

Sisters Home: \$20,000. 710 W. 4th St. Archt., private plans. Owner, Catholic Church, 710 West 4th St. General contract let to Peter Schenkel

LAFAYETTE.

Residence: \$10,000. 2 sty. & bas. Archt., Kashner & Gault, Wallace Block. Owner, Edgar Andrew, % Archt. Plans in progress. Brick veneer.

Residence: \$10,000. 1 sty. & bas. 30x44. Archt., Kashner & Gault, Wallace Block. Owner,

Oscar Winski, 1319 Elizabeth St. Plans in progress. Brick veneer.

RICHMOND.

Residence: 2 sty. & bas. No. 13th St., Richmond. Archt., George W. Mansfield, 336 Colonial Bldg., Richmond. Owner, Perry J. Moss, Eaton, Ohio. Plans in progress. Ready for bids about April 1st. Brick, tile roof, tiled bath room, vapor heat.

Bungalow: Eaton, Ohio. Archt., George W. Mansfield, 336 Colonial Bldg., Richmond. Owner, Rehuss Sisters, Main St., Eaton, Ohio. General contract let to Becker Bros. & Riley, Eaton, Ohio.

Residence: (rem.) Kitchell, Ind. Archt., Geo. W. Mansfield, 336 Colonial Bldg., Richmond. Owner, Frank Toney, Kitchell. Plans in progress. Work will consist of exterior stucco, asbestos roof, vapor heat.

SOUTH LUND.

*Old Peoples Home: \$150,000. New Carlisle, Ind. "Haven Hubbard Home for Old People." Archt., Freyermuth & Maurer, 654 Farmers Trust Bldg., South Bend. Owner, Evangelical Congregation. % Dr. Garfield Johnson, 1412 So. Carroll St., South Bend. Archt. receiving bids to close March 27th. Brick, 2 sty. 276x45 and 49x50.

*School (add.) Penn School Township, St. Joseph county, Ind. Archt., W. W. Schneider, So. Bend. Owner, Henry C. Eggleston, Trustee, 109 1/2 Lincoln Way, Mishawaka, Ind. Owner receiving bids to close March 28th at 7 P. M.

*Hospital (side addition 3 sty. 100x190.) "St. Joseph County Hospital." Archt., Freyermuth & Maurer, 654 Farmers Trust Bldg. Owner, Board of County Commrs. Plans in progress. Brick.

Residence: 2 sty. & bas. 49x30. Archt., W. W. Schneider. Owner, J. J. McErlain. Plans in progress.

Store and Offices: 2 sty. 22x80. Archt., W. W. Schneider. Owner, E. E. Wells, 1505 W. Michigan. Archt. taking bids. Brick.

Contracts Awarded.

Residence: \$25,000. 2 sty. Eddy St. Archt., Austin & Shambleau, 111 No. Lafayette. Owner, W. C. Sibley. General contract let to H. G. Christman Co. Frame.

TERRE HAUTE.

*Hospital (Children's Bldg., \$100,000; Supt. & Nurses Cottage, \$25,000.) Rockville, Ind. Archt., Shourds-Stoner & Co., Terre Haute. Owner, Bd. of Trustees, Indiana State Sanatorium, Rockville, Ind. General contract awarded to Ben Bright, Clinton, Ind.

Contracts awarded.

*Boys Dormitory: \$50,000. 2 sty. & bas. 40 x 78. "Allendale," Terre Haute. Archt., Shourds-Stoner Co., 511 Tribune Bldg. Owner, Gibault School for Boys, Allendale, Terre Haute, Ind. General contract let to Roehm Bros., 30 No. 5th St., Terre Haute.

VINCENNES

*School: \$53,000. Flora, Ill. Archt., L. H. Osterhage and Byron Sutton, Citizens Trust Bldg., Vincennes. Owner, Board of Education. General contract let to Baird & Vail, Sumner, Ill. Htg. and plmg. let to V. R. Smith, Albion, Ill. Electric work let to Cannon & Fields, Vincennes.

MISCELLANEOUS CITIES.

*Laporte: School, \$46,000. Pleasant Township, Laporte County, Ind. Archt., Geo. Allen & Son, Laporte. Owner, Fred Draves, Trustee, Stillwell, Ind. Owner taking bids to close April 10th, at 11 a. m.

Contracts Awarded.

*Kokomo: 2 schools, \$22,000 & \$18,000. Butler township, Miami county, Ind. Archt., Elmer E. Dunlap & Co., Kokomo. Owner, Willis Compton, trustee, Perry, Ind., R. R. No. 11. General contract let to L. E. Wickersham, Logansport, Indiana.

Sealed Proposals**SCHOOL HOUSE
NOTICE TO CONTRACTORS.**

Notice is hereby given, that the undersigned, Trustee of Moral School Township, Moral Township, Shelby County, Indiana, will until the hour of two o'clock P. M. April 3rd, 1922 at the office of the said Trustee in the Town of Pleasant View, Moral Township, Shelby County, Indiana receive sealed bids for the erection, construction, and completion of a Township Joint High and Elementary School Building; for the installation of a heating and ventilating system therein; a plumbing, sewer and lighting system therein and connected therewith; located in the Northeast corner of Section 19, Township 14 North and Range 6 East in said Moral Township, Shelby County, Indiana; all in accordance with the drawings, plans and specifications therefor, adopted and approved by the said Trustee and the Advisory Board of said Township, and as prepared by J. Edwin Kopf and Wooling, Architects and Engineers, Indiana Pythian Building, Indianapolis, Indiana, and now on file at the office of said Trustee and the said Architects and Engineers, as well as the Office of the State Board of Accounts, Indianapolis, Indiana.

Bidders desiring duplicate copies of the drawings and specifications for their personal use may obtain same by depositing \$25.00 for the general construction documents and \$15.00 for the documents of each of the other branches; which deposits will be refunded if the drawings and specifications are returned in good condition on or before the time above set for receiving bids.

All bids must be on forms prescribed by the State Board of Accounts and must be accompanied by a certified check of not less than three percent of the gross bid submitted; payable to the said Trustee of said Moral Township, Shelby County, Indiana, and shall be forfeited to the said Moral School Township as agreed and liquidated damages, in the event that the successful bidder fails to enter into a proper contract for the work bid upon and to give the proper surety bond, within ten days from the acceptance of such bid; and upon his executing contract and giving bond the check of the successful bidder will be returned. Checks of the unsuccessful bidders will be returned.

Within ten days from the acceptance of bids, the successful bidders will be required to enter into a written contract to construct and complete the work covered by the bids, including the furnishing of all material and the performing of all work in conformity with the said drawings and specifications on file in the said Trustee's Office, and also to furnish at the same time proper bonds with approved security.

All branches and the whole of the work herein mentioned must be completed on or before September 15th, 1922.

The Advisory Board of said Township shall attend the opening of bids and the letting of the contracts; and said Advisory Board and Trustee reserve the right to reject any and all bids.

(Continued on page 8)

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HARRY BARRETT,
 Trustee Moral School Township,
 Shelby County, Indiana.
 March 11-18-25.

SCHOOL HOUSE NOTICE TO CONTRACTORS

Sealed Proposals will be received by the Board of School Trustees of the School Town of North Manchester, Indiana, up to one o'clock P. M. on Monday the 10th day of April, 1922, at the office of the Board of School Trustees of the School Town of said town in what is known as the Central School Building of said town, for the CONSTRUCTION of a Two story brick public school building in the town of North Manchester, Indiana.

Also sealed proposals will be received for the plumbing, heating and wiring the said building at said town.

All are to be constructed with plans and specifications furnished by Charles R. Weatherhog, Architect, Fort Wayne, Indiana. Said building estimated to cost complete one hundred forty (140) thousand dollars. Each bid must be made out on form prescribed by the State Board of Accounts and are to be accompanied by certified checks as follows:

General contract, five hundred (500) dollars.
 Plumbing and water system, three hundred (300) dollars.
 Heating and ventilating, three hundred (300) dollars.

Wiring one hundred fifty (150) dollars.
 Checks to be made to Ira A. Mummert, Treasurer of said School Board, as a guaranty of good faith to enter into a contract satisfactory and acceptable to the said school board. All checks to be returned as soon as satisfactory contract is signed and bond approved.

The successful bidder will be required to furnish a good and sufficient bond amounting to the full

amount of the contract price the same to be satisfactory to the Board of School Trustees and approved by them and their attorney. Said bond to be a guaranty for the faithful performance of the work, and to pay for all labor and material according to the contract and said plans and specifications on file. All bids to be accompanied by a non-collusion affidavit. Plans may be seen at the office of the Board of School Trustees at the Central High School Building in said town or at the office of Charles R. Weatherhog, Architect, Fort Wayne, Indiana.

The Board of School Trustees reserve the right to reject any and all bids.

Bids will be opened publicly at said Central School Building on said date.

The Board of School Trustees of the Town of North Manchester, Indiana.

By

ISAAC OPPENHEIM
J. H. MILLER
I. A. MUMMERT,
 Trustees.

NOTICE TO CONTRACTORS.

Notice is hereby given, that the undersigned, Board of School Commissioners, School City of Shelbyville, Shelby County, Indiana, will until the hour of two o'clock P. M., Monday, March 27th, 1922, at the office of the said Board, in the city of Shelbyville, Indiana, receive sealed bids for the erection, construction and completion of a Grade School; for the installation of a heating and ventilating system; a plumbing system, a sewer system; and an electric lighting system; located on the school property at Franklin and Pike Streets, Shelbyville, Indiana; also for the erection, construction and completion of a Physical Training and Agricultural Building; for the installation of a heat-

ing system; a plumbing system; a sewer system and an electric lighting system; located on the present high school grounds and all in accordance with the drawings and specifications adopted by the said Board, and as prepared by J. Edwin Kopf and Woolling, Architects and Engineers, Indiana Pythian Building, Indianapolis, Indiana, and now on file at the office of the said Board and the said Architects and Engineers, as well as the office of the State Board of Accounts, Indianapolis, Indiana.

Bidders desiring duplicate copies of the drawings and specifications for their personal use may obtain same by depositing \$25.00 for the general construction documents and \$15.00 for the documents of each of the other branches; which deposits will be refunded if the drawings and specifications are returned in good condition on or before the time above set for receiving bids.

All bids must be on forms prescribed by the State Board of Accounts and must be accompanied by the gross bid submitted, payable to the Board of School Commissioners, School City of Shelbyville, Indiana, and shall be forfeited to the said School City as agreed and liquidated damages, in the event that the successful bidder fails to enter into a proper contract for the work bid upon and to give the proper surety bond, within ten days from the acceptance of such bid. Checks of the unsuccessful bidders will be returned, and upon his executing contract and giving bond the check of the successful bidder will be returned.

Within ten days from the acceptance of bids, the successful bidders will be required to enter into a written contract to construct and complete the work covered by the bids, including the furnishing of all material and the performing of all work in conformity with the said drawings and specifications on file in the said Boards Office, and also to furnish at the same time, proper

(Continued on page 9)

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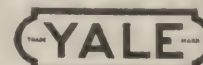
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bonds with approved security.

All branches and the whole of the work herein mentioned must be completed on or before September 15th, 1922. The estimated cost of the Grade School is \$91,000; the estimated cost of the Physical Training and Agricultural Building is \$45,000.

The Board reserves the right to reject any and all bids.

Dated this 2nd day of March, 1922.

D. WRAY DE PREZ, President,
ELIZABETH DAVIS, Treasurer,
BAYARD G. KEENEY, Secretary,
Board of School Commissioners,
School City of Shelbyville, Ind.

Mar. 4-11-18.

SCHOOL HOUSE

NOTICE TO BIDDERS.

Notice is hereby given that on the 1st day of April, 1922, at the office of the Superintendent of Schools of the City of Bluffton, Indiana, at the hour of 10 o'clock A. M., the undersigned School City of Bluffton, Indiana, will receive bids for the erection and construction of a two story and basement brick high school building and for furnishing material and the performance of all labor required for the general construction, plumbing, heating, ventilating, making sewer connections, and electric wiring of the same, according to plans, specifications and details now on file in the office of Everett I. Brown, architect, Bluffton, Indiana, and with the State Board of Accounts, State House, Indianapolis, Indiana. Separate proposals will be considered on the general contract, heating and ventilating system, plumbing, and electric wiring, or on any combination including all or part of the same. All bids must be submitted on forms as prescribed by the State Board of Accounts or they will not be considered, and the right is expressly reserved to reject any or all bids. Each bidder must deposit with his bid a certified check made payable to the School City of Bluffton, Indiana, in an amount equal to five per centum of his bid. In the event the bidder fails or refuses to enter into a contract and bond if a contract is awarded to him, within ten days after notice of the acceptance of his bid, said check, and the amount of money represented thereby shall become the property of said School City, which sum is agreed upon as liquidated

damages for the failure of the bidder to enter into the contract and furnish bond for his faithful performance.

The said School City reserves the right to hold the lowest and best bids open until such time as they shall have contracted for the sale of bonds covering the cost of construction of said building and all expenses incident thereto without waiving any provisions herein, provided said contracts shall be held open for a period not exceeding sixty days after the awarding of contracts.

Said School City reserves the right to waive any defects or informality in any proposal or bid if it be deemed by said School City advisable to do so.

The estimated cost of said school building complete as provided in the plans and specifications is one hundred and sixty thousand (\$160,000.00) dollars.

Plans and specifications may be obtained at the office of the architect under such conditions as he may impose.

Dated this 2nd day of March, 1922.

SCHOOL CITY OF BLUFFTON, INDIANA.

By

H. F. Kain, President.
Homer R. Gettle, Treasurer.
Stella Vaughn Patton, Secretary.

March 18.

MEMORIAL BUILDING

NOTICE TO CONTRACTORS.

Notice is hereby given that the Board of Trustees of the Batesville Memorial, Batesville, Indiana, will, until the hour of 10:30 A. M., on Friday, the 31st day of March, 1922, at the office of said Board at 5 Batesville Bank Building, Batesville, Indiana, receive sealed bids, and then to be opened for a general contract for the furnishing of all material and labor for the erection, construction, and completion of the Batesville Memorial at Batesville, Indiana, including heating, plumbing, ventilating, water system, and electric wire for said Memorial Building, all of which is to be in accordance with the plans and specifications therefor, which have been approved by the State Board of Accounts of the State of Indiana, and which said plans and specifications are on file in the office of said Board of Trustees at 5 Batesville Bank Building, Batesville, Indiana, and copies of said plans and specifications for all said con-

struction and work may be had at the office of Karl P. Henkel, Architect, at 103 Heinemann Building, Connersville, Indiana, and may also be inspected at the office of said Board of Trustees at 5 Batesville Bank Building, Batesville, Indiana. Proposals shall be submitted, first, for the complete general construction of said building; second, heating and ventilating; third, plumbing and water system; fourth, electric wiring, and each bid shall be separate and distinct from any other bid. All bids and proposals shall be on forms prescribed by the State Board of Accounts. All bids must be in writing, sealed and with the envelope endorsed, giving the name of the bidder and the class of the work bid upon, and all bids will be opened and read publicly at the time and place fixed in this notice. Each bid for the general construction shall be accompanied by certified cashier's check of a responsible bank for the sum of five hundred (\$500.00) dollars. Each bid for heating and ventilating, plumbing and water system, and electric wiring shall be accompanied by a certified cashier's check of a responsible bank for the sum of one hundred (\$100.00) dollars. These checks must be made payable to the Board of Trustees of the Batesville Memorial, and will be held by them as a guarantee of good faith that said bidder or bidders will enter into contract and execute bond by the Board of Trustees for the performance thereof if their bid or bids are accepted. The checks of those bidders who failed to be awarded contracts shall be returned to them when the contracts are let.

Should the successful bidder or bidders fail to enter into such contract and fail to execute such bond they or he shall forfeit the amount of said certified check as liquidated damages for the use and benefit of the proper fund of the Batesville Memorial, Batesville, Indiana.

The Board of Trustees reserve the right, and contractors bidding for said work must bid with the understanding and condition that the Board may reject any and all bids received, and said Board of Trustees reserve the right to take time to investigate the bids and the qualifications of the bidders, and reserve the right to determine for themselves what bid may be accepted for said work and what bids may be rejected. The limit of time to be allowed the said Board of Trustees for proper investigation of bidders shall not be

(Continued on Page 11)

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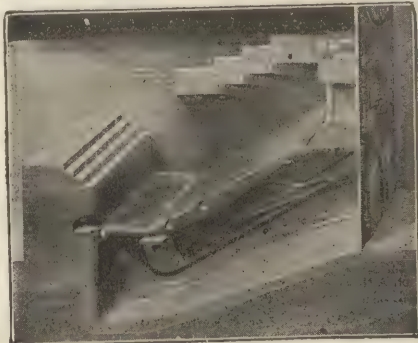
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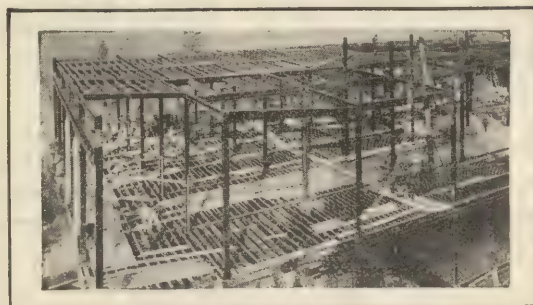
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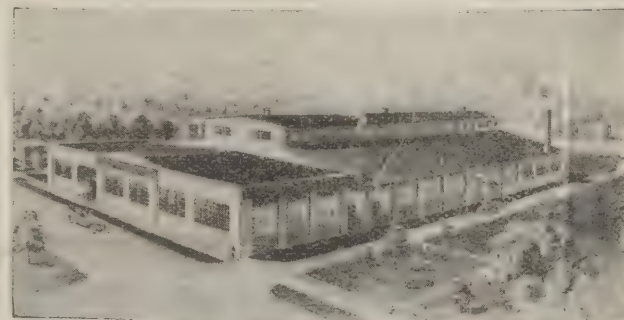
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INDIANA CONSTRUCTION RECORDER

less than seven (7) days from the date of receiving bids. The estimated cost of the construction and completion of said Memorial, in accordance with the plans and specifications therefor, is fifty-four thousand (\$54,000.00) dollars.

Before the closing of a contract with any contractor for the construction and completion of said building, the Board of Trustees will require that such contractor or contractors furnish to said Board of Trustees a certificate from the Industrial Board of Indiana, showing that said contractor has complied with Section 68 of the Workmen's Compensation Act of Indiana, and such contract when entered into, and the bond to be furnished by such contractor shall contain a condition and agreement to empower the said Board of Trustees to withhold from the contract price sums sufficient with which to pay all claims of laborers, material men, and sub-contractors, as well as claims for labor and material furnished to contractors, and to pay all such claims out of such funds as provided by the Acts of the General Assembly of the State of Indiana.

Payment to the contractors upon estimates made as the work progresses and final payment shall be made as set and fixed in the specifications for said work.

Each bidder shall file with his bid the statutory affidavit required under Section 8698, Burns Revised Statutes of the State of Indiana, 1914.

Copies of the plans and specifications may be obtained from the office of the Architect, Karl P. Henkel, 108 Heinemann Building, Connersville, Indiana, upon deposit of twenty (\$20.00) dollars for each set. Said deposit shall be returned to the bidders upon the safe return of said plans and specifications free of cost, to the office of said Architect on or before the day and hour set for receiving bids. Each bidder receiving plans and specifications will be required to submit a bid or bids to the said Board of Trustees, or failing to do so, the deposit for plans and specifications shall be retained for the proper fund of the Batesville Memorial, Batesville, Indiana.

MICHAEL F. BOHLAND
WILLIAM H. SCHWIER, JR.
MRS. TORA McCALLUM
ANTHONY W. ROMWEBER
HARRY C. CANFIELD,

Board of Trustees of the Batesville Memorial, Batesville, Indiana.

March 11-18-25.

SCHOOL HOUSE NOTICE TO BIDDERS.

Notice is hereby given, That the Miller & York Township Consolidated School Board, Dearborn County, Indiana, by their Advisory Boards, Trustees and The School Board thereof will receive seal bids at the office of the County Superintendent of schools in the city of Lawrenceburg, Indiana, until 12 o'clock Noon, of Tuesday, March 28, 1922, at which time and place same will be opened, read and considered for the construction of a school building, and for the installation of heating and ventilating system for said building, and for a complete wiring system, and the same for the uses of said Townships therein; and all by and according to the plans and specifications as provided thereof approved by said Board and by the State Board of Health and the State Board of accounts. The plans and specifications are on file for the inspection of bidders at the office of the County Superintendent who is a member of this School Board, and at the office of the Architect, Karl P. Henkel, No. 108 Heinemann Bldg., Connersville, Indiana, and duplicates of plans and specifications are available for bidders for their personal use upon deposit of \$15.00 with the Architect to guarantee the return of same on or before the opening of bids, it being understood that all checks will be cashed if not redeemed by the return of plans and specifications within ten days after the date of opening of bids.

Bidders must familiarize themselves with such plans and specifications before bidding, as no departure from same will be considered.

Bidders on submission of bids will submit same as follows:

- (1) For the general construction of the school building, (general contract).
- (2) For the installation complete of heating and ventilating system.
- (3) For the installation complete of plumbing and sewerage disposal.
- (4) For the installation complete of electric wiring system.
- (5) For all work inclusive as is comprehended

by the plans and specifications.

In this way the bidder will only be required to submit his bid for such portion or portions of total improvement as he may desire. Special attention is called to the provision of alternate positions by bidders and the desired receipt of alternate proposals.

All bids and proposals must be upon the form prescribed by the State Board of Accounts; and all bids must be accompanied by a certified check of the bidder in the sum equal to at least two per cent of the gross bid however a certified check of \$100 will be required from the heating and ventilating contractor and \$100 from the plumbing and sewerage contractors, and \$100 for the electric wiring contract.

This is to guarantee that the contractor will enter into a written contract with sufficient and approved security if he is the successful bidder. Unless bids are accompanied by such check and upon such forms no attention will be given same.

The successful bidder will be required to enter into his written contract, and also to deliver his bond with approved security, in the sum equal to the amount of the contract, as usually conditioned upon faithful compliance with terms of contract.

The bidder will be required by terms of contract to complete the same within not to exceed two hundred working days therefrom.

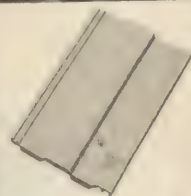
Immediately following the acceptance of any bid, the School Townships will file their application with the State Board of Tax Commissioners petitioning for approval of bond issue in the sum sufficient to procure funds with which to make payments for all work contemplated, and execution of contract with successful bidders will abide the approval of such application.

The Board reserves the right to reject any or all bids without giving any further reason therefor.

NICHOLAS VOGELGESANG,
ALFRED J. WOODS,
GEORGE C. COLE,

Constituting Board of the Consolidated Township School for York and Miller Townships.

March 11-18-25.



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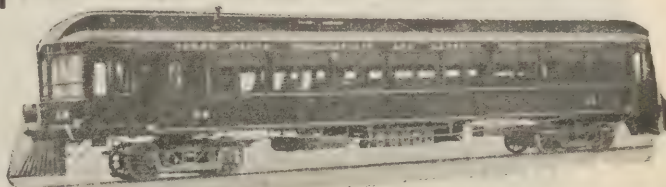
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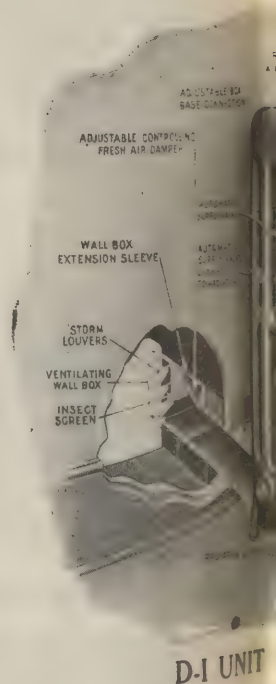
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many - Indianapolis

The Burnham School pictured below has 29 class rooms, rest rooms and offices. It was completed in 1921. **Architects:** Ashby, Ashby and Schulze, Chicago, Illinois; **General Contractors:** Schmidt Bros. Const. Co., Chicago, Illinois; **Heating and Ventilating Contractors:** H. W. Keppner, Cicero, Illinois.



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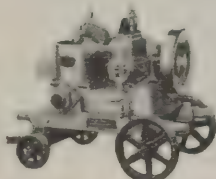
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Official Paper

Indiana Society of Architects

Office of the Secretary
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Indianapolis, Ind.

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A CRITICISM OF BUILDING CODES

(W. K. Eldridge, Architect, Indianapolis)

All Building Codes of which I have any knowledge, are false in principle and faulty in detail.

False in principle, because they go beyond the proper province of government. The province of government is to prevent one individual from encroaching on the rights of another. It is not the proper province of government to require the people to follow such plans as may, in the judgment of a legislative body, be best for them.

For example, if a man should instal in his house a heating system which would heat a few rooms part of the time and a few other rooms another part of the time, which would be extravagant in fuel and troublesome to manage, government has no proper right to interfere, with penalty of fine or imprisonment. The indicated treatment is educational, not legislative.

Our Building Code, in common with those of other cities, is false in principle because it assumes that the best method of building is fully known, and has been incorporated in that Code; so that therefore all men can, by law, be required to adopt the same and should be forbidden to use anything else.

But such an assumption is entirely false. The science of building has not yet reached the limit of its advancement. Science is not stagnation, but progression. Such rules and regulations as are necessary to insure safe building should be fluid, not frozen. The science of yesterday is the superstition of today and the amused tolerance of tomorrow.

Legislation on these lines is false in principle, because it can not be, in the nature of things, anywhere near up to all that is known. By the time a new idea has been evolved, has secured recognition among progressive experts, has compelled recognition among conservatives, and has finally reached adoption by some legislative body, it may be hopelessly out of date.

Legislation along these lines is false

in principle, because it stops all progress, all introduction of new ideas, and ties the people to the dead ideals of the past, and can only be corrected by slow and cumbersome legislative processes.

The buildings you architects designed in 1912 were, you thought at that time, good; you think so yet, and rightly; but you did not follow exactly the same ideas in 1913, and in some matters you are far from those ideals today. You have learned something in the interim, and are able to do better. But, had your plans for 1912 been enacted into a penal law, the plans you now design could not be any better than those of 1912. All progress would have been stopped. You may have designed better plans in 1913 than in 1912, but you are not slavishly following your 1913 plans this year. You have been learning; and you purpose, if permitted to do so, to embody that learning in your plans for this year. But a Code such as we now have makes it unnecessary to learn anything new, because you can not use it without placing yourself in the shadow of the law's penalties.

It may be said that this is all right for men who are progressive, but that some men never learn. Granted. But if a Code is of such a nature that progress is made impossible, for those who are progressive, what progress will be made by anybody? If it were possible to enact a Code made in accordance with even the latest that has been worked out, (and this is humanly impossible), it would simply be an enactment to keep building science in the same condition forever.

Let legislative bodies, from City Councils up, confine their activities to their proper province of preventing individuals from encroaching on the rights of others, and leave science and education a free field for proper development. (Paper read at meeting of Indianapolis Architects' Association.)

DIRECTORS MEET.

The Board of Directors of the I. S. A. met at Indianapolis, Saturday, March 11th, and disposed of considerable routine business. Those present were H. M. Griffin, Connorsville, A. F. Wickes, Gary, Warren D. Miller, Terre Haute, and Fermor S. Cannon, Charles

Bacon, Donald Graham, Merritt Harrison, Herman Scherrer, Kurt Vonnegut, Indianapolis.

The action of the War Memorial Board in selecting Thos. Kimball, Omaha, Neb., was discussed and passed upon favorably except by a couple of those present. Charles Bacon, chairman of the Public Action Committee, was called upon for a report as to what progress had been made by the contractors toward arriving at an amicable working agreement with the Building Trades Unions. He said that negotiations were pending but no definite decision had been reached at this time.

A letter from Director Sharpe of the Housing Division of the State Board of Health was read in which he requested that Indiana architects co-operate with him in the enforcement of the Indiana Housing Law. The secretary was instructed to communicate with Mr. Sharpe and inform him that the Society was in accord with his efforts.

Architect A. F. Wickes, Gary, was appointed a delegate to represent the I. S. A., at the annual convention of the A. I. A., at Chicago in May. It was moved that, since there was nothing really important before the Society and the busy season for the architects is at hand, the April meeting be postponed, the next meeting of the Society to be held the second Saturday in May.

The application of Charles Lembke, Valparaiso, for membership was received and acted upon favorably.

IN NEW QUARTERS.

Architects Clarence Myers and Kenneth Coffin, Indianapolis, have removed their office from 412 Traction Terminal Bldg. to 413 Pennway Bldg., 214 N. Pennsylvania street.

THE SAME OLD STORY.

Present indications, drawn from the work being figured, lead to the surmise that there will be considerable commercial and public building construction this spring, also some larger residential projects, but at the present time the demand for moderate priced homes promises the most for Indiana spring building construction activity.

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Official Paper

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General Office for Information

MEETING NIGHTS

General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.

BE THERE!

Don't forget the regular monthly meeting of the Association, Tuesday, March 21st. From present indications there will be developments in the labor situation that will call for action.

'T WAS EVER THUS.

It has been said repeatedly that the industrial situation today is vitally linked with public interest, particularly is this said to be true of the building industry. After putting up a fight for a year for a lower wage scale and revised working conditions both of which, if obtained, would accrue materially to the benefit of the Public, the B. T. E. A., has about reached the conviction, convinced by The Public's attitude, that the said Public is only interested in so far as to letting some one else wage the battle, stand all the expense, and bear the burden. Then, in the end, The Public is most willing to step forward to reap whatever benefits may result from the fight, to collect the spoils.

Experience has taught us that when it comes to The Public, as represented by civic bodies, or the individual, neither stands willing to be discommoded; if inconvenience or real sacrifice is to be required to bring about success The Public holds aloof and is not willing to take an active part or contribute substantially to the success of the venture. On the other hand, in order to appear neutral, The Public by its inactivity throws ob-

stacles in the way and thus hinders victory. When a fight like this arises The Public seems intent only upon diverting responsibility, shifting the burden, "passing the buck" as it were.

Before the B. T. E. A., of the Calumet District, started in last year to lower the cost of building construction operations, the various committees were assured that they would have the undivided support of The Public in the big undertaking. Since then, as the fight grew hotter and hotter, more stubborn, it has been demonstrated to us that so long as only talk was involved we could get plenty of that. However, when concrete action was needed there was absolutely no one or no body that was so strongly imbued with public spirit as to come to the fore and make a stand for the great collective interest of the Dear Public. There were men who were loudest in their protestations against existing conditions, those who vociferously urged, confidentially, that the contractors carry through the fight to lower building costs, and yet these very men when called upon have refused to let B. T. E. A., members figure their projects lest they get in bad and lose a few votes sometime when they might come out for public office, or, that their business might suffer in that some man who carried a Union card would buy 15c worth of scrap tobacco, soap or other merchandise from a competitor.

Henceforth we are not going to be disappointed for we know now that we can expect nothing from The Public and we are not going to bank on the support of its representatives.

Nor have we quit; we are fighting not only to lower the building construction

costs so people will have a chance to provide homes for themselves, so that employment may be provided for the man who is willing to give an honest day's work for an honest day's pay, but we are contending for a principle as well, the principle that gives to the contractor the right to work on his own job and be the boss of that work.

The whole thing has simmered down to the point where it is up to the contractors to take a new grip on the situation, strengthen their determination and following the policy and words of General Grant, "fight it out along these lines if it takes all summer."

CALUMET BUILDING PROGRESS.

Around the architects' offices: Mac Turner has plans out for bids for the construction of a \$18,000 store and dwelling for George Brussel and a \$12,000 residence for Joseph Emmerling. A. C. Berry, has just put out plans among the contractors for bids for the construction of the West Hammond Park Buildings, to cost in the neighborhood of \$150,000. He will also be ready for figures soon on two public school structures and a Catholic school in East Chicago. J. T. Hutton & Son, are working on plans for several public schools.

Contractor J. H. McClay, who has been seriously ill is reported well on the way to recovery.

Another one of our contractors, Rufus Danner, has been transferred from the sick to the convalescent list.

E. E. COLE.

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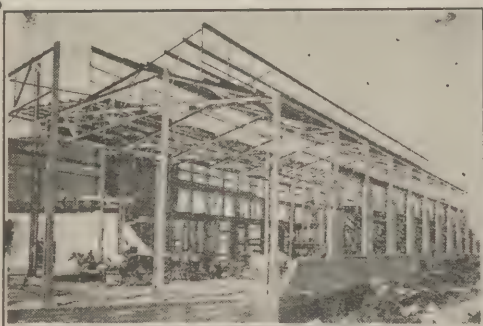
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Associated Building Contractors of Indiana

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Indianapolis

ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller.....President
Chas. Scarborough.....Secretary

Office of Secretary, 710 Old State Bank

SLIGHT LULL.

Building operations in Evansville eased up a bit during the second week in March, according to figures obtained from building permits in the office of the building inspector.

During the week of March 6 to 11, inclusive, permits totaling \$25,382.35 were issued in the office. During the preceding week, the permits totaled \$38,445, the high mark for 1922.

Residence building slackened up appreciably during the week, accounting for a decrease in the amount of money involved in operations. Three permits for residence work were taken out. The permit for the Julius O. Artes Pool, which will cost \$11,177.35, was taken out last week, helping to bolster up the week's operations.

During the week of February 27 to March 4, inclusive, twenty-four permits were issued. Only twenty permits were issued last week.

CHIPS AND SHAVINGS.

The weekly meetings of the local A. B. C.'s. are being well attended and a close eye is being kept on the local situation in an endeavor to hold conditions in a favorable way so that building may be encouraged.

Now the owners of the old Y. M. C. A. building come forward with the information that they are contemplating the remodeling of that structure into a modern office building. The roof is to be raised, (not when bids are read), which will make the building five stories high. Store rooms are to be provided on the street level and above provisions are to be made for 88 office suites.

Out in Howell on Hollywood avenue, Mr. Tekopple of Rockport has started the erection of three four-room modern bungalows. This is part of the scheme he has in mind whereby he expects to build quite a number of medium priced homes during the summer.

A \$10,000 bungalow is contemplated by T. E. Croisser, 131 South Barker avenue for the site he has just purchased on Stinson avenue.

The Board of Public Works has decided to repair the shelter house in

Sunset Park down on the river front. The tile roof is to be gone over and other changes will be made in the building.

General contractors C. Kanzler & Son are going along good on a number of nice projects. Business has been so brisk they found it necessary to rustle up additional workmen.

The Tri-State Construction Company, incorporated by former employes of the Hoffman Construction Co., has been formed and made its debut into the Evansville building field.

Our architects are all busy on new plans and announce that many of these will be out for bids in the near future. There is the prospect of a good trade in lead pencils as the Evansville contractors are going to have a great deal of figuring to do soon.

FT. WAYNE

BUILDERS' EXCHANGE
Member State A. B. C.

Max Irmischer.....President
Eph Dailey.....Secretary
825 Calhoun St.

Phone 2001

FT. WAYNE MATERIAL PRICES.

(Courtesy of Wm. Moellering's Sons)

Cement	Per Sack
Portland Cement, paper bags-----	\$.75
Utica Bricklayers' Cement, paper bags-----	.65
Atlas White Portland, cloth bags--	3.00
Best Keene's Cement, cloth bags--	2.70
Lime	Per Sack
Fresh Ground Lime, 75-lb. paper bags-----	\$.80
Mason's Hydrate Lime, 50-lb. bags-----	.55
Finish Hydrate Lime, 50-lb. paper bags-----	.55
Plaster	
Anchor Cement Plaster, paper bags, per bag-----	.85
Anchor Wood Fibre Plaster, paper bags, per bag-----	.90
Anchor Plaster Paris, paper bags, per bag-----	1.10
Superfine New York Plaster, in barrels, per barrel-----	6.00
Sand	
Washed Sand and Bank Run Gravel, per ton-----	\$2.50
White Silica Sand, per ton-----	12.00
White Silica Sand, per bag-----	.80
Stone--(Crushed Limestone)	
Crushed Stone and Stone Screenings, per ton-----	\$4.50
Stucco	

Per Ton
J-M Rough Asbestic, 100-lb. bags-\$30.00
Kellastone Stucco, 100-lb. bags-- 55.00

METAL GOODS.

Metal Lath	Per Sq. Yd.
27 Ga. Diamond Mesh-----	\$.30
26 Ga. Diamond Mesh-----	.32
24 Ga. Diamond Mesh-----	.36
24 Ga. Diamond Mesh, Galvanized--	.60
Wall Ties	
(Standard and Veneer, Galvanized)	
Wall Ties, per M-----	\$4.00
Put up in Boxes of 1M each.	
Wire Reinforcing	
Triangular Mesh, per sq. ft.-----	\$.03
In rolls 54" and 58" wide by 150 and 300 ft. long.	
Coal Chutes	
24" 17" 9" Iron Door, no hopper--	\$9.50
24" 17" 13" Iron Door, with hopper-----	13.00
24" 17" 13" Iron Door, no hopper--	11.00
24" 17" 13" Glass door, with hopper-----	14.00
24" 17" 13" Glass Door, no hopper--	12.00
33" 22" 18" Iron Door, with hopper-----	24.00

ROOFING

Asbestos Shingles

Style No. 5 Gray Asbestos Shingles, per sq.-----	19.20
Style No. 5 Eave Course Starters, per ft.-----	.08
Style No. 60 Gray Asbestos Shingles, per sq.-----	14.55
Style No. 70 Gray Asbestos Shingles, per sq.-----	12.95
Style No. 60 and 70 Double Course Starters, per ft.-----	.14
Style No. 70 Ridge Roll, per ft.-----	.22
Galvanized Needle Points and Copper Storm Nails included.	
Ridge Roll furnished complete with Fasteners and Nails.	

Asphalt Shingles

Flextone Asbestos, Red & Green Slate, per sq.-----	\$8.50
Carey's Red & Green Slate, per sq.-----	7.00
Flintkote, red and green, 4-in-one, per sq.-----	6.00

PREPARED ROOFING.

Asbestos, with clamps, per sq., 3-ply-----	6.55
Rubber, medium, per sq.-----	3.10
Rubber, heavy, per sq.-----	3.70
Rubber, light, per sq.-----	2.00
Rubber, med., per sq.-----	2.40
Rubber, heavy, per sq.-----	2.85
Asphalt Roofing, light, per sq.-----	1.35
Asphalt Roofing, med., per sq.-----	1.75
Asbestos Slate Roofing, in rolls, per sq.-----	4.00
Slate Surfaced Roofing, in rolls, per sq.-----	3.00

WALL BOARD

Ceilboard, 500 ft. or more, per sq. ft.-----	\$.04
Ceilboard, less quantities, per sq. ft.-----	.04½
Stock sizes 8 and 9 ft. by 32" wide; 10 ft. long by 48" wide.	

INDIANAPOLIS

Building Contractor's Association
Member State A. B. C.

F. W. Junglaus.....President
C. C. Pierson.....Secretary

MEETINGS.

Executive Committee meets second Tuesday each month.

General Contractors meet second Friday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

INDIANA SANITARY ENGINEERS DISCUSS BUSINESS PROBLEMS.

Some three hundred Indiana master plumbing and heating contractors, members of the Indiana Society of Sanitary Engineers, gathered at Indianapolis, March 13, 14, 15, to participate in the Twenty-Sixth Annual Convention of the society. In addition to the above, there were in attendance about one hundred women, wives of the delegates, who are members of the society's auxiliary and who hold sessions the same as the men folks. Then, too, there was present a large number of visiting jobbers and plumbing and heating supply men. This attendance made up one of the largest conventions ever held by the Indiana Sanitary Engineers.

The program covering the three days' session, while including the customary speeches, dealt mostly with general discussions having to do pointedly with the trade and the extension of the influence of the society. These discussions, wide and varied, brought out those things for which the organization is ceaselessly striving and seeking to encourage. A summary of the subjects discussed and the impression given demonstrated that the Indiana Society of Sanitary Engineers stands for and is seeking to put into effect these things: Education of Apprentices; Modern Business Laws and Methods; Community Health Service; An Increase in Membership; Trade Extension Co-operation; Regular Attendance at Local Meetings; Service to the Public.

One of the strong points stressed upon at the convention had to do with the crying need for more apprentices that the future need for skilled mechanics might be met in the years to come. The master plumbers were urged to interest boys in the plumbing trade and seek to induce them to take it up as a means of livelihood. It was brought out that Valparaiso University has a well equipped trade school at which students are offered the opportunity of studying the plumbing trade in all its intricacies.

This information aroused a great deal of interest among the delegates who went on record favoring an effort being made by the State Sanitary Engineers whereby a method be devised by which the tuition and partial expenses of young

men who desire to study plumbing at the university can be paid and thus the shortage of expert plumbers in the state be relieved.

Relative to this move, E. A. Strong, Jr., secretary of the Indianapolis organization, affiliated with the state society, proposed that an investigation be made and said that as a result of such an investigation it is probable that a method can be worked out by the state organization that will encourage and aid the boys wishing to enter the trade and also be of great benefit to the bosses. He proposed that the young men who might wish to take the course at the university would submit to a competitive examination before they could receive financial assistance from the society. Mr. Strong impressed the delegates with the fact that there is an acute shortage of expert plumbers in the state and that this shortage will become even more serious as the general increase in building construction grows as seems to be the prospect in the next few years.

The convention opened with a directors meeting Monday morning. The delegates were called to order at 1:30 o'clock in the afternoon and the Rev. Frank S. C. Wicks, pastor of the All Souls Unitarian church, delivered the invocation. Speakers at the session were Joseph Hayes, president of the Indianapolis branch of the organization; C. C. Pyke of Lafayette; Mrs. Emma Weinhardt of Terre Haute, president of the ladies' auxiliary, and Joseph W. Cannon, president of the National Association of Master Plumbers. The addresses were followed by the reports of officers and a roll call of delegates.

Speakers at Tuesday's session were: Charles L. Barry, president of the Indianapolis board of school commissioners, and Dr. W. F. King of the state board of health. Several technical lectures were also given.

Wednesday's session was given over to general routine business consisting of the adoption of resolutions, reports from the various committees, the selection of the site for the 1923 convention and the annual election of officers which resulted as follows: Prest., J. A. Gullivan, Muncie, Vice-Prest., Henry Heuck, Gary, Secy., Emil Hartig, Evansville, 2 new directors, Fred Marchesseau, Elkhart, J. A. Dorsey, Hammond. Delegates to National Convention of Sanitary Engineers, Detroit, 1923, John Freitag, Terre Haute, J. H. Daniels, Gary. Evansville was named as the site for the 1923 convention of the Indiana Society of Sanitary Engineers.

While the serious side of the convention was paramount with the delegates, nevertheless, the entertainment committee took a hand in the general scheme and provided quite a pleasing program of diversions for the delegates consisting of receptions, theatre parties, and a dinner dance as a finale. The chairmen of the general committees were: Banquet, J. A. Diggle; Ball, E. A. Strong; Theater and Entertainment, Harry Freyn; Publicity, Jos Clarke; Hotels, R. M. Cotton; Arrangements, H. A. Callon; Finance, Robt. Poehner; Reception and Program, Chas. Greenen; Mrs. Jos. Hayes, Chairman Ladies' Committee.

MUNCIE

Associated Building Contractors
Member State A. B. C.

Chas. Rowe.....President
J. A. Gullivan.....Secretary

314 Main Street

IT COUNTS AFTER ALL.

As for the agitations, investigations and suspicions that have arisen around the country in the building industry, we are reminded of the fact, and with pride, that the A. B. C.'s of Indiana, and all its affiliated local city associations has been conducted so fairly and squarely that not even a hint of unfairness or connivance has been directed this way, and that too, after several years of existence and through troublous and hectic times.

Indiana contractors at the inception of organized effort came out strong for equity and justice, fair-play and square dealing and, having adopted that policy, have played their cards above board right along to win at times, and then again to lose, but never have their actions been subject to reproach.

This is a record of which every member, no matter where he lives or operates, can be proud, and one we are all set to maintain.

The A. B. C.'s of Indiana, as an organization, is growing stronger all the time and now embraces practically all the contracting interests of the State. There's a reason; see above.

STRAIGHT TIME ONLY ALLOWED.

Burying a union bricklayer in Detroit has its compensations for the living. When members of the local bricklayers' union are selected to act as pall-bearers at the funeral of a comrade the union pays them the going rate of wages for their time. Some of the brethren who officiated in that capacity on a recent Saturday afternoon put in a bill for double time because Saturday afternoon is a half-holiday. The business agent of the union argued that they did not lose anything by attending a funeral on a holiday, but compromised by paying them straight time—Detroit Saturday Night.

AGITATION BRINGS ACTION.

The agitation of conditions in the building industry, both in the east and west, has at last caused the government to step in the breach and endeavor to put a stop to the restriction of the use of materials and put its official O. K. on the third cardinal principle which reads as follows: "There is to be no favoritism shown by organized labor towards employers or trade associations or contractors' association, and no discriminations are to be indulged in against the independent employer who may not be a member of such an association."

MUSING.

Won't it be "A Grand and Glorious Feeling" when the Sun beams down once more on both sides of the fence, the grass takes on a new bright green hue, and the fish go prowling around for bait. Oh, man!

INDIANA CONSTRUCTION RECORDER

FOR
ARCHITECT
ENGINEER

Devoted to the
Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

VOL. III

INDIANAPOLIS, INDIANA, MARCH 25, 1922

No. 51

INDIANA CONSTRUCTION RECORDER

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Six Months \$4.00

Advertising Rates Furnished on Application.

Advertising forms close Saturday of week pre-
ceding date of issue.

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the Act of March 3, 1879.

News of the Week

The asterick (*) prefix to an item indicates ad-
ditional information to report published in pre-
vious issue.

INDIANAPOLIS.

Terminal Warehouse: \$500,000. 7 sty. & bas. 245x195. Archt., Rubush & Hunter, American Central Life Bldg. Owner, Terminal Building Corporation, Albert E. Metzger, Prest., % Fletcher Trust Co., Wm. J. Hogan, Mgr., % Indiana Refrigerating Co. Plans nearing completion, re-
inforced concrete.

Office Building: 10 sty. & bas. 50x65. Spring-
field, Ohio. Archt., Wm. Earl Russ, Meridian
Life Bldg., Indpls. Owner, Francis J. Drolla
Co., Springfield, Ohio. Plans in progress. Ready
for bids in 60 days. Brick, stone trim, frpf.
constr., 2 elevators.

Hotel (50 rooms) 8 sty. & bas. 132x80. Mar-
ion, Ohio. Archt., Wm. Earl Russ, Meridian
Life Bldg., Indpls. Owner, New Hotel Co.,
Marion, Ohio. Plans about completed. Brick,
frpf. construction, steam heat, 3 elevators.

Horse Show Barn: Indiana State Fair Grounds.
Archt., J. Edwin Kopf and Woolling, 402 Indiana
Pythian Bldg. Owner, Indiana Board of Agricul-
ture, State House, 410 ft. long and 195 ft. wide.
Wood block and cement floors, brick walls, steel
sash, wood and steel framing, tile and composi-
tion roof. Barn equipment included in general
const. Alternate, bids will also be received for
reinforced concrete structure. Owner taking bids
to close April 4th, 1922.

*Knights of Columbus Club House: 13th and

Delaware Sts., Indpls. J. Edwin Kopf and Wool-
ling, Archt., 402 Indiana Pythian Bldg. Owner,
Knights of Columbus Home Association, Jas. B.
Mahan, Chairman Bldg. Committee. Gymnasium,
dance hall, rest rooms, locker room, toilet rooms,
etc. Construction will be reinforced concrete and
steel, brick, terra cotta and hollow tile, ter-
razzo and tile floors, steel sash, tile and composi-
tion roof. Architect preparing working draw-
ings.

***St. Catharine of Sienna School:** 2 sty. & bas.
Shelby and Tabor Streets. Archt., J. Edwin Kopf
and Woolling, 402 Indiana Pythian Bldg. Owner,
Rev. Jas. M. Downey, 1108 Kelly St., Indpls.
Class rooms, living quarters, assembly room,
toilet rooms and play rooms. Brick, stone, com-
position roof, steel sash, etc. Owner taking bids
to close April 10.

Recitation Building: \$151,000. "Purdue Uni-
versity," Lafayette, Ind. Archt., Robert Frost
Daggett, Lemcke Annex, Indpls. Owner, Pur-
due University, Henry W. Marshall, Lafayette.
Owner receiving bids to close April 4th at
11 a. m.

***Bank Building:** 2 sty. & bas. 40x115. New-
castle, Ind. Archt., McGuire & Shook, Indiana
Pythian Bldg., Indpls. Owner, Farmers Na-
tional Bank, C. W. Mouch, Prest., Newcastle.
Archt. receiving bids to close April 10th. Brick,
stone front.

Junior High School: 2 sty. & bas. & gymna-
sium, 1 sty. & bas. Columbus, Ind. Archt.,
Norman H. Hill, 909 State Life Bldg., Indpls.
Owner, Board of Education, Columbus, Ind.
Archt. selected. Details undecided.

Hospital Building: Archt., Elmer E. Dunlap &
Co., State Life Bldg., Indpls. Owner, Julietta
Asylum for the Insane, Indpls. Plans about
completed. Brick.

Church (add. & rem.) Sellersburg, Ind. Archt.,
Honeywell & Parker, State Life Bldg., Indpls.
Owner, M. E. Church, Sellersburg, Ind. Plans in
progress. Frame constr.

Poultry Building: 2 sty. & bas. 30x84. Madi-
son, Ind. Archt., Frank B. Hunter, State Life
Bldg., Indpls. Owner, O. Oliver & Son, Madi-
son, Ind. Owner will build and award separate
contracts. Brick veneer, reinf. concrete and steel,
mastic floors, steel monitor roof, steel sash,
freight elevator, skylight, refrigerating plant.

Residence (Colonial) & 2 car garage: \$18,000.
Illinois St. north of 43d St. Archt., Frank B.
Hunter, State Life Bldg. Owner, A. L. Piel, %
Piel Bros. Starch Co. Ready for bids shortly.
Brick veneer, forced air heat, slate roof.

Residence & Garage: \$6,000. College Ave. No.
of 36th. Archt., Frank B. Hunter, State Life
Bldg. Owner, Minnie Dodson, 1018 Park Ave.
Plans in progress. Ready for bids shortly.
Frame, asphalt shingle roof, furnace.

Clothing Store (rem.) Archt., Adolph Scherrer,
Indiana Trust Bldg. Owner, Rink's Cloak House,
33 No. Illinois St. Archt. taking bids, copper
set store fronts and general alterations.

Residence: \$7,500. 2 sty. 33d and Guilford.
Archt., private plans. Owner, Whitney Stoddard,

% Wangelin-Sharp Co., Virginia Ave. Prelimin-
ary plans.

Contracts Awarded.

***Medical Office Building:** (200 offices) \$1,-
000,000. 17 sty. & bas. 130x112x100. "Flat Iron
Type." Penn. St. and Mass. Ave. Archt., Ru-
bush & Hunter, 430 American Central Life Bldg.
Indpls. Owner, Medical Arts Realty Co., Dr. Al-
bert E. Sterne, 1820 E. 10th St. Horace E. Kin-
ney, 517 Board of Trade Bldg. J. F. Peck &
Co. (Financial Agents), 557 Lemcke Annex. Gen-
eral contract awarded on percentage basis to
the Bedford Stone & Construction Co., Indian-
apolis. Plans in progress. Start work in 60
days. Brick, frpf. constr., white glazed terra
cotta.

***Public Hospital:** \$85,000. Greencastle, Ind.
Archt., D. A. Bohlen & Son, Indpls. Owner, Bd.
of Trustees Putnam County Hospital, Green-
castle. General contract let to Geo. W. Price,
Logansport, Ind. Htg. and plmg. let to Day Htg.
& Plmg. Co., Brazil, Ind.

***School:** \$68,000. Green Township, Hancock
County, Eden, Ind. Archt., J. Edwin Kopf and
Woolling, 402 Indiana Pythian Bldg., Indpls.
Owner, Sherman Rothermel, trustee, R. R. No. 5,
Greenfield, Ind. General contract let to W. L.
Duncan, Mohawk, Ind. Htg. to Freyn Bros.,
Indpls. Plmg. to Herman Zietlow, 548 Eastern
Ave., Indpls.

***Church:** \$50,000. 2 sty. & bas. 65x82. Michigan
and Paris Sts., South Bend, Ind. Archt., L. H.
Sturges, Board of Trade Bldg., Indpls. Owner,
First Brethren Church, Wm. Meinke, Secy., Mish-
awaka, Ind. Superstructure let to Hay & Wea-
ver Constr. Co., South Bend. Foundation in-
brick.

***Office Bldg. (rem.)** \$60,000. "Bankers Trust
Bldg." Archt., McGuire and Shook, Indiana Py-
thian Bldg. Owner, Bankers Trust Co. General
contract let to Wm. P. Junglaus Co., 325
Mass. Ave., Indianapolis.

Stores: 1 sty., 62x90. \$10,000. 935 No. Illinois
St. Archt. and builder, Lynn B. Millikan, 501
No. Delaware St. Owner, Fred Clarke, % Col-
umbia Club. Wrecking old buildings. Start work
soon. Brick.

***Residence:** \$10,000. 3906 No. New Jersey.
Archt., John P. Parrish, Castle Hall Bldg. Own-
er, Dr. Wm. P. Best, Bankers Trust Bldg. Gen-
eral contract let to Sylvester A. Gwynn, 3142
Central Ave.

***Residence:** \$8,000. 3462 Guilford. Archt., W. H.
Garns, Fletcher Trust Bldg. Owner, W. W. Sea-
gle, 803 Fletcher Trust Bldg. Contract let to
John Stritt, at site.

***Residence:** \$12,000. 4467 Central Ave. Private
plans. Owner, M. C. Nelson, % contractor. Con-
tract let to C. E. Wright, 5625 Greenfield Ave.

Building Permits.

Double Res.: \$12,000. 3554-45 College Ave.
Owner, Blanche Miller, % contractor. Contract
let to S. P. Secrest, 720 E. Pratt St. Brk. veneer.

***Res.:** \$9,000. 5101 Wash. Blvd. Owner, Jas

(Continued on Page 7)



FANS

SINK & EDWARDS SHEET METAL WORK for Heating and Ventilating

Factory Blow-Pipe Work
Riveted or Welded Tanks

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INDIANAPOLIS

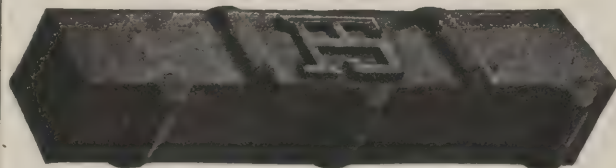


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CONCRETE REINFORCING BARS



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All Sizes and Lengths

Reinforcing Bars are a very important part of Concrete reinforcing and, as such, demand every bit of the care and attention they receive in production at our hands.

DELIVERY. The close proximity of our mill at Marion, Ohio, to the Indianapolis market enables us to make DIRECT MILL SHIPMENTS quickly and at the time promised.

BENDING facilities at our mill enable us to accurately and properly bend plain, twisted, deformed or U-bars for beams, stirrups, etc., ready for immediate use upon delivery.

CUTTING to length without extra charge.

NO EXTRA charge for deformed bars.

ALL BARS rolled to A. S. T. M. specifications.

EVERY OUNCE of reinforcing bars made and sold by this company is backed by its reputation and integrity, unshaken thru 50 years of intimate industrial service. Your reinforcing requirements are in competent hands when placed with us.

INQUIRIES will be given very prompt attention. Our PERSONAL REPRESENTATIVE will gladly call if desired.

CATALOGUE on Rolled Steel Bars and Shapes presented on request.

WRITE, WIRE or **PHONE** for quotations, information or catalogue.

POLLAK BARS AND SERVICE
WILL SERVE YOU WELL

The Pollak Steel Company

General Offices: Cincinnati

Works, Cincinnati, Marion, O., Chicago

VAN-CAMP HARDWARE & IRON CO.

INDIANAPOLIS, IND.

- *CORBIN BUILDERS HARDWARE
- CORBIN PANIC DEVICES
- SMITH PANIC DEVICES
- *FERALUN ANTI-SLIP STAIR
TREADS, THRESHOLDS, ETC.
- ERNST ASH HOISTS
- WATERTITE SCUPPERS
- CLOSET AND WALL BEDS (Browns)
- *METAL LATH—All Types
- *PRESSED STEEL CHANNELS
- FIRE DOORS AND HARDWARE
- *GLASS AND PAINT
- *REINFORCING STEEL, ANGLES, ETC.

Items marked * in stock. Contractors send in plans of schools and public buildings for estimates on the above materials.

Pyramid Brand

Natural Slate

Blackboards

We Carry Stock in Indianapolis

Marble Work of Every Description

Tile Floor and Wainscots

WEGE-STANFORD MARBLE & TILE CO.

603 Odd Fellows Building
Indianapolis

Manley, 3747 Central Ave. Contractor, Wm. F. Nelson, 3648 No. Pennsylvania.

Double Res.: \$6,000. 551 No. Dearborn. Owner, Blanche Dressendorfer, 3214 E. New York St. Contract let to W. P. Roberts, % owner.

Double Res.: \$6,000. 3423 Kenwood. Owner, W. M. Paulsel, 3425 Kenwood.

Res.: \$6,000. 5141 Maple Lane. Owner, Harvey E. Rogers, % Farmers Trust Co. Contract let to Geo. Shaner, 1633 Arrow Ave.

Double Res.: \$8,000. 729 E. 49th. Owner, W. R. Hunter, 631 Lemeke Bldg. Contractor, Jas. McClelland, 806 Warren Ave.

Double Res.: \$7,000. 1521 So. East. Owner, Lucius B. Swift, 8 E. Market St., Room No. 330. Contractor, Brandt Bros., Indiana Trust Bldg.

Res.: \$6,000. 1855 Mansfield. Owner, A. R. Kinick, % Contractor. General contract let to C. O. Morris, 938 West 32nd St. Same contractor has res., \$6,500, for Charles Payne.

Res.: \$10,000. Owner, J. W. Plummer, 2346 Brookside. Contractor, R. B. Insley Co., Nat. City Bank Bldg.

ANDERSON.

Residence: \$30,000. 2 sty. 70x30. Archt., E. F. Miller, Farmers Trust Bldg. Owner, Jas. W. Lynch, % Dice Machine Co. Archt. taking bids to close April 4th. Brick veneer and tile, tile roof.

School: \$80,000. Anderson Twp., Madison county, Ind. Archt., E. R. Watkins, Anderson. Owner, H. W. Farmer, trustee, Anderson. General contract let to Ben Wright, Anderson.

BLUFFTON.

School: \$80,000. Roanoke, Ind. Archt., Everitt I. Brown, Bluffton. Owner, Newton VanArsdol, trustee, Roanoke, Ind. Plans in progress. Brick, metal lumber, comp. roof, mastic floors.

School: \$20,000. (3 rooms). Uniondale, Ind. Archt., Everitt I. Brown, Bluffton. Owner, J. E. Harshman, Uniondale, and Herbert C. Middaugh, trustee, Markle, Ind. Plans in progress. Brick.

School: (add.) \$65,000. 2 sty. 70x80. DeSota, Ind. Delaware Twp., Delaware county, Ind. Archt., Everitt I. Brown, Bluffton. Owner, Elmer E. Ritchie, Trustee, Albany, Ind. Owner will advertise for bids in 10 days. Brick.

EVANSVILLE.

School (add.) \$26,000. Gentryville, Ind. Archt., Clifford Shopbell & Co., Evansville. Owner, George W. Harris, trustee, Gentryville. Owner receiving bids to close April 8th at 10 a. m. (Bids extended.)

School: \$33,000. Center Twp., Vanderburgh county, Archt., E. M. Stingle, Evansville. Owner, Clyde M. Hesmer, trustee, Evansville, R. F. D. No. 5. Owner receiving bids to close April 12th. (See legal advertising.)

Factory (addition) \$75,000. Archt., private plans. Owner, Atomized Products Corporation, B. V. Cain, Gen. Mgr., 6th and Shanklin Ave. Plans in progress. Brick and steel.

Gas Plant (Improv.) & Power plant addition. Owner, Southern Indiana Gas & Electric Co., Frank J. Haas, Gen. Mgr. Work will consist of add. to power plant, turbine, 2-500 h. p. boilers, and gas plant equipt. Mature this summer. \$400,000.

Country Club (rem.) \$25,000. Owner, Hadi Temple of Shriners. Will rem. and lay out an 8 hole golf course. Mature soon.

Contracts Awarded.

Parochial School: \$20,000. Celestine, Ind. Archt., Frank J. Schlotter, Evansville. Owner, Catholic Congregation, Rev. A. C. Schellenberger, Celestine, Ind. General contract let to A. W. Berger, Jasper, Ind. Start work shortly. Brick.

Building Permits.

Res.: \$6,000. Norman near Lincoln. Owner, Dr. A. J. Bigney.

Bungalow: \$5,000. 916 Blackford. Owner, J. W. Bugg.

FT. WAYNE.

Factory (for manufacture of stucco) 1 sty. \$10,000. Archt., private plans. Owner, Wm. Moellering's Sons, Murray St. Plans in progress. Mature this spring.

Residence: Curdes Ave. Archt., private plans. Owner, Bernard L. Baltes. Site purchased. Will build this spring.

Residence: \$12,000. Garrett, Ind. Archt., A. M. Strauss, Ft. Wayne. Owner, Dr. A. Clevenger, Garrett. Ready for bids about May 1st. Stucco and hollow tile.

Stores and Offices: \$60,000. 2 sty. & bas. 90 x 140. Calhoun St. Archt., private plans. Owner, Dr. Edward Kruse, Berry and Clinton Sts. Plans in progress. Ready for bids soon. Brick.

FRANKFORT.

Bank: \$85,000. 2 sty. & bas. 40x75. New-castle, Ind. Archt., Rodney Leonard, Frankfort. Owner, Citizens State Bank, Newcastle. Plans about completed. Ready for bids this Spring. Indiana limestone and brick.

Contracts Awarded.

School (add.) \$35,000. Goldsmith, Ind. Tipton county, Archt., Rodney Leonard, Frankfort. Owner, J. H. Ferguson, trustee, Kempton, Ind. General contract let to Arthur McKinsey, Frankfort. Htg., plmg. and wiring let to C. C. Comp-ton, Tipton, Ind.

Commercial Bldg. (rem.) \$6,600.00. Archt., Rodney Leonard. Owner, W. H. Morris; general contract let to John Paden, all of Frankfort.

KOKOMO.

Parochial School: \$35,000. "St. Joan of Arc." Archt., Elmer E. Dunlap & Co., Harrison Bldg., Kokomo. Owner, St. Francis Catholic School. Plans in progress. Brick.

Residence: 2 sty. & bas. 28x35. Peru, Ind. Archt., Elmer E. Dunlap & Co., Kokomo. Owner, F. E. Webb, Peru. Ready for bids. Brick veneer.

Residence: \$10,000. 2 sty. & bas. 35x45. Archt., Oscar Cook. Owner, H. E. McGronigle. 1030 W. Maple St. Plans in progress.

Contracts Awarded.

Armory: Archt., Elmer E. Dunlap & Co. Owner, State Armory Board, State House, Indpls. General contractor, Braun and Whetsell, Kokomo. Start work soon. Brick.

Church: Bunker Hill, Ind. Archt., Elmer E. Dunlap & Co., Kokomo. Owner, Bunker Hill Baptist Congr., Bunker Hill. General contractor, E. A. Carson, Logansport, Ind. Plmg. let to Lillard Co., Peru, Ind. Start work shortly. Brick.

LAFAYETTE.

School: \$90,000. Battle Ground, Ind. Archt., Nicol, Scholer & Hoffman, Lafayette. Owner, Chester Walters, trustee, Battle Ground, Ind. Owner taking bids.

School (Consolidated high and grade) Madison Twp., Jay county, Ind. Archt., Nicol, Scholer & Hoffman, Lafayette. Owner, Wm. A. Roush, Trustee, Portland, Ind. Owner receiving bids to close March 28th, 10 a. m. Brick. 2 sty. 83x62.

Contracts Awarded.

Church: \$70,000. Archt., Riedel & Zink. Owner, St. Lawrence R. C. Church, Father Alfred Herman, pastor. General contract let to A. E. Kemmer, Lafayette.

Residence: \$10,000. Portland, Ind. Archt., Nicol, Scholer & Hoffman, Lafayette. Owner, Roscoe D. Wheat, Portland. General contract let to Bert Arbaugh, Portland. Brick and hollow tile.

MARION.

Boiler & Smokestack: The National Military Home, P. G. Froemming, Treas., Marion, is taking bids to close March 30th for furnishing and installing boiler and smokestack, engine and generator complete, and installing feed water heater and purifier.

Contracts Awarded.

Hospital (80 bed addition) \$150,000. Archt., Schenck and Williams, Dayton, Ohio. Owner, National Home for Disabled Soldiers, Dayton, O. General contractors, Yaeger & Son, Danville, Ill. Start work at once. 1 sty. & bas. 315x43.

MUNCIE.

Science Hall: \$250,000. Archt., Cuno Kibele. Owner, Indiana State Normal School, Board of Trustees. Writing specifications. Adv. for bids soon. Brick. Appropriations granted.

High School (add.) \$75,000. 1 sty. and bas. 62x100. Yorktown, Ind., Mt. Pleasant Twp. Archt., Houck & Smenner, Muncie. Owner, P. J. Kautzman, trustee, Yorktown, Ind. Owner receiving bids to close April 1st at 11 a. m. Brick.

School: (3 rooms) \$30,000. Wash. Twp., Blackford county, Ind. Archt., Houck & Smenner, Muncie. Owner, Wm. P. Futrell, trustee, Hartford City, Ind., R. R. No. 3. Owner will advertise for bids in 30 days. Brick.

RICHMOND.

School (high and grade) \$57,000. Williamsburg, Ind., Green Township. Archt., C. E. Werking & Son, Richmond. Owner, Enos C. Veal, trustee, Williamsburg. Owner receiving bids to close April 1st at 2 p. m. Brick.

Poultry Bldg.: \$8,000. Archt., private plans. Owner, Harris-Hardman Co., 539 No. 6th St. Ready for bids shortly.

TERRE HAUTE.

Store & Office Bldg.: (9 stores, 42 offices). Archt., Shourds-Stoner Co. Owner, Mrs. Lillian Deming. Archt. taking bids to close April 11th. Brick, 2 sty. 111x141.

Residence: \$12,000. Archt., Shourds-Stoner Co., Owner R. S. Swanagan, Edgewood Grove, Terre Haute. Ready for bids in 10 days. Stucco.

Res.: (add. of 5 rooms & alteration). \$3,000. Clinton, Ind. Archt., Thomas & Allen, Terre Haute. Owner, Arthur Ferguson, Clinton. Ready for bids April 1st.

Residence: Archt., Johnson, Miller & Miller. Owner, Mrs. Steel and Mrs. Webb, % Archt. Plans in progress. Ready for bids in 2 weeks. Stucco.

Contracts Awarded.

Res.: \$12,000. Archt., Shourds-Stoner Co. Owner, C. W. Bates. General contract let to A. J. Workman. Brick veneer.

Res.: \$10,000. Archt., private plans. Owner, Mr. Newlin, Secy. Citizens Trust Co. General contract let to Ainsworth & Son Constr. Co.

Res.: \$10,000. 6½ and Chestnut Sts. Archt., private plans. Owner, Dr. Chas. H. Edwards. General contract let to Ainsworth & Son Constr. Co.

VINCENNES.

Bank: \$12,000. 1 sty. & bas. 25x64. Archt., L. H. Osterhage & Byron Sutton. Owner, North Side State Bank, Jasper McCormick, Prest. Bids in, under advisement. Brick.

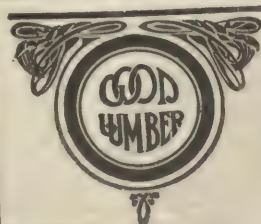
MISCELLANEOUS CITIES.

Columbus: Residence, \$10,000. Owner, Frank N. Rickman. Mature this spring.

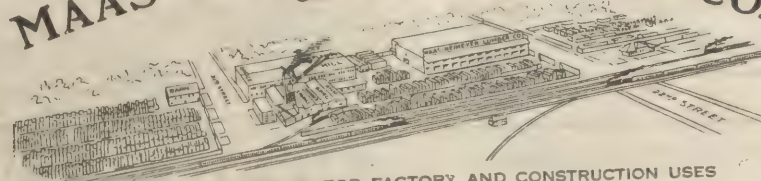
Judson: School, \$51,000. Greene Twp., Parke county, near Milligan, Ind. Archt., Boswell & Garriott, Logansport, Ind. Owner, Elmer M. McCutchan, trustee, Judson, Ind., R. R. Owner taking bids to close April 15th at 10:30 a. m. (See legal advertising in this issue.)

Laporte: Theater & Stores: \$400,000. Archt., Henry L. Newhouse, 4630 Prairie Ave., Chicago, Ill. Owner, Laporte Theater Co., A. Sommer.

(Continued on page 8)



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field, Prest., Norman Wolfe, Secy., J. L. Levine, Secy., Laporte. Plans completed. Will start work in 30 days.

*Marion: High school, \$300,000. Archt., H. G. Bowstead, Glass Bldg. Owner, Board of Education, Marion, Ind. Owner receiving bids to close April 12th at 2 p. m. (See legal advertising in this issue.)

Contracts Awarded.

*Greenfield: Twp. School, \$69,000. 2 sty. 125 x 67. Blue River Twp., Hancock county, Ind. Owner, Vernice R. Davis, trustee, Morristown, Ind. Archt., O. P. Gordon, Greenfield. General contract let to Henry M. Meek, Greenfield, Ind.; htg. and plmng. to Sanitary Engineering Co., Greenfield.

*Huntington: County Jail, \$70,000. Archt., Samuel A. Craig, Owner, Board of County Commissioners, Huntington. General contract let to Henry H. Achmer, Auburn, Ind.

*Portland: Club House, \$10,000. Archt., Peter N. Hulsken, Lima, Ohio. Owner, Portland Country Club. General contract let to Chas. Sanders, Portland.

*South Bend: School. "John F. Nunez" High & Elementary. \$500,000. River Park. Archt., Freyermuth & Maurer. Owner, Board of Education, W. W. Borden, Prest. Low bidders, on general contract, H. G. Christman Constr. Co.; heating and plumbing, W. W. Burke, all of South Bend. Will award contracts at once.

*Veedsburg: High school (add.) \$20,000. Archt., Liese & Ludwick, Danville, Ill. Owner, Board of Education, E. W. Kirk, Secy., Veedsburg. General contract let to J. A. Horn & Co., Frankfort, Ind.

*Whiting: Junior high school, rem. present gymnasium bldg., new smokestack, 1 sty. 8 room grade and auditorium bldg. Archt., N. S. Spencer & Son, Chicago, Ill. Owner, Board of Education, Whiting. General contract let to English Bros., Champaign, Ill. \$377,000.

Sealed Proposals

SCHOOL HOUSE.

NOTICE TO CONTRACTORS.

Notice is hereby given that on Saturday, April 15th, 1922, sealed bids will be received at the office of the Township Trustee, of Greene Township near the town of Milligan, Parke County, Indiana, up to the hour of 10:30 o'clock A. M. of said day, for the erection, construction and completion of a brick school building, to be built in said Township, and for the installation therein of a steam heating plant, toilets and other plumbing, all to be erected and constructed in strict accordance with the plans and specifications now on file in the office of said Trustee. Separate bids on the general contract and on the heating and plumbing are required. All bids shall be made on forms as approved and recommended by the State Board of Accounts, and each bid shall be properly filled out and signed by the bidder or bidders and acknowledged before a notary public. Each and every bid must be sealed and plainly addressed to the undersigned Trustee of Greene Township, Parke County, Indiana, and shall have notations on the envelope as to the nature of the bid, whether for the general contract, or for the heating or plumbing systems. Each and every bid must be accompanied by a certified check in the sum of three per cent of the total bid, made payable to the Trustee of Greene Township, Parke County, Indiana, and to be held by him as liquidated damages in case the successful bidder fails to enter into a contract and furnish bond to the approval of said Trustee.

The successful contractors will be required to furnish approved surety bond equal to the con-

tract price, conditioned for the faithful performance and execution of same, and the payment of all bills, including all labor and materials and other incidentals had by the contractor in connection with said work. Each bidder must in all things comply with the requirements of the law of Indiana with reference to the letting of contracts. The estimated cost of all such work is as follows:

General contract\$42,000.00
Heating and plumbing contract..... 9,000.00

Total\$51,000.00

The right to reject any and all bids expressly reserved.

Witness my hand this 22nd day of March, 1922.

ELMER M. McCUTCHAN,
Trustee of Greene School Township, Parke County, Indiana.
Address: Judson, Indiana, R. R.

SCHOOL HOUSE

NOTICE TO CONTRACTORS.

Notice is hereby given that, on the 12th day of April, 1922, at the office of Clyde M. Hesser, trustee of Center School township, Vanderburgh County, Indiana, the undersigned Trustee, in conjunction with the Advisory Board of said Township will receive sealed bids for furnishing all labor and materials for and the construction of a one story and basement, brick school building in said Centr Township, known as school number five, in accordance with the plans and specifications now on file in the office of said Trustee and in the office of E. M. Stingle, architect, Evansville, Indiana.

Said bids will be received up to ten A. M. of said 12th day of April, 1922.

The estimated cost of said construction is \$33,000.00.

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Said Trustee, in conjunction with said Advisory Board, will examine said bids and award the contract for said construction to the lowest and best bidder therefor, and the successful bidder will be required to enter into a written contract with said School Trustee for the furnishing of all labor and materials for and the construction of said School House, in accordance with said plans and specifications, and to give bond with security, to be approved by said School Trustee, for the faithful performance of such contract.

Said School Trustee and Advisory Board, hereby reserve the right to reject any and all bids.

CLYDE M. HESMER,

Trustee of Center School Township, Vanderburgh County, Indiana.
SPENCER, ENSLE & SPENCER,
Attorneys for Trustee.

SCHOOL HOUSE

NOTICE TO CONTRACTORS.

Sealed proposals will be received in accordance with the law until 2 P. M., April 12, 1922, at the office of the Superintendent of Schools, Marion, Indiana, for the furnishing of materials and performance of labor required in the erection and completion of the South Side grade and Junior High School building and boiler house in District No. 6, situated on the school site (located between 35th and 36th streets, west of Washington street, in Marion, Ind.) according to plans and specifications, prepared by H. G. Bowstead, Architect, Marion, Indiana. Said improvements are estimated to cost approximately \$300,000.00.

Plans and specifications may be procured from the office of the architect at number 404 Glass Block, Marion, Indiana. Proposals forms are on file and can be secured at the office of the Superintendent of Schools, Marion, Indiana.

Copies of plans and specifications will be furnished any contractor applying for same on deposit of the sum of \$25.00 (Twenty-five dollars) to be held in escrow for the return of said plans and specifications to the architect on or before April 15, 1922.

Separate bids will be received on the General Work, Plumbing, Heating and Electric Wiring.

All bids shall be made and submitted on special blank forms, which may be obtained from the office of the Superintendent of Schools of Marion, Indiana. Each bid shall be accompanied by cash, or approved surety company bid bond, or certified check upon a solvent bank made payable to the Trustees of the School City of Marion, Indiana, in the amount equal to five (5%) per cent of the bid, tendered as a guarantee that the bidder will, if awarded contract, enter into bona fide agreement with the School Trustees of the City of Marion, Indiana, for the contract and furnish sufficient bond required under the specifications.

If for any reason whatsoever the bidder shall fail to enter into proper agreement, or fail to execute proper bond, the amount of such guarantee shall be retained by the trustees of the school City of Marion as liquidated damages, sustained by reason of his failure to do so.

Each proposal shall contain full name of each person or company interested in same, and all prices shall be written in ink and expressed in words as well as in figures.

The date set for the entire completion of the work is April 1, 1923.

Bidders shall furnish satisfactory evidence of their experience and ability to construct work of this or like character in the time required.

The trustees reserve the right to reject any or all bids, and waive any defect or informality if deemed in the interest of the school city of Marion, Indiana, so to do.

Dated this 21st day of March, 1922.

W. D. MOSS,

F. A. PRIEST,

WILLARD ELKINS,

Members of the School Board of the City of Marion, Grant County, Indiana.

SCHOOL HOUSE

NOTICE TO CONTRACTORS.

Notice is hereby given, that the undersigned, Trustee of Moral School Township, Moral Township, Shelby County, Indiana, will until the hour of two o'clock P. M. April 8th, 1922 at the office of the said Trustee in the Town of Pleasant View, Moral Township, Shelby County, Indiana, receive sealed bids for the erection, construction, and completion of a Township Joint High and Elementary School Building; for the installation of a heating and ventilating system therein; a plumbing, sewer and lighting system therein and connected therewith; located in the Northeast corner of Section 19, Township 14 North and Range 6 East in said Moral Township, Shelby County, Indiana; all in accordance with the drawings, plans and specifications therefor, and adopted and approved by the said Trustee and the Advisory Board of said Township, and as prepared by J. Edwin Kopf and Woolling, Architects and Engineers, Indiana Pythian Building, Indianapolis, Indiana, and now on file at the

office of said Trustee and the said Architects and Engineers, as well as the Office of the State Board of Accounts, Indianapolis, Indiana.

Bidders desiring duplicate copies of the drawings and specifications for their personal use may obtain same by depositing \$25.00 for the general construction documents and \$15.00 for the documents of each of the other branches; which deposits will be refunded if the drawings and specifications are returned in good condition on or before the time above set for receiving bids.

All bids must be on forms prescribed by the State Board of Accounts and must be accompanied by a certified check of not less than three percent of the gross bid submitted; payable to the said Trustee of said Moral Township, Shelby County, Indiana, and shall be forfeited to the said Moral School Township as agreed and liquidated damages, in the event that the successful bidder fails to enter into a proper contract for the work bid upon and to give the proper surety bond, within ten days from the acceptance of such bid; and upon his executing contract and giving bond the check of the successful bidder will be returned. Checks of the unsuccessful bidders will be returned.

Within ten days from the acceptance of bids, the successful bidders will be required to enter into a written contract to construct and complete the work covered by the bids, including the furnishing of all material and the performing of all work in conformity with the said drawings and specifications on file in the said Trustee's Office, and also to furnish at the same time proper bonds with approved security.

All branches and the whole of the work herein mentioned must be completed on or before September 15th, 1922.

The Advisory Board of said Township shall attend the opening of bids and the letting of the contracts; and said Advisory Board and Trustee reserve the right to reject any and all bids.

Dated this 8th day of March, 1922.

HARRY BARRETT,

Trustee Moral School Township,
Shelby County, Indiana.

SCHOOL HOUSE

NOTICE TO CONTRACTORS

Sealed Proposals will be received by the Board of School Trustees of the School Town of North Manchester, Indiana, up to one o'clock P. M. on Monday the 10th day of April, 1922, at the office of the Board of School Trustees of the School Town of said town in what is known as the Central School Building of said town, for the CONSTRUCTION of a Two story brick public school building in the town of North Manchester, Indiana.

Also sealed proposals will be received for the plumbing, heating and wiring the said building at said town.

All are to be constructed with plans and specifications furnished by Charles R. Weatherhog, Architect, Fort Wayne, Indiana. Said building estimated to cost complete one hundred forty (140) thousand dollars. Each bid must be made out on form prescribed by the State Board of Accounts and are to be accompanied by certified checks as follows:

General contract, five hundred (500) dollars.

Plumbing and water system, three hundred (300) dollars.

Heating and ventilating, three hundred (300) dollars.

Wiring one hundred fifty (150) dollars.

Checks to be made to Ira A. Mummert, Treasurer of said School Board, as a guaranty of good faith to enter into a contract satisfactory and acceptable to the said school board. All checks to be returned as soon as satisfactory contract is signed and bond approved.

The successful bidder will be required to furnish a good and sufficient bond amounting to the full amount of the contract price the same to be satisfactory to the Board of School Trustees and approved by them and their attorney. Said bond to be a guaranty for the faithful performance of the prompt and satisfactory completion of the work, and to pay for all labor and material according to the contract and said plans and specifications on file. All bids to be seen at a non-collision affidavit. Plans may be seen at the office of the Board of School Trustees at the Central High School Building in said town or at the office of Charles R. Weatherhog, Architect, Fort Wayne, Indiana.

The Board of School Trustees reserve the right to reject any and all bids.

Bids will be opened publicly at said Central School Building on said date.

The Board of School Trustees of the Town of North Manchester, Indiana.

By

ISAAC OPPENHEIM

J. H. MILLER

I. A. MUMMERT,

Trustees.

MEMORIAL BUILDING

NOTICE TO CONTRACTORS.

Notice is hereby given that the Board of Trustees of the Batesville Memorial, Batesville, Indiana, will, until the hour of 10:30 A. M., on Friday, the 31st day of March, 1922, at the office of said Board at 5 Batesville Bank Building, Batesville, Indiana, receive sealed bids, and then to be opened for a general contract for the furnishing of all material and labor for the erection, construction, and completion of the Batesville Memorial at Batesville, Indiana, including heating, plumbing, ventilating, water system, and electric wire for said Memorial Building, all of which is to be in accordance with the plans and specifications therefor, which have been approved by the State Board of Accounts of the State of Indiana, and which said plans and specifications are on file in the office of said Board of Trustees at 5 Batesville Bank Building, Batesville, Indiana, and copies of said plans and specifications for all said construction and work may be had at the office of Karl P. Henkel, Architect, at 108 Heinemann Building, Connorsville, Indiana, and may also be inspected at the office of said Board of Trustees at 5 Batesville Bank Building, Batesville, Indiana. Proposals shall be submitted, first, for the complete general construction of said building; second, heating and ventilating; third, plumbing and water system; fourth, electric wiring, and each bid shall be separate and distinct from any other bid. All bids and proposals shall be on forms prescribed by the State Board of Accounts. All bids must be in writing, sealed and with the envelope endorsed, giving the name of the bidder and the class of the work bid upon, and all bids will be opened and read publicly at the time and place fixed in this notice. Each bid for the general construction shall be accompanied by certified cashier's check of a responsible bank for the sum of five hundred (\$500.00) dollars. Each bid for heating and ventilating, plumbing and water system, and electric wiring shall be accompanied by a certified cashier's check of a responsible bank for the sum of one hundred (\$100.00) dollars. These checks must be made payable to the Board of Trustees of the Batesville Memorial, and will be held by them as a guarantee of good faith that said bidder or bidders will enter into contract and execute bond by the Board of Trustees for the performance thereof if their bid or bids are accepted. The checks of those bidders who failed to be awarded contracts shall be returned to them when the contracts are let.

Should the successful bidder or bidders fail to enter into such contract and fail to execute such bond they or he shall forfeit the amount of said certified check as liquidated damages for the use and benefit of the proper fund of the Batesville Memorial, Batesville, Indiana.

The Board of Trustees reserve the right, and contractors bidding for said work must bid with the understanding and condition that the Board may reject any and all bids received, and said Board of Trustees reserve the right to take time to investigate the bids and the qualifications of the bidders, and reserve the right to determine for themselves what bid may be accepted for said work and what bids may be rejected. The limit of time to be allowed the said Board of Trustees for proper investigation of bidders shall not be less than seven (7) days from the date of receiving bids. The estimated cost of the construction and completion of said Memorial, in accordance with the plans and specifications therefor, is fifty-four thousand (\$54,000.00) dollars.

Before the closing of a contract with any contractor for the construction and completion of said building, the Board of Trustees will require that such contractor or contractors furnish to said Board of Trustees a certificate from the Industrial Board of Indiana, showing that said contractor has complied with Section 68 of the Workmen's Compensation Act of Indiana, and such contract when entered into, and the bond to be furnished by such contractor shall contain a condition and agreement to empower the said Board of Trustees to withhold from the contract price sums sufficient with which to pay all claims of laborers, material men, and sub-contractors, as well as claims for labor and material furnished to contractors, and to pay all such claims out of such funds as provided by the Acts of the General Assembly of the State of Indiana.

Payment to the contractors upon estimates made as the work progresses and final payment shall be made as set and fixed in the specifications for said work.

Each bidder shall file with his bid the statutory affidavit required under Section 8698, Burns Revised Statutes of the State of Indiana, 1914.

Copies of the plans and specifications may be obtained from the office of the Architect, Karl P. Henkel, 108 Heinemann Building, Connorsville, Indiana.

(Continued on Page 11)

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Indiana, upon deposit of twenty (\$20.00) dollars for each set. Said deposit shall be returned to the bidders upon the safe return of said plans and specifications free of cost, to the office of said Architect on or before the day and hour set for receiving bids. Each bidder receiving plans and specifications will be required to submit a bid or bids to the said Board of Trustees, or failing to do so, the deposit for plans and specifications shall be retained for the proper fund of the Batesville Memorial, Batesville, Indiana.

MICHAEL F. BOHLAND
WILLIAM H. SCHWIER, JR.
MRS. TORA McCALLUM
ANTHONY W. ROMWEBER
HARRY C. CANFIELD,

Board of Trustees of the Batesville Memorial, Batesville, Indiana.

SCHOOL HOUSE NOTICE TO BIDDERS.

Notice is hereby given, That the Miller & York Township Consolidated School Board, Dearborn County, Indiana, by their Advisory Boards, Trustees and The School Board thereof will receive sealed bids at the office of the County Superintendent of schools in the city of Lawrenceburg, Indiana, until 12 o'clock Noon, of Tuesday, March 28, 1922, at which time and place same will be opened, read and considered for the construction of a school building, and for the installation of heating and ventilating system for said building, and for a complete wiring system, and the same for the uses of said Townships therein; and all by and according to the plans and specifications as provided thereof approved by said Board and by the State Board of Health and the State Board of accounts. The plans and specifications are on file for the inspection of bidders at the office of the County Superintendent who is a member of this School Board, and at the office of the Architect, Karl P. Henkel, No. 108 Heinemann Bldg., Connorsville, Indiana, and duplicates of plans and specifications are available for bidders for their personal use upon deposit of \$15.00 with the Architect to guarantee the return of same on or before the opening of bids, it being understood that all checks will be cashed if not redeemed by the return of plans and specifications within ten days after the date of opening of bids.

Bidders must familiarize themselves with such plans and specifications before bidding, as no departure from same will be considered.

Bidders on submission of bids will submit same as follows:

- (1) For the general construction of the school building, (general contract).
- (2) For the installation complete of heating and ventilating system.
- (3) For the installation complete of plumbing and sewerage disposal.
- (4) For the installation complete of electric wiring system.

(5) For all work inclusive as is comprehended by the plans and specifications.

In this way the bidder will only be required to submit his bid for such portion or portions of the total improvement as he may desire. Special attention is called to the provision of alternate propositions by bidders and the desired receipt of alternate proposals.

All bids and proposals must be upon the form prescribed by the State Board of Accounts; and all bids must be accompanied by a certified check of the bidder in the sum equal to at least two per cent of the gross bid however a certified check of \$100 will be required from the heating and ventilating contractor and \$100 from the plumbing and sewerage contractors, and \$100 for the electric wiring contract.

This is to guarantee that the contractor will enter into a written contract with sufficient and approved security if he is the successful bidder. Unless bids are accompanied by such check and upon such forms no attention will be given same.

The successful bidder will be required to enter into his written contract, and also to deliver his bond with approved security, in the sum equal to the amount of the contract, as usually conditioned upon faithful compliance with terms of contract.

The bidder will be required by terms of contract to complete the same within not to exceed two hundred working days therefrom.

Immediately following the acceptance of any bid, the School Townships will file their application with the State Board of Tax Commissioners petitioning for approval of bond issue in the sum sufficient to procure funds with which to make payments for all work contemplated, and execution of contract with successful bidders will abide the approval of such application.

The Board reserves the right to reject any or all bids without giving any further reason thereof.

NICHOLAS VOGELGESANG,
ALFRED J. WOODS,
GEORGE C. COLE,

Constituting Board of the Consolidated Township School for York and Miller Townships.

SCHOOL HOUSE NOTICE TO BIDDERS.

Notice is hereby given that Vernon School Township, Jennings County, Indiana, by the trustee and advisory board thereof, will receive sealed bids at the office of the trustee at the town of Vernon, within said Vernon township, Jennings County, Indiana, until 1 o'clock p. m., on Wednesday, April 19th, 1922, for the construction of a new high school building and for the installation of a heating and ventilating system and for the installation of a plumbing and sewerage system and electric wiring, all for said proposed building. All bids shall include all labor, material and supplies necessary for complete construction or installation of that part of the work bid on, and all strictly in accordance with the plans and specifications provided therefor, which have been properly accepted and approved and are now on file in the office of said trustee. Said building to be two stories and basement brick building and to be located on real estate now owned by said township in said town of Vernon, within said Vernon township, Jennings county, Indiana.

Bidders will submit their bids as follows:

- (1) For the construction of school building (General Contract).
- (2) For the installation complete of heating and ventilating system.
- (3) For the installation complete of plumbing and sewerage system.
- (4) For the installation complete of electric wiring.
- (5) For the construction as a whole, or any combination of contracts.

The estimates on the cost of the construction of said building are approximately as follows: General Contract, \$22,000.00; heating and ventilating, \$7,000.00; plumbing and sewerage \$2500.00; electric wiring, \$500.00.

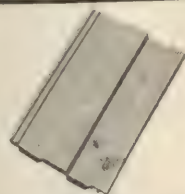
All bids and proposals must be upon the form prescribed by the State Board of Accounts. Each bid on the General Contract, or on complete construction, shall be accompanied by certified check of the bidder in an amount equal to 2 per cent of the bid. Each bid on heating and ventilating system or plumbing and sewerage system or electric wiring shall be accompanied by certified check of the bidder in the amount of One Hundred Twenty-five Dollars (\$125.00). All checks shall be payable to Clarence E. Dawson, Trustee, and be conditioned that the successful bidder will enter into a contract with sufficient surety for the performance thereof. When the contract or contracts are let checks of unsuccessful bidders will be returned to them.

The successful bidder or bidders will be required to enter into a written contract and execute a bond with sufficient surety to be approved by said trustee in an amount equal to the amount of the contract and conditioned for the faithful performance of the same.

Plans and specifications may be had for the individual use of bidders from the architect, H. M. Griffin, Connorsville, Indiana, by making a deposit of \$10.00 for each set, which will be returned upon the return of the same in good condition on or before the day of receiving bids. One complete set of plans and specifications are on file with the trustee.

The right is reserved to reject any and all bids, and all bids will be received on the condition that any contracts entered into thereon will be subject to the sale of bonds of said school township for the payment of said contract.

CLARENCE E. DAWSON,
Trustee, Vernon School Township, Jennings County, Indiana. Address, North Vernon, Ind., R. R. 2.
W. T. SEMON, Attorney,
Vernon, Ind.



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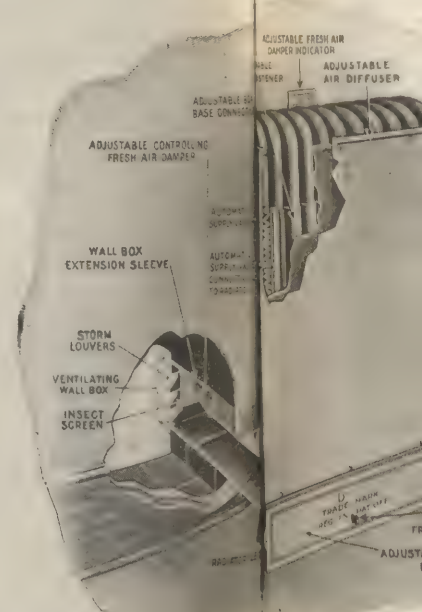
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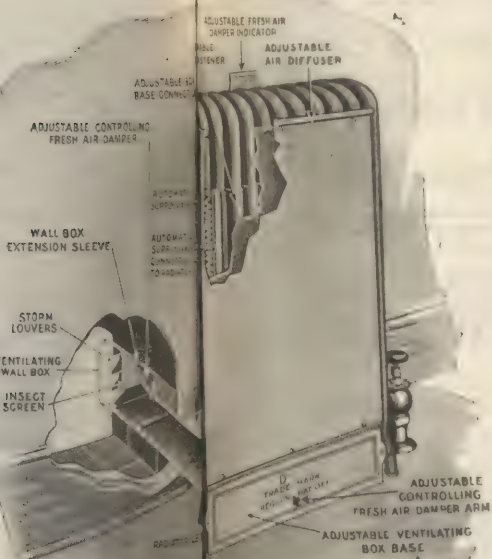
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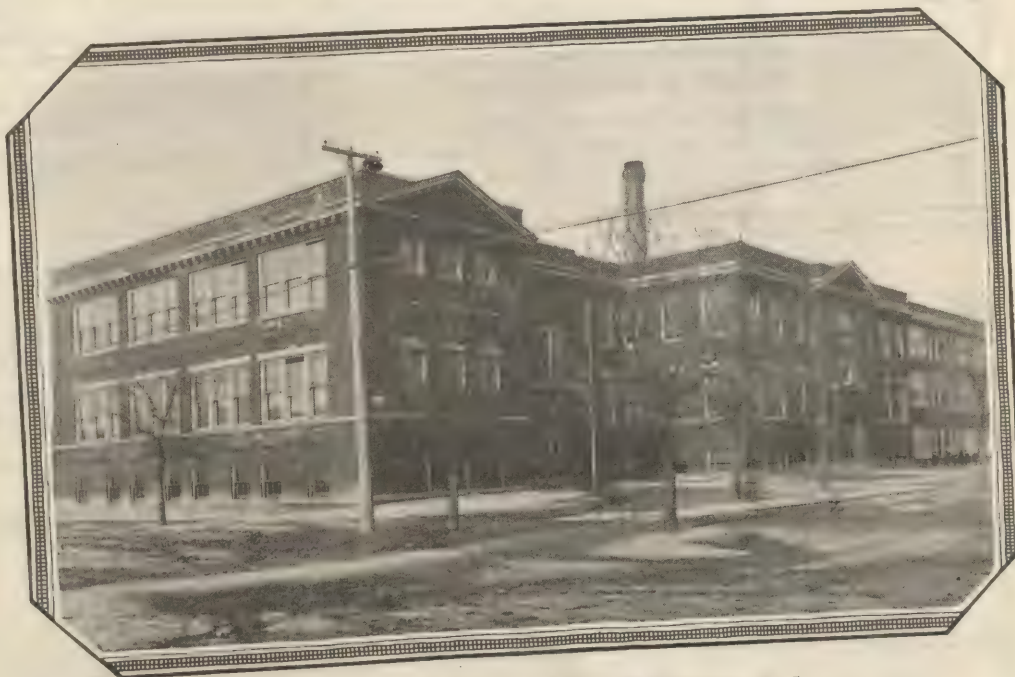
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The Burnham School pictured below has 29 class rooms, rest rooms and offices. It was completed in 1921. **Architects:** Ashby, Ashby and Schulze, Chicago, Illinois; **General Contractors:** Schmidt Bros. Const. Co., Chicago, Illinois; **Heating and Ventilating Contractors:** H. W. Keppner, Cicero, Illinois.



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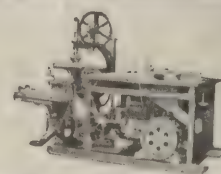
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Official Paper

Indiana Society of Architects

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LABOR TROUBLES DEEP-SEATED AND FUNDAMENTAL.

Cures that are proposed to be forced upon labor unions with the idea of straightening out the building labor situation in some sections do not give promise of permanent relief according to Architect Dwight H. Perkins, F. A. I. A., Chicago, who in an article in the Western Architect says: "There is error on the part of the employer as well as the employee. It would contribute to clear thinking if we would stop regarding the contractor as the employer. He is merely the agent for the owner, who is the public, and relatively speaking he is not concerned with the questions in dispute except as the failure to settle them interferes with his doing business.

"The real important interests lie between the workingman on the one hand and the public on the other. I believe that the architects should do much more than they have ever yet done to lessen the results of labor disputes, but as their position is purely advisory and they, too, are merely agents of one party, no clear or simple way occurs to me for them to act. The nearest approach made by architects has been made by a group in the East under the inspiration and leadership of Robert D. Kohn. So far his work has been principally along the line of making a clean breast of everything to everybody.

"We do not think, in these great economic problems, clearly and thoroughly. When we do, we will come to the conclusion that the troubles are deep-seated and fundamental and that they are a part of the competitive profit system. Until we can show as much wisdom in the matter of housing as we do in public education and public recreation; in short, until the time comes that we are ready to build for service rather than for profit, our troubles are bound to occur in one form or another and, I believe, with increasing intensity."

BUILDING CODE REVISION AGITATION TAKING FORM.

It begins to look as if the agitation that has been going on among the architects and engineers of Indianapolis for a revision of the city building code is really going to get somewhere. The matter was brought to the attention of the city council last week with the result

that a special committee has been appointed to consider such revision.

The architects of Indianapolis have for some time realized that the present building code fails to meet the ever changing conditions and at the last meeting of the Architects' Association a special communication was received from the local chapter of the American Association of Engineers recommending that the two organizations take some steps to have the code brought up to date. It was shown that the requirements of the local code are much more exacting and rigid than the codes in other cities larger than Indianapolis specifying in many instances certain provisions considerably in excess of proven safety factors in other localities.

Further, it was set forth that the principle of the present building code is wrong fundamentally, and did not meet the demand of the times for lower building costs. The communication from the engineers also drew comparisons with the situation in other cities to show that building costs were materially higher in Indianapolis.

In the proposition to revise the code, a recommendation was made that the office of building commissioner be made an administrative office equipped with powers to promulgate its own rules and regulations, such as the state fire marshal's office. It was also proposed that fees paid for building permits be increased and that the increased revenue be used in the employment of additional building inspectors needed to meet the requirements of the city building department.

ANNOUNCEMENT OF A. I. A. CONVENTION AT CHICAGO.

The fifty-fifth convention of the American Institute of Architects will be held in Chicago, Illinois, on June 7, 8, and 9, 1922. Information concerning convention subjects, the program as a whole, transportation, headquarters, and similar matters will be given in a later circular.

Nominations of Officers.

As required in the by-laws, the secretary advises each member of his privilege of nomination by petition, under the procedure indicated in Section 1, Article IX. This section provides that any fifteen members belonging to not less than

two chapters may nominate by petition candidates for any office about to become vacant, provided said nominations are filed with the secretary of the Institute not less than thirty days prior to the convention at which the election is to take place.

The offices to become vacant at the time of the convention are those of president, first vice-president, second vice-president, secretary, and treasurer; and also those of three directors whose terms expire.

The expiration of the terms of three directors will leave a total of four regional districts unrepresented by regional directors. Therefore, under the accepted plan of regional representation, the three new directors should be selected to represent three of these four districts; which are as follows:

District No. 1—States of Maine, New Hampshire, Vermont, Massachusetts, Connecticut, Rhode Island.

District No. 2—States of New York, Porto Rico, Virgin Isles.

District No. 3—States of Pennsylvania (exclusive of Pittsburgh and Erie chapters), New Jersey, Delaware.

District No. 6—States of North Dakota, South Dakota, Minnesota, Wisconsin, Iowa, Colorado, Nebraska, Kansas, Missouri.

The names of all nominees filed with the secretary of the Institute not less than thirty days prior to the convention will be sent to each member at least two weeks in advance of the convention.

INDIANAPOLIS ARCHITECTS ANNOUNCE BUSINESS CHANGE.

Architects A. A. Honeywell and Wilson B. Parker, Indianapolis, who have been working in association the past two years announce that they, hereafter, will continue practice, but independently. Mr. Parker will continue his office at the former location, 620 State Life Building, while Mr. Honeywell will be located at 413 Pennway Building.

All unfinished work will be completed under the former association arrangement, Mr. Honeywell to have charge of the church construction work and Mr. Parker will attend to all of the other types of construction projects underway.

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If You are Contemplating any kind of Construction Work, you should Communicate with
General Office for Information

MEETING NIGHTS

General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.

DON'T LEAN TOO MUCH, RATHER SUPPORT YOUR ASSOCIATION.

During one of those rare occasions when the secretary finds his work pretty well up and has a few moments to lean back and peruse some of the material that comes to his desk announcing what the other associations about the country, and the contractors, are doing, he came across the following in the Bulletin of the Associated Building Contractors of America and hereby takes the liberty of repeating it, trusting that those who read will also remember the advice therein contained.

"We must not lean too much on our Association. The Association is what the members make it; if the members support the Association it will flourish. The achievements of an association are marked by the degree of interest the members take in the organization. Standing for right principles, there can be no doubt but that the Association, through its functioning, will afford great good to its membership. That should be the inspiration in connection with the Association; the interest of the members should not only be material, it should be personal.

"Contractors must be good neighbors. If they want help for themselves they must be willing to help their neighbors. The most value is to be obtained from that which is laden with personality; there is not much joy to be found in life unless we respect our neighbors and

friends and their rights. There is this much to it; we must live with our neighbors, the order of the day forces us to intermingle, and when you and I get suspicious of one another and view each other with anything but kindness things are going to get pretty much awry.

"The association idea is the big one for success under which the contractors must operate. There are betetr times ahead, the clouds are breaking, dissolving as it were; the claim is not made that they have broken up in all lines of industry, but there will come a time when they must break, a time when the sky will be clear."

UNPARDONABLE.

It appears as if in Chicago, old tactics have been resorted to of beating up the man on the job who is willing to work in order to support his family. Such tactics will gain little, and will prove a boomerang against those who employ them in that they will take from the users of violence the respect and support that their cause might otherwise command if handled more judiciously. The thugs who last week brutally beat up a non-union plumber should be brought to account, and that, too, by the forces of Union Labor.

SOMETIMES IT HURTS.

There are those who hate to hear a spade called a spade. O. W. Rosenthal, President of the Cornel Engineering Co., Chicago, over at a luncheon at the East Chicago Chamber of Commerce, March 15th, spoke on the prevailing conditions in the building industry and gave the causes for same. He went after the

subject without gloves. His remarks were well received by the majority present, but there were a few in the audience who seemed to be peeved. It is just possible that these disgruntled gentlemen are not accustomed to facing the plain truth.

CALUMET BUILDING PROGRESS.

Quite a few of our members are busy getting up estimates on the West Hammond Community Buildings; this is the first big work that has come out in Hammond this spring.

Then, too, bids are to be asked for soon on several houses and business buildings.

If some of you contractors wear "specs" get them out and clean the lenses, all of you lay in a good supply of lead pencils, then go to this figuring; the more work Association members land the bigger crimp it will put in the forces that are fighting us.

Rufus Danner has been awarded these contracts: \$8,000 residence for George Emmerling, \$6,000 dwelling for C. Myers.

George Bates is in the running and going good with contracts for two bungalows, one for Fred Herner, and one for John Kapture.

Construction work has been started by John G. Meyers on a one story 63x100 garage for Mr. Zimmerman at Robertsdale. Joe Wolf has the masonry contract.

E. E. COLE.

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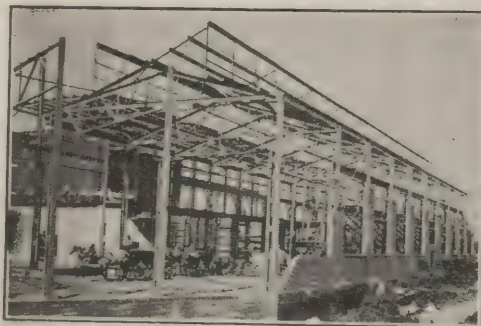
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Associated Building Contractors of Indiana

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ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller.....President
Chas. Scarborough.....Secretary

Office of Secretary, 710 Old State Bank

BEST BUILDING SEASON IN YEARS PREDICTED FOR "THE POCKET"

Contractors, architects, material supply men and realtors of Evansville, after fully studying local conditions and early indications, are all of one accord, predicting in this field one of the very best building periods ever known in "The Pocket."

The architects say things are opening up nicely, inquiries and preliminary planning being backed with a tone that indicates a determination on the part of prospective builders to go ahead with their work this season. Every architect's office in the city is busy at preparing plans.

On the other hand the contractors are being importuned to figure a great deal of the smaller classes of building construction but the larger contractors are inclined to lay back a bit and figure the more pretentious projects that are promised for the near future.

Among the material supply men there is much activity and a fairly good volume of business owing to the residential construction that is getting under way with every indication of still better business as the season rolls on.

The depression that had held building construction in abeyance seems to have been broken according to the realtors who report quite a good deal of real estate transfers. It seems that the decline in material prices has offered prospective builders an incentive to build since loans for building purposes are more easily available. Especially are the realtors seeking to aid the small home builder and anyone with \$500 is now in a position to undertake to build a home.

WHAT LOWER BUILDING COSTS DID FOR EVANSVILLE.

Relative to home building in Evansville, many people in the last few months inquired into prices, were enlightened and surprised to find how much building costs had declined. Then they set about building, attested by the permits issued at the city building inspection office, and are now watching their projects nearing completion, eager to get into that new home they can call their own.

NOT ONLY PRICES BUT CONDITIONS ARE NOW FAVORABLE.

At the present time, just at the opening of the 1922 building season, the prices are lower than they have been for some time, according to Evansville lumber dealers. The small home builder finds himself in practically a buyer's market so far as basic building materials are concerned.

The theory has been advanced that as the building tide advances, material prices may raise. Local dealers do not agree. However, all advise to build at once and say that the best council for the prospective builder is not to follow a will-o'-the-wisp in the form of price reductions because improving conditions in business, the slow but sure ironing out of international problems, forecast an area of prosperity which will result in a return to commercial construction in its many various forms with the return of big order projects. Then small order building material deliveries will be handicapped by the preference for large orders.

CHIPS AND SHAVINGS.

Probable building projects for Evansville and vicinity this season are: \$500,000 Gas Plant Improvements for Southern Indiana Gas & Electric Co.; \$200,000 factory addition and improvements for the Atomized Products Corporation; \$100,000 housing plan by A. C. Richardt; \$400,000 High School; \$25,000 Country Club for Hadi Temple of Shriners.

Building permits increased \$25,205 over the preceding week for the week ending Saturday, March 18. Deputy Building Inspector Perrett's figures: Week ending March 1, 20 permits, \$14,205; March 18, 34 permits, \$39,325.

FT. WAYNE

BUILDERS' EXCHANGE
Member State A. B. C.

Max Irmscher.....President
Eph Dailey.....Secretary
825 Calhoun St.

Phone 2001

BIG PLANT A SURE GO.

That work on the big plant of the International Harvester Co., to be located east of the city, will start soon was indicated recently by representatives and engineers of the company, who have already commenced a preliminary survey of the site for the purpose of locating the exact positions of the buildings.

George T. Bergen, field engineer for

the Dale & Zimmerman Co., of Philadelphia, engineers, who have charge of a great deal of the construction work, have arrived in the city with several assistants. Contrary to original plans, the majority of the actual construction work will be contracted and bids will be approved and contracts let shortly.

J. D. McGann, superintendent of the preliminary work for the harvester company, is in the city and with a staff of assistants has been busily engaged completing drawings and plans for the immense motor truck factory.

MORE WORK STARTED.

The erection of a thoroughly modern and very attractive home for the Sisters of the Precious Blood community at 710 Fourth street has been started. The work of excavating for the new building was started on Monday morning, March 6. The new building is to be of pressed brick, with cut stone trimmings. It is to be two stories high, with a frontage of 60 feet on Fourth street and a depth of 41 feet. The structure is estimated to cost \$20,000.

Peter Schenkel & Son have the contract for the masonry, John Blee, the carpentry, Gerding & Auman, the roofing, Leonard Stalf, jr., the plastering, Joe Hilker, the painting, John Rieg, the plumbing, and Teeders & Sons, the heating.

AND YET THEY STAND APART.

Reports from thirty-three out of thirty-nine cities canvassed in New York state show a great dearth of houses costing from \$3,900 to \$9,000. This scarcity is virtually nation-wide and accounts for the extraordinary efforts put forth in large and small cities to provide moderate sized dwellings for the people to live in. Building costs have been reduced. If capital and labor could quickly come to terms, the country could advantageously invest \$8,000,000,000 in new structures of all kinds. The situation would be much more urgent were it not for depression and the reduced working forces it has brought about.—First National Bank Bulletin for March.

DIMENSION STUFF.

A lot 300 ft. x 80 ft. in Forest Park boulevard was purchased last week by Maurice Niezer. A new house this summer, Maurice?

B. L. Baltes is contemplating a new residence for a lot 50x165 ft., on Curdes ave., he recently took over.

INDIANAPOLIS

Building Contractor's Association
Member State A. B. C.

F. W. Jungclaus.....President
C. C. Pierson.....Secretary

MEETINGS.

Executive Committee meets second Tuesday each month.

General Contractors meet second Friday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

SHEET METAL MEN AT WORK ON CONVENTION PLANS.

Plans for the annual convention of the state and national organizations of sheet metal contractors, to be held at Indianapolis May 15 to 19, were gone into at a recent meeting of the officers of the two organizations.

Committees were appointed to arrange the details of the convention and the program will be announced shortly. The meeting was directed by Joseph C. Gardner, president, and Ralph R. Reeder, secretary of the state organization; Joseph Mattingly and W. S. Waters, president and secretary of the Indianapolis association; E. W. Norman and H. A. Beaman, president and secretary of the jobbers and salesmen's auxiliary. The national organization was represented by A. P. Lamneck, Columbus, O., national president.

Expects Large Crowd.

Mr. Lamneck said he expected this to be the largest convention ever held by the sheet metal men in the United States. More than 3,000 members of the state and national organizations are expected to attend. There will be more than 100 exhibits, including a model sheet metal shop. The work in this model shop will be done by students of vocational schools.

The volume of building this year will be greater than any year since 1914, according to Mr. Lamneck. Particularly does this apply to the erection of homes.

COURT DECISION CAUSES MASTER MASON CONTRACTORS TO TAKE HURRIED ACTION.

Mason contractors from Washington, D. C., St. Louis, Cincinnati, Columbus, O., Illinois, and Pennsylvania, members of the Executive Board of the Master Mason Contractors' Association of the United States and Canada, met at Indianapolis in special session the past week to consider a revision of their general working agreement with the bricklayers' international union.

This meeting was brought about by a recent decree of the Federal courts which restricted the activities of the International Union of the bricklayers, masons and plasterers which were held to be a disturbing influence in the building industry. U. S. Atty. General Daugherty was behind the action that resulted in the decree prohibiting the limiting of the productive capacity of the individual

workman in a given time; that no restrictions be enforced upon the employers to prevent them from buying their materials wherever and whenever and from whomever they chose whether those materials be union made or not; that no favoritism be shown by organized labor toward employers' trade or contractors' associations, and that no discriminations be indulged in against an independent employer who may not be a member of such an association; that the labor organization not permit itself to be used by material men or contractors for the collection of claims.

Since the Mason Contractors' Association had an international working agreement with the bricklayers' union, President Gillespie, St. Louis, Walter McGarvey, Secy., Cincinnati, and the members of the Executive Board decided to call a special meeting to take action relative to the recent court decision and thus protect the association members. The Board members after a two days' session have decided to send out instructions to all members not to make any new working agreements with the bricklayers' union until further advised by the association. In the meantime the previous working agreement has been abrogated by this important decree of the Federal Court.

Steps are to be taken at once by the Master Mason Contractors' Association of the U. S., and Canada to formulate a new working agreement in accord with the above decision and then it will be submitted to the Executive Board of the Bricklayers' International officers for approval and adoption.

AWARDING OF LARGE CONTRACTS AT INDIANAPOLIS UNUSUALLY BRISK.

Three contracts for the general construction of two large office buildings and a fine new club house, the total of which, in valuation, will run well over a million and a half dollars, have just been let in the last two weeks at Indianapolis to the Bedford Stone & Construction Co. The general contract was let to the W. P. Jungclaus Co., for the \$800,000 addition to the Murat Theatre, just previous to these other big awards.

That building in Indianapolis is good is evidenced by the fact that on the above jobs there were bidders from Chicago, Cleveland and St. Louis competing with the local contractors.

Nor is this all, just a few weeks ago the Hall Construction Co., picked off the contract for the construction of a new parcel post depot to cost in the neighborhood of \$600,000. There are several other large projects on the boards that will be out for bids soon. These latter will add a couple of million more dollars to Indianapolis' building total for 1922.

RESIDENTIAL CONSTRUCTION WORK BREAKS LOOSE.

As a forerunner of what probably can be expected in the way of residential building in Indianapolis this season was brought out at the building inspection department during the period from March 8th to March 15th, when permits were issued for new residences for a total estimated valuation of \$355,350. The estimated valuation on residence work for which permits have been issued from March 1st to March 22nd is \$809,150.

MUNCIE

Associated Building Contractors
Member State A. B. C.

Chas. RowePresident
J. A. Gallivan.....Secretary

314 Main Street

BIG VOLUME OF CONSTRUCTION IN SIGHT.

Men are not in the habit of paying architects' fees for the sake of putting their dreams on paper. Most of them expect to use the plans in the near future. But, assuming that only one-third of the construction work contemplated goes ahead and adding the amount of building not handled by architects and that which comes up during the year and is carried on to completion, the total figure for 1922 building construction work will, still be very considerable.—(Architectural Forum.)

IT'S THE CONTRACTOR AFTER ALL.

The best way to lessen the cost of your home is to supervise everyone of your sub-contracts as to price and material before resigning this privilege to your contractor. Any honest contractor is glad to share his business confidences with his client, and to do everything possible to make costs small so long as his own percentage is not lessened. And it is more important to find a contractor of this caliber than to worry yourself or idle away your homebuilding opportunity by waiting for a twenty per cent drop in lumber or a shrinkage of a few dollars in cast iron pipe. For verily, the masters who produce lumber are beyond understanding, and only the log that topples over in the far-off forest and thereafter comes tumbling down into the lumber yard, could tell the whole story—and the log is speechless.

Stop cogitating about possible cost reductions, and start your home after carefully examining your purse—there's your guide.—(Editorial in the Home Designer.)

STATE SANITARY ENGINEERS HONOR MUNCIE MAN.

After years of faithful service and earnest endeavor to aid in making the Indiana Society of Sanitary Engineers a real organization, J. A. Gallivan of Muncie, secretary of the local A. B. C.'s, was honored last week at Indianapolis by being unanimously elected president of the state sanitary engineers' society. "Jerry" modestly accepted his new office, asked for the hearty co-operation of the members, and promised to give his best efforts for the advancement of the organization and its members.

If the way "Jerry" wields the gavel means anything, look out, he sure puts "Zip" into his rapping for order.

RESIDENTIAL BUILDING TO CARRY THE BURDEN.

Conclusions drawn from a general survey by the Architectural Forum are: "A great part of this year's construction will be confined to residential building, it is said. It is the residential building which is often not handled by the architect, the plans frequently being obtained from lumber associations, material dealers and other places.

INDIANA CONSTRUCTION RECORDER

FOR
ARCHITECT
ENGINEER

Devoted to the
Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

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the Act of March 3, 1879.

News of the Week

The asterick (*) prefix to an item indicates ad-
ditional information to report published in pre-
vious issue.

INDIANAPOLIS.

*Apartment Building (66 apts.) \$350,000. 2
units. 3 sty. & bas. 60x70. Pennsylvania St.
North of 11th. "The William Penn Apts." Ar-
cht., George and Mac Lucas, 1153 Lemcke An-
nex. Owner, The Northern Realty Co. Archt.
taking bids on separate and general contract.
Brick, stone or terra cotta trim, 2 pipe vapor
heating system, tile, marble and terrazzo work.
*Apartment Building: (24 apts.) 29th and
Broadway. Archt., George and Mac Lucas, 1153
Lemcke Annex. Owner, Windsor Realty Co., %
Archt. Plans in progress.

*Reformatory: \$900,000. Near Pendleton, Ind.
Archt., Herbert Foltz, 843 Lemcke Annex, Indpls.
Owner, State of Indiana, State Reformatory, Bd.
of Trustees, Chas. Mouch, Newcastle, Ind., J. E.
Henning, Anderson, Ind., Oren S. Hack, 525 In-
diana Trust Bldg., Indpls., Supt. of Construction,
F. Friedline, Kentland, Ind. Plans in progress.
Will build by convict labor. Brick.

Factory (Monitor Type) \$100,000. 1 sty. &
bas. Jasper, Ind. Archt., H. Ziegler Dietz, 512
State Savings & Trust Bldg., Indpls. Owner,
Jasper Chair Co., Jasper, Ind. Archt. receiving
bids to close April 17th. Brick, monitor con-
struction, steel sash, tile roof.

Bank Building (top addition & rem.) Bedford,
Ind. Archt., Elmer E. Dunlap & Co., State Life
Bldg., Indpls. Owner, Stone City Bank, A. E.

McCormack, Prest., Bedford, Ind. Plans in prog-
ress. Stone and brick.

*Grade School (8 class rooms, assembly hall &
gymnasium.) 2 sty. & bas. \$74,720.00. Frank-
lin and Pike Sts., Shelbyville, Ind. Archt., J.
Edwin Kopf and Woolling, 402 Indiana Pythian
Bldg., Indpls. Owner, Board of School Commis-
sioners, D. Wray DePree, Prest., Bayard G.
Keeney, Secy., Shelbyville, Ind. Low bidder on
general contract, McKinsey & Albertson, Frank-
fort, Ind.

*Physical Training & Agricultural Building:
\$40,948.00. Shelbyville, Ind. Archt., J. Edwin
Kopf and Woolling, 402 Indiana Pythian Bldg.,
Indpls. Owner, Board of School Commissioners,
D. Wray DePree, Prest., Bayard G. Keeney,
Secy., Shelbyville. Low bidder on general con-
tract, W. H. Robertson, Shelbyville, Ind.
Church: 2 sty. 100x60. Kansas City. Archt.,
W. H. Gurns, Fletcher Trust Bldg., Indpls.
Owner, M. P. Church, Rev. F. L. Garlison, Pas-
tor, 1826 26th St., Kansas City and Bd. of Home
Missions, Dr. Chas. H. Beck, Pittsburgh, Pa.
Plans in progress. Brick and tile, stone trim.
Church: \$50,000. 1st unit. Hays, Kansas. Archt.
Honeywell & Parker, State Life Bldg., Indpls.
Owner, Presbyterian Church, Hays, Kas. Plans
in progress. Brick.

Sunday School (add.) \$20,000. Maysville, Ky.
Archt., Honeywell & Parker, State Life Bldg.,
Indpls. Owner, Christian Church, Maysville, Ky.
Plans in progress.

Church: 2 sty. & bas. Portsmouth, Ohio.
Archt., Honeywell & Parker, State Life Bldg.,
Indpls. Owner, Sciotoville Christian Church,
Portsmouth, Ohio. Owner will build by day la-
bor. Brick.

Apartment Building (2 apts. & stores) E. Wash-
ington & McKim Sts. Archt., Walter B. Stern,
215 Marion Block. Owner, A. and B. Kreber,
1331 East Washington St. Plans completed.
Ready for bids at once. Brick.

*Sunday School & Gymnasium: \$35,000. West
31st St. Archt., Chas. E. Bacon, 605 Odd Fellow
Bldg. Owner, West Thirty-first Street Baptist
Congregation, Rev. J. J. Patterson, pastor, 829
West 31st St. Archt. receiving bids on general
contract, heating, plumbing and wiring. Bids
close April 10th.

Church: \$15,000. Bloomfield, Ind. Archt., Chas.
E. Bacon, 6th floor Odd Fellows Bldg., Indpls.
Owner, Baptist Congregation, Rev. W. C. Pol-
son, pastor. Plans in progress. Brick.

Apartment Bldg.: (3 apts.) and Residence: 504-
6-8 DeQuincy St. Archt., Chas. E. Bacon, Odd
Fellows Bldg. Owner, Henry Stenger, 510 De-
Quincy St. Start work shortly. Plans com-
pleted. Frame.

Residence: (5 rooms) 5200 E. North St. Archt.,
Chas. E. Bacon, Odd Fellows Bldg. Owner, J. K.
Vance, Jr., 5217 E. North St. Start work short-
ly. Plans completed.

*Residence: \$20,000. 4445 Park Ave. Archt.,
Fermor S. Cannon, 21 Virginia Ave. Owner,
Fred G. Appel, % Gregory & Appel, Fletcher

Trust Bldg. Archt. receiving bids. Frame, slate
roof, furnace.

Residence & Garage: \$20,000. 8 rooms, Lafay-
ette, Ind. Archt., Donald Graham, Hume-Man-
sur Bldg., Indpls. Owner, C. F. Johnson, (Dry
Goods), Lafayette, Ind. Preliminary plans in
progress. Brick, tile or asbestos roof, hot water
or steam heating plant, tile and hardwood floors.

Residence: (3 rooms), Brownstown, Ind. Archt.,
Myers & Coffin, 412-13 Penway Bldg., Indpls.
Owner, John E. Kieffer, Brownstown, Ind. Plans
in progress. Hollow tile and stucco, tile roof,
furnace, septic tank.

Residence (Colonial) & 2 car garage: \$15,000.
Shelbyville, Ind. Archt., Chas. H. Byfield, 923
Peoples Bank Bldg., Indpls. Owner, Henry G.
Joseph, Shelbyville. Plans in progress. Frame,
asphalt shingle roof, furnace.

Residence (rem. & addition.) 38 E. 37th St.
Archt., Chas. H. Byfield, 923 Peoples Bank Bldg.,
Indpls. Owner, N. W. York, % Indpls. Candy
Co. Archt. ready for bids in a few days. Work
will consist of adding one sty. to present 1 sty.
house, new brick porch, hardwood and tile floors,
brick mantel and general alterations.

Office Bldg.: \$10,000. 4178 College Ave. Private
plans. Owner, Templeton-Freeman Realty
Co., 42nd and College. Plans completed. Start
work shortly. Brick veneer and stucco, tile roof.

*Printing Plant: \$100,000. No. New Jersey St.
Archt. and general contractor, Thompson & Bin-
ger, 708 Indiana Pythian Bldg. Plans in prog-
ress. Start work soon.

Contracts Awarded.

*Office Building: \$860,000. 7 sty. & bas. 88
x 120. Meridian and Circle. Archt., Rubush &
Hunter, American Central Life Bldg. Owner,
Guarantee Building Corp., Albert E. Metzger,
Prest., % Fletcher Trust Co. General contract
awarded to William P. Jungclauss Co., 825 Mass.
avenue, all of Indianapolis.

*Apartment Building: \$350,000. 3 sty. & bas.
235x197. "The Harvey Apts." 34th and Meridian.
Archt., J. E. Salie, 519-20 Empire Bldg., Birming-
ham, Ala. Asso. Archt., Merritt Harrison and
Turnock, 500 Board of Trade Bldg., Indpls. Own-
er, The H. N. Maloney Apt. Co., % Emerson W.
Chaille & Co., 920 Hume-Mansur Bldg., Indpls.
General contract let to J. R. Payne, Hotel Eng-
lish, Indpls. Contractor taking bids on sub con-
tracts and all materials. Start work at once.
Brick, stucco, pyrobar floor tile and reinf. con-
crete constr.

*Church: (Sunday school annex). 2 sty. 80x80.
Middletown, Ohio. Archt., Honeywell & Parker,
State Life Bldg., Indpls. Owner, U. B. Church,
Middletown, Ohio. General contract let to J. E.
Stevens & Co., Middletown, Ohio. \$42,960.

*Fraternity House: \$60,000. Greencastle, Ind.
Archt. (Plans Only), Robert Frost Daggett, In-
dianapolis. Owner, Phi-Kappa-Psi Fraternity,
Greencastle. Work starting. Brick.

Residence: \$6,500. 62nd near Keystone. Archt.,
John Parrish, Castle Hall Bldg. Owner, Chas.

(Continued on Page 7)



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603 Odd Fellows Building
Indianapolis

M. Dawson, 6429 Bellefontaine. General contract let to S. P. Goss, 805 East 64th St. Stucco and brick veneer.

Residence: \$8,000. 49th and Guilford. Archt., Myers & Coffin, 412 Penway Bldg. Owner, R. C. Snapp, 1124 Broadway. Contract let to Morris Andrews. Frame.

Business Block: \$12,000. 236 E. New York St. Private plans. Owner, Leon Joyce, 317 No. Summit St. General contract let to Latham & Walters, State Life Bldg. Brick. 20x96.

Residence: \$16,000. 4035 No. Pennsylvania St. Private plans. Owner, Mrs. J. W. Fesler, 1321 No. Meridian St. General contract let to Brand Bros., Indiana Trust Bldg. 2 sty. & bas. 31x46.

Residence: 700 Wallace Ave. Archt., Charles E. Bacon, Odd Fellows Bldg. Owner, Mr. Williams, % Archt. Staking off. Frame.

Building Permits.

Double Residence: \$10,500. 4901-03 Central Ave. Owner, Francis M. Beck, % contractor. General contract let to Otis Kirkpatrick, 4151 Broadway.

Residence: \$10,000. 3931-25 College. Owner, J. Fred and Bessie Webber, % contractor. General contract let to Gale Constr. Co., Gale St. Brick veneer.

Parish House: \$9,300. 4720 Park Ave. Owner, Meridian Heights Presbyterian Church. General contract let to J. F. Fulk, 952 East Tabor St.

Residence: \$9,500. 409-11 E. 15th St. Owner, J. W. Twitty, 723 E. 36th.

Residence: \$9,000. 5111 Washington Blvd. Owner, A. J. Watzek, 4145 Broadway. General contract let to Theo. Sanders, % Owner. Brick veneer.

Residence: \$8,200. 3725 Central Ave. Owner, A. Hedegard, 518 Lincoln. Brick veneer.

Double Residence: \$7,800. 3412-14 College Ave. Owner, C. H. Sands & Ross Johnson, % contractor. General contract let to Atwood & Son, 856 West 27th St.

Residence: \$7,000. Owner, Guthrie-Thompson Co., 10 E. Market St. Frame.

Residence: \$6,000. 3317-19 East 13th. Owner, J. E. Holman, 3315 E. 10th.

Residence: \$5,500. 444 No. Arsenal. Owner, B. A. Pickler, 49 Jefferson Ave.

Residence: \$5,500. 931 Tabor St. Owner, J. F. Fulk, 952 East Tabor St. Owner builds.

Residence: \$5,000. 4414 College. Owner, W. H. Cobb, 229 W. Maple Road. Owner builds.

Residence: \$5,000. 746-48 No. Garfield. Owner, C. B. Durham Co., Lemcke Annex.

Residences: (2) \$5,000 each. 140 Hampton Drive and 5325 Lowell. Owner, Burns Realty Co., Lemcke Annex.

Residences: (3) \$5,000 each. 1847-1907-1933 Parkway. Owner, Court Realty Co. Contractor, Avery & Hudelson, at site.

ANDERSON.

*School (add.) \$80,000. Markleville, Ind. Adams Twp. Archt., E. F. Miller, Anderson. Owner, Dr. David N. Conner, trustee, Markleville, Ind. Plans completed. Owner will advertise for bids soon. Brick.

Contracts Awarded.

*Residence: \$15,000. 2 sty. & bas. 29x42. Archt., E. F. Miller. Owner, Phillip O'Neill, 515 Union Block. General contract let to Glenn Gardner.

*Residence: \$8,000. Archt., E. F. Miller, 545 Farmers Trust Bldg. Owner, L. C. Jones, % National Tile Co. Plans in progress. Ready for bids in two weeks. Hollow tile and stucco.

BLOOMINGTON.

*Residence: \$7,000. 1 sty. & bas. Archt., John L. Nichols, 204 So. Indiana Ave. Owner, J. B. Smallwood. Foundation in. Will resume work on superstructure in early spring.

Bloomington: Hotel (rem.) \$25,000. Owner, Hotel Bowles. Mature this summer.

*Church (Colored) \$35,000. 1 sty. & bas. 32 x 97. Archt., J. L. Nichols, 204 So. Ind. Ave. Owner, Colored Methodist Church, Rev. A. L. Washington, Pastor. Archt. taking bids.

*School: \$20,000. Jackson Twp., Brown County, Helmsburg, Ind. Archt., J. L. Nichols, Bloomington. Owner, Wesley Curry, trustee, Needmore, Ind. Plans in progress. Brick veneer and hollow tile. 1 sty. 30x75.

DECATUR.

High School (addition) Auditorium & gymnasium, \$45,000. 2 sty. 72x85. Archt., Oscar Hoffman. Owner, Board of Education, John Falk, Secy. Plans in progress. Will advertise for bids about May 1st. Brick, comp. roof, addl. radiation, steel sash, skylights.

School (add.) \$50,000. 2 sty. 70x70. Sidney, Ohio. Archt., Oscar Hoffman, Decatur, Indiana. Owner, Board of Education, Dr. Detrick, Secy., Sidney, Ohio. Plans in progress. Will advertise for bids about May 1st. Auditorium & gymnasium. Brick, steel sash, comp. roof.

School: \$15,000. 1 sty. & bas. 55x43. Blue Creek township, near Monroe, Ind. Archt., Oscar Hoffman, Decatur, Ind. Owner, C. J. Jones, trustee, Berne, Ind., R. F. D. Plans in progress. Brick, asphalt shingle roof, chemical toilet system, gravity heat.

School: \$12,000. 1 sty. & bas. 41x47. Union township, Adams county, Ind. Archt., Oscar Hoffman, Decatur, Ind. Owner, C. D. Spuller, trustee, Decatur, Ind., R. F. D. Plans in progress. Brick, asphalt shingle roof, gravity system of heating, chemical toilets.

Garage: \$25,000. 2 sty. & bas. 85x120. Archt., Oscar Hoffman, Decatur. Owner, L. K. Smith Co. (Ford agents), Decatur. Archt. receiving bids to close April 20th. Brick, steel sash, comp. roof, steel roof trusses.

EVANSVILLE

*Office Bldg. (rem. from Y. M. C. A.) \$100,000. Archt., Clifford Shopbell & Co. Owner, Mayor Benj. Bosse, B. F. Persons, Henry F. Fenneman, 1 sty. add. 75x100. Will include 88 offices and stores. Plans about completed. Ready for bids shortly. Brick.

School (Consolidated high & grade) \$80,000. 2 sty. & bas. 75x130. Scott Township, Vanderburgh County, Ind. Archt., Anderson & Stingle, 108 Upper Fourth St., Evansville. Owner, James W. Litchfield, Trustee, Inglesfield, Ind., (Vanderburgh county). Preparing plans. Brick, stone trim, built-up roof, steam heat, private water, sewer disposal and light plant.

U. S. Marine Hospital (2 horizontal return tubular high pressure steam boilers). The U. S. Government, Treas. Dept., Washington, D. C. taking bids.

Swimming Pool: \$5,000. 25x70. "Country Club." Archt., Russ & Karges. Owner, Evansville Country Club. Plans in progress. Concrete.

*Bank: 2 sty. & bas. Harrisburg, Ill. Archt., H. E. Boyle & Co., 405 Furniture Bldg., Evansville. Owner, The City National Bank, Harrisburg, Ill. Plans in progress. Brick.

*School: \$50,000. Cannelton, Ind. Archt., Frank K. Schlotter, 113½ Upper 4th St., Evansville. Owner, Board of Education, Cannelton. Plans about completed. Owner will adv. for bids in April.

Church (add.) \$10,000. Owner, Parke Memorial Presbyterian Church, Rev. J. S. Howk, pastor. Work started. 1 sty. 50x60.

Store & Residence: \$7,000. Maryland and State

Sts. Owner, Claude Sanders, 1209 Fulton Ave. Excavating.

Contracts Awarded.

*School (add.) \$106,014.50. "Baker Ave. School." Archt., Russ & Karges. Owner, Board of Education. General contract let to M. J. Hoffman Constr. Co. Hg. & Plng. to H. G. Newman Co. Electric work to Evansville Electr. Service Co.

*Bank: \$25,000. Ferdinand, Ind. Archt., Clifford Shopbell & Co., Evansville. Owner, Ferdinand Bank. General contract let to Ben Seufert & Sons, Ferdinand.

*Factory (add.) 1 sty. 100x120. Owner, Bucyrus Steam Shovel Co. Start work as soon as weather permits.

Residence: \$5,000. 1018 Powell Ave. Owner and builder, Carl Wolfen. Start work shortly.

Bank (alteration). Archt., Clifford Shopbell & Co. Owner, Peoples Savings Bank. Plans in progress. Black and white floor tile, marble base, vault and safety deposit boxes, let to Mosler Safe Co., Hamilton, O. Buff ceramic tile, tile vestibule, cathedral oak finish.

FT. WAYNE

*Stadium & Athletic Field: So. Side High School. Archt., Griffith & Goodrich. Owner, Bd. of Education, receiving bids to close April 10th at 4 p. m. Concrete and steel.

*Office Bldg.: Archt., Benjamin Morris, New York City, N. Y. Owner, Lincoln Life Insurance Co., Ft. Wayne. Plans in progress. Brick.

School (Consolidated) \$50,000. 1 sty. 107x109. Washington Township, Allen County, Ind. Archt., F. A. Fortney, Bass Bldg., Ft. Wayne. Owner, Henry J. Kolmerton, Trustee, Ft. Wayne, R. R. No. 1. Plans in progress. Will advertise for bids in 30 days. Brick.

Hotel (rem.) Lagrange, Ind. Archt., A. M. Strauss, Shoaff Bldg., Ft. Wayne. Owner, North Side Hotel, % Commercial Club, Lagrange. Plans in progress. Work will consist of new heating system, baths and general interior rem.

Community House: Owner, Walnut Street Presbyterian Congregation, S. N. Rutherford, H. W. Little, W. S. Wilson, C. W. Clarke. Contemplated. Mature in summer.

Residence: 2 story and bas. Harrison Hill. Owner, W. C. Glass, % Dudlo Mfg. Co. Site purchased. Owner will build this spring.

Contracts Awarded.

*School (Consolidated High & Grade) \$75,000. 2 sty. & bas. 135x70. Near Huntertown, Ind. Archt., Guy Mahurin, Lincoln Life Bldg., Ft. Wayne. Owner, Joint Ownership, Chas. Hartung, trustee, Huntertown, Ind., Chas. Miller, trustee, Churubusco, Ind. General contract let to Zeiss, Stone & Smith, Harlan, Ind. Htg. and plng. let to A. J. Moser, Berne, Ind. Electrical work to Edmunds Electric Co., Ft. Wayne.

*Store Bldg.: (alt. & top. add.) 3 sty. 60x40. Archt., J. M. E. Riedel, Noll Bldg. Owner, Paul E. Wolf, Clinton St. Contract let to Henry Wehrenberg. Start work at once.

Residence: \$7,200. Wildwood Ave. Archt., private plans. Owner, A. F. Lesh, 2726 Chestnut St. Owner builds. Start at once. Frame.

Residence: \$5,500. So. Calhoun St. Owner, A. M. Zuber, 2508 New Haven St. Owner builds. Excavating. Frame.

Residence: \$6,000. Forest Blvd. Owner, Andrew Archer, 1815 Crescent St. Owner builds.

Residence: \$7,000. Forest Park Add. Owner, George G. Marth, 1503 Crescent Ave. Start work soon.

Residence: \$5,000. Greenlawn Ave. Owner, J. C.

(Continued on page 8)

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Residence: Pontiac St. Owner, H. Pfeiffer, 3420 Lafayette St.

Res.: \$5,000. 3007 Monroe St. Owner, Koch & Menzie, 3030 Bowser Ave.

Res.: (2) \$5,000 each. Owner, Griswold & Preble, 316 Citizens Trust Bldg.

Res.: \$7,000. 1606 Crescent. Owner, J. P. Wunderlin, 1221 Lynn Ave.

Res.: \$5,000. 3002 Piqua Ave. Owner, W. E. Lee, 202 E. Rudisill Blvd.

Res.: \$5,000. 2613 Lillie St. Owner, Paul Koehler, 602 High St.

Res.: \$5,000. Fox & Home Ave. Owner, V. E. Nicodemus, 2523 Miner St.

Res.: \$5,000. 2417 Wayne Trail. Owner, E. C. Martin, 1321 W. Jefferson.

Res.: \$6,000 each. Owner, Fred Greek, 1121 Packard Ave.

Res.: (2) \$5,500 each. 209-13 Lexington Blvd. Owner, F. O. Martin, 1321 W. Jefferson.

Res.: \$7,000. 818 Woodview Blvd. Owner, J. Bennett, 2829 Broadway.

Res.: \$6,000. 3805 So. Wayne Ave. Owner, H. R. Keller, Wallen Road, Ft. Wayne, R. R.

Res.: \$5,200. 648 Huffman St. Owner, P. Zuber, 2922 Smith St.

Res.: \$6,500. 2224 St. Joe Blvd. Owner, John T. Hoffman, 1120 Anthony Blvd.

LAFAYETTE.

Hotel: \$200,000. Bedford, Ind. Archt., Nicol, Scholer & Hoffman Ross Bldg., Lafayette. Owner, The Greystone Hotel Corporation, Bedford, Ind. Archt. ready for bids. Brick and stone.

***School:** (Consolidated High and Grade). Madison township, Jay county, Ind. Archt., Nicol, Scholer & Hoffman, Ross Bldg., Lafayette, Ind. Owner, William A. Roush, trustee, Portland, Ind.

Low bidder on general contract, W. T. Roush, Portland, Ind. Will probably award contracts at once.

***Residence & Garage:** \$25,000. 2 sty. & bas. 40x40. Archt., Nicol, Scholer and Hoffman, Ross Bldg. Owner, O. L. Foster, 411 State St., West Lafayette, Ind. Owner will build by day labor. Start work shortly.

***Residence:** \$10,000. Archt., Kashner & Gault, Wallace Block. Owner, Oscar Winski, 1319 Elizabeth St. Archt. taking bids. Brick veneer.

***Residence:** \$10,000. Archt., Kashner & Gault, Wallace Block, Lafayette. Owner, Edgar Andrew. Archt. taking bids. Brick veneer.

LINTON.

Hotel Building: 2 sty. & bas. Jasonville, Ind. Archt., John T. Fritz, Linton. Owner, W. V. Sims, Jasonville, Ind. Archt. taking bids to close April 10th. Brick, stone trim, built-up roof, steam heat, private water system, electric lights, hard plaster.

Garage (Commercial) \$10,000. Jasonville, Ind. 1 sty. 52x120. Archt., John T. Fritz, Linton. Owner, W. A. Sindors, Jasonville. Plans in progress. Brick, steel trusses, concrete floor, comp. roof.

NEWCASTLE.

***School** (add.) gymnasium & class rooms. Cadiz, Ind., Harrison township. Archt., Chas. W. Taylor, Newcastle. Owner, Elmer Addison, trustee, Newcastle, Ind., R. F. D. Owner receiving bids to close April 19th at 12 o'clock noon. Brick. 2 sty. & bas. 50x70. Brick, comp. roof, steam heat. (See legal advertising in this issue.)

Store & Apartment Building: (2 stores and 2 apts.) 2 sty. & bas. 40x100. Private plans. Owner, H. E. Jennings, 420 So. Main, Newcastle. Plans in progress. Brick.

Residence: \$10,000. Private plans. Owner, Dr. Walt Wright, 211 Union Bldg. Plans in progress. Owner will build by day labor.

SOUTH BEND.

***Apartment Hotel:** \$800,000. 4 sty. & bas. 165 x 200. Mich., Marion & Main Sts., South Bend. Archt., Nicol, Scholer & Hoffman, Lafayette, Ind. Owner, The Allardt Investment Co., 221 So. Main St., South Bend. Archt. revising plans. Probably mature early summer. Brick, reinf. concrete.

***Bank** (add.) \$800,000. 12 sty. 60x123. Archt. and builder, Hoggson Brothers, 485 Fifth Ave., New York City, and Chicago, Ill. Owner, Union Trust Co., South Bend. Plans in progress. Start work soon. Brick, granite.

TERRE HAUTE.

Apartment Building: \$300,000. 3 sty. & bas. (64 apts.) Archt., Walter Ahlschlager, 65 East Huron St., Chicago, Ill. Owner, C. J. Allardt, 54 West Randolph St., Chicago, Ill. Plans in progress.

***Gymnasium Building:** \$168,000.00 on the "Wiley high school" grounds. Archt., Johnson, Miller & Miller, 30 No. 5th St. Mechanical Engineer, Lewis & Warren, Realty Bldg., Louisville, Ky. Owner, Board of Education, M. T. Hidden, Secy. Owner receiving bids to close April 24th at 4 P. M.

***Church:** \$30,000. 7th & Morton Sts. Owner, Breden Memorial U. B. Church, Rev. John A. Bray, pastor, 1908 So. 5th St., Terre Haute. Archt., Leonard F. W. Steube Co., Danville, Ill. Owner taking bids. Brick. 1 sty. & bas. 87x67.

VINCENNES

***Church:** 1 sty. & bas. Vallonia, Ind. Archt., L. H. Osterhage & Byron Sutton, Vincennes. (Continued on Page 9)

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Owner, Lutheran Congregation, Geo. F. Turmail, Chmn. Bids rejected. May take new bids later. Brick.

Contracts Awarded.

***Vincennes:** Residence, \$45,000. Near Lawrenceville, Ill. Archt., Louis H. Osterhage and Byron Sutton, Vincennes. Owner, James M. Groff, Bridgeport, Ill. General contract let to T. J. Edwards & Son, Vincennes. Htg. & plmg. to Olney Htg. Co., Olney, Ills. Electr. work to Cannon & Fields, Vincennes.

MISCELLANEOUS CITIES.

***Butler:** High School, \$28,000. 1 sty. & bas. 58x68. Archt., H. M. Griffin, McFarlan Bldg., Connersville, Ind. Owner, J. E. Rine, trustee, Butler, Ind. Owner taking bids to close April 26th at 2 p. m. Brick.

***Clay City:** Church, \$60,000. 2 sty. & bas. 60 x 75. Owner, United Brethren Church, Rev. T. B. Kelsey, Pastor, Clay City, Ind. Archt., Leonard F. W. Steube Co., Danville, Ill. Owner taking bids on superstructure. Foundation in.

***Connersville:** School, \$37,000. 2 sty. & bas. 36x70. Guilford, Ind., Dearborn county, Miller and York school townships. Archt., Karl P. Henkel, 108 Heinemann Bldg., Connersville. Owner, George C. Cole, supt. of schools, court house, Lawrenceburg, Ind. Low bidder on general contract, Wm. A. Gutzwiller, Batesville, Ind. Award contracts shortly.

***Corydon:** School (4 rooms & gym.) 2 sty. & bas. 72x60. Morgan Twp., Harrison County, Ind. Archt., Geo. C. Doolittle, Corydon, Ind. Owner, Walter E. Deitrich, trustee, Palmyra, Ind., R. F. D. Owner taking bids to close April 10th at 2 p. m. Brick veneer, septic tank, asbestos roof, deep well, pump, elect. light and power system.

***Crown Point:** Hotel, \$60,000. Archt., J. N. Coleman, 6257 St. Lawrence Ave., Chicago, Ill. Owner, A. C. Grove, Crown Point. Plans in progress. Brick.

***East Chicago:** Educational Buildings (2 dormitories, 300 rooms, auditorium seating 2,000; gymnasium, swimming pools), \$1,000,000. Owner, The Community of Poor Handmaids of Christ, East Chicago. Plans completed. Start work in April. Brick and stone.

***Elkhart:** School (add. & rem.) \$26,000. Plain School Twp., Kosciusko County, Ind. Archt., R. L. Simmons, Elkhart, Ind. Owner, Marshall C. Dye, trustee, Leesburg, Ind. Bids close April 16th, 12 noon.

***Gary:** School, \$130,000. Westchester township, Porter county, Ind. Archt., Herbert Erickson, 226 Gary Theater Bldg., Gary. Owner, John G. Johnson, trustee, Chesterton, Ind. Owner receiving bids to close April 16th at 2 p. m., also for desks and school furniture at the same time.

***Huntington:** Parochial school, 2 sty. & bas. 86x182. Archt., Samuel A. Craig & Co., 721 Warren St. Owner, St. Mary's R. C. Church, Rev. John F. Nolf, pastor, 931 Jefferson St. Foundation in. Owner taking bids on superstructure.

***Richmond:** Bank (add.) \$150,000. 2 sty. 38 x 114. Archt., H. H. Hiestand, Eaton, Ohio. Asso. Archt., C. C. & E. A. Weber, Cincinnati, Ohio. Owner, First National Bank, Richmond, Ind. Owner receiving bids to close April 5th. (Note extension of date for receiving bids.)

***Rockville:** Residence, \$25,000. 2 sty. & bas. 30x45. Archt., Ludwick & Lise, 618 Temple Bldg. Danville, Ill. Owner, A. C. Crays, Rockville, Ind. Owner will build by day labor. Start work soon as weather permits. Brick and tile.

***Westport:** Community House. Owner, Westport Chautauqua Assn. Taking bids to close April 3d.

Contracts Awarded.

***Elizabethtown:** Club House. Owner, The American Legion, Walter Van Camp, Chmn. Start work at once. Owner builds. 1 sty. 40x60. Frame.

***Greenfield:** School, \$69,000. Blue River Twp. Archt., O. P. Gordon, Greenfield, Ind. Owner, V. R. Davis, trustee, Morristown, Ind. General contractor, Henry M. Meek, Greenfield, Ind. Heating and plumbing let to Standard Heating & Plumbing Co., Greenfield, Ind. Start work at once. (Note correction of htg. contractor.)

***Hammond:** Parish House. Archt., J. E. O. Pridmore, Chicago, Ill. Owner, St. Paul's Church. Contract let to John L. Ahlborn, Hammond.

***Laporte:** Residence & Garage: \$50,000. 2 sty. & bas. 60x75. Archt., Chatten & Hammond, 64 East Van Buren St., Chicago, Ill. Owner, Maurice Fox, Laporte. General contract awarded to Rowley Bros. Co., 332 So. LaSalle St., Chicago.

***Michigan City:** Church, \$75,000. Owner, First M. E. Congregation. General contract let to Geo. Johnson, 713 Cedar St.

***Mishawaka:** Bank, \$75,000. Archt., K. M. Vitzthum, 305 So. LaSalle St., Chicago. Owner, Merchants & Farmers Trust Co., Mishawaka.

General contract let to Griffith Constr. Co., Oak Park, Ill.

***Portland:** Club House, \$10,000. Archt., Peter N. Hulsken, Lima, Ohio. Owner, Portland Country Club, Portland. General contract let to McBride Bros., Portland, Ind.

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Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field.

Copy should reach us, at the latest, Wednesday of the week of publication.

SCHOOL HOUSE

NOTICE TO CONTRACTORS.

Notice is hereby given that, on the 12th day of April, 1922, at the office of Clyde M. Hesmer, trustee of Center School township, Vanderburgh County, Indiana, the undersigned Trustee, in conjunction with the Advisory Board of said Township will receive sealed bids for furnishing all labor and materials for and the construction of a one story and basement, brick school building in said Center Township, known as school number five, in accordance with the plans and specifications now on file in the office of said Trustee and in the office of E. M. Stingle, architect, Evansville, Indiana.

Said bids will be received up to ten A. M. of said 12th day of April, 1922.

The estimated cost of said construction is \$33,000.00.

Said Trustee, in conjunction with said Advisory Board, will examine said bids and award the contract for said construction to the lowest and best bidder therefor, and the successful bidder

(Continued on Page 11)

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will be required to enter into a written contract with said School Trustee for the furnishing of all labor and materials for and the construction of said School House, in accordance with said plans and specifications, and to give bond with security, to be approved by said School Trustee, for the faithful performance of such contract.

Said School Trustee and Advisory Board, hereby reserve the right to reject any and all bids.

CLYDE M. HESMER,
Trustee of Center School Township, Vanderburgh County, Indiana.
SPENCER, ENSLE & SPENCER,
Attorneys for Trustee.

SCHOOL HOUSE NOTICE TO BIDDERS.

Notice is hereby given that Vernon School Township, Jennings County, Indiana, by the trustee and advisory board thereof, will receive sealed bids at the office of the trustee at the town of Vernon, within said Vernon township, Jennings County, Indiana, until 1 o'clock p. m., on Wednesday, April 19th, 1922, for the construction of a new high school building and for the installation of a heating and ventilating system and for the installation of a plumbing and sewerage system and electric wiring, all for said proposed building. All bids shall include all labor, material and supplies necessary for complete construction or installation of that part of the work bid on, and all strictly in accordance with the plans and specifications provided therefor, which have been properly accepted and approved and are now on file in the office of said trustee. Said building to be two stories and basement brick building and to be located on real estate now owned by said township in said town of Vernon, within said Vernon township, Jennings county, Indiana.

Bidders will submit their bids as follows:

- (1) For the construction of school building (General Contract).
- (2) For the installation complete of heating and ventilating system.
- (3) For the installation complete of plumbing and sewerage system.
- (4) For the installation complete of electric wiring.
- (5) For the construction as a whole, or any combination of contracts.

The estimates on the cost of the construction of said building are approximately as follows: General Contract, \$22,000.00; heating and ventilating, \$7,000.00; plumbing and sewerage \$2500.00; electric wiring, \$500.00.

All bids and proposals must be upon the form prescribed by the State Board of Accounts. Each bid on the General Contract, or on complete construction, shall be accompanied by certified check of the bidder in an amount equal to 2 per cent. of the bid. Each bid on heating and ventilating system or plumbing and sewerage system or electric wiring shall be accompanied by certified check of the bidder in the amount of One Hundred Twenty-five Dollars (\$125.00). All checks shall be payable to Clarence E. Dawson, Trustee, and conditioned that the successful bidder will enter into a contract with sufficient surety for the performance thereof. When the contract or contracts are let checks of unsuccessful bidders will be returned to them.

The successful bidder or bidders will be required to enter into a written contract and execute a bond with sufficient surety to be ap-

proved by said trustee in an amount equal to the amount of the contract and conditioned for the faithful performance of the same.

Plans and specifications may be had for the individual use of bidders from the architect, H. M. Griffin, Connersville, Indiana, by making a deposit of \$10.00 for each set, which will be returned upon the return of the same in good condition on or before the day of receiving bids. One complete set of plans and specifications are on file with the trustee.

The right is reserved to reject any and all bids, and all bids will be received on the condition that any contracts entered into thereon will be subject to the sale of bonds of said school township for the payment of said contract.

CLARENCE E. DAWSON,
Trustee, Vernon School Township, Jennings County, Indiana. Address, North Vernon, Ind., R. R. 2.
W. T. SEMON, Attorney,
Vernon, Ind.

NOTICE TO CONTRACTORS SCHOOL HOUSE

Sealed Proposals will be received by the Board of School Trustees of the School Town of North Manchester, Indiana, up to one o'clock P. M. on Monday the 10th day of April, 1922, at the office of the Board of School Trustees of the School Town of said town in what is known as the Central School Building of said town, for the CONSTRUCTION of a Two story brick public school building in the town of North Manchester, Indiana.

Also sealed proposals will be received for the plumbing, heating and wiring the said building at said town.

All are to be constructed with plans and specifications furnished by Charles R. Weatherhog, Architect, Fort Wayne, Indiana. Said building estimated to cost complete one hundred forty (140) thousand dollars. Each bid must be made out on form prescribed by the State Board of Accounts and are to be accompanied by certified checks as follows:

General contract, five hundred (500) dollars.
Plumbing and water system, three hundred (300) dollars.
Heating and ventilating, three hundred (300) dollars.

Wiring one hundred fifty (150) dollars.

Checks to be made to Ira A. Mummert, Treasurer of said School Board, as a guaranty of good faith to enter into a contract satisfactory and acceptable to the said school board. All checks to be returned as soon as satisfactory contract is signed and bond approved.

The successful bidder will be required to furnish a good and sufficient bond amounting to the full amount of the contract price the same to be satisfactory to the Board of School Trustees and approved by them and their attorney. Said bond to be a guaranty for the faithful performance and prompt and satisfactory completion of the work, and to pay for all labor and material according to the contract and said plans and specifications on file. All bids to be accompanied by a non-collusion affidavit. Plans may be seen at the office of the Board of School Trustees at the Central High School Building in said town or at the office of Charles R. Weatherhog, Architect, Fort Wayne, Indiana.

The Board of School Trustees reserve the right to reject any and all bids.

Bids will be opened publicly at said Central School Building on said date.

The Board of School Trustees of the Town of North Manchester, Indiana.

By
ISAAC OPPENHEIM
J. H. MILLER
I. A. MUMMERT,
Trustees.

SCHOOL HOUSE NOTICE TO BIDDERS.

Notice is hereby given that Harrison School Township, Henry County, Indiana, by their Advisory Board and Trustee, will receive sealed bids at the office of the Township Trustee, at Cadiz, Indiana, until 12:00 o'clock noon, on April 19, 1922, at which time, and place the same will be opened, read and considered for the construction of a two story addition, and for the installation of heating and sanitary systems for said building, and for the repair and remodeling of the present building at Cadiz, Indiana, for the use of said School Township and all by and according to plans and specifications on file, and approved by said Board, and by the State Board of Health, and State Board of Accounts. The plans and specifications are on file for inspection of the bidders, at the office of said Trustee, at Cadiz, Indiana, and at the office of Chase W. Taylor, architect, 206 Maxim Building, New Castle, Indiana, and duplicate of plans and specifications will be available for bidders, for their personal use upon deposit of Ten (\$10.00) Dollars with the architect to guarantee the return of the same, on or before opening of the bids.

Bidders must familiarize themselves with such plans and specifications before bidding, as no departure from the same will be considered.

Bidders on the submission of bids will submit the same as follows:

- (1). For general construction of the addition and repairing and remodeling of the present building.
- (2). For the installation, complete, of the heating and ventilation systems, for the entire building.
- (3). For the installation, complete, of plumbing and sewerage disposals.
- (4). For all work inclusive as is comprehended by plans and specifications.

In this way the bidder will only be required to submit his bid for such portion or portions of the total improvement as he may desire.

All bids and proposals must be submitted on forms prescribed by the State Board of Accounts, and accompanied by the usual non-collusion affidavit, and with certified check of the bidder in a sum equal to at least three per cent of the gross bid, conditioned that said bidder, will, if awarded the contract, enter into a written contract, and furnish a bond with approved security for the faithful performance thereof, and upon his failure so to do, said check will be retained by said trustee in full for liquidated damages sustained herein.

The Board reserves the right to reject any and all bids, and all bids will be received and contract entered into thereon on the express condition that the same will be subject to the sale of bonds of said school township for the payment of said contract.

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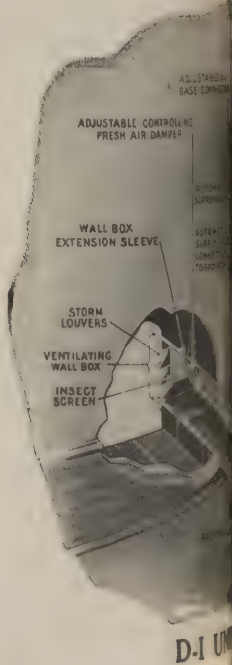
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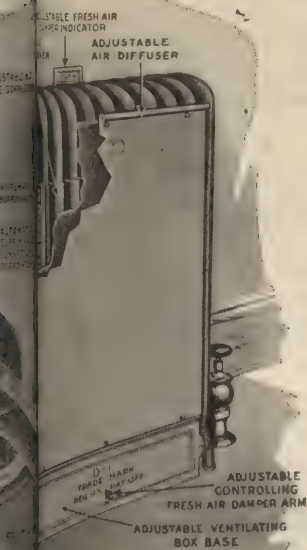
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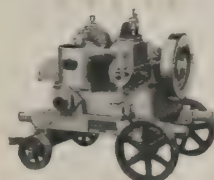
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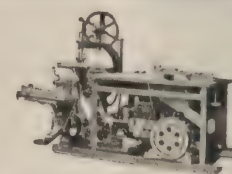
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Official Paper

Indiana Society of Architects

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AS ANOTHER ARCHITECT VIEWS THE LABOR SITUATION.

I do not know—I have not the vaguest idea—what is meant by the constantly used phrase “a better understanding” between the elements which now stand within the building industry in conflict.

The present conflict undoubtedly has come to a head largely by reason of the condition that there has come about at least something like a fair understanding of what individuals and groups believe they must do to be saved under the existing industrial system. It is this better understanding which has led to each to take action according to the established rules of the game and to make itself as secure as may be in its position within the system.

That to be gleaned from the reports of the several investigations into the building industry and from the Landis decision, is that the modern unions in the building trades are no more than so many business organizations, using the methods of business traffic to gain for their members whatever pecuniary advantages may be gained by these methods. I can see no very great difference between the trade union policy of limiting output in order to “make work” or get more money for a given piece of work, and the policy of limiting output in an industrial plant so as to guard against a fall in prices. * * *

In fact, what counts as favorable news in the market columns and in financial journals is the frank recording of what has been done or what is proposed to do by way of limiting or curtailing output in industrial plants or the issuance of credits to support goods in storage in order to sustain or advance prices. In a word, any action which looks toward the support of prices is referred to in the trade journals, as “favorable action.”

Much may be gained by way of insight into the ways of industrial system by merely reviewing the captions of our market journals during the past year, particularly if they follow the course of events in copper, cotton, grain or milk. One may see in these captions and the news items how large a part of curtailing of output plays in the modern situation.

So, if the Landis decision is to be construed as a blow at deliberate curtail-

ment of output, then the question arises: Why was its application limited to the workmen in the building trades? The New York Times assumes that the Landis decision was a blow at the closed union. But I take it that Judge Landis was limited by the terms of the arbitration proceeding. But if he was limited by the terms of that particular proceeding there is no reason, now that it has been agreed that the deliberate limitation of output is subversive of the common good, why a broader application should not now be made.

Of course a broader application of his decision would strike at the heart of the price system; and the practice of limiting output with a view to sustaining or advancing prices would have to be penalized generally as a practice. I doubt if we are ready for such a move just yet.

But if not ready for such a move, why continue to talk of that “better understanding?” For there is no ground for a “better understanding. It is nonsense to assume that the building trade unionist will accept a condition in which he may not resort to the same methods of disposing of his time to his greatest immediate pecuniary advantage, while the producers of the entire list of essential commodities are permitted to resort to the customary maneuvers which aim at sustaining or advancing prices by arbitrarily controlling output or limiting supply.

Except for the gains which would accrue to the architect as a result of his participation in the industrial discussions in the shape of knowledge concerning the tactics employed by both sides, his participation at this time is an idle matter. For, on the whole, the architect views the present state of wastefulness and chaos as a derivative of trade unionism and not an outcome of the working of the price system. He, like the most of us, views the present state of affairs as a conflict between Capital and Labor and not a condition which has come about from our attempt to retain an institutional system which has become hopelessly out of joint with the machine process and modern material ways and means. (Frederick L. Ackerman, F. A. I. A., in the Western Architect, February issue.)

THE COLLECTION OF ARCHITECTS' FEES.

The courts in many decisions have ruled that where an architect is employed to prepare plans and specifications and to supervise the erection of a building and is prevented from performing his services by the employer and through no breach of the contract upon the part of the architect that the architect may recover as damages the full amount of his contract fee, or where the owner discharges the architect before the completion of the building the architect is entitled to recover as damages the amount that would have been paid to him for services under his agreement with the owner if the work had been completed.

The schedule of charges of the American Institute of Architects will be received as evidence of the reasonable rate of compensation for an architect's services in the absence of a special agreement covering same. The schedule of charges of a Local Chapter of the Institute will not, however, be proper evidence of the value of an architect's services in another state.

If an architect makes a contract to furnish plans and superintend the construction of the building for an agreed price and later the contract is superseded by a second agreement for plans for a structure of greater cost, no price for the architect's services being fixed, the architect may sue to recover the reasonable value of the plans, and also of any additional services rendered.

Where plans are changed at the request or instructions of the owner the architect may recover for the work incident to making changes where changes are made after bids are received, or after the contracts are let.

Notice by the architect to the owner of an intention to charge extra compensation for the extra drawings need not be given, even where a contract between the architect and owner is under seal and does not provide for extra work on the architect's part, and the owner causes extra work to be done the architect may recover for it at the contract rate. (March Bulletin of the Illinois Society of Architects.)

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Official Paper

Building Trades Employers Ass'n OF THE CALUMET DISTRICT

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**If You are Contemplating any kind of Construction Work, you should Communicate with
General Office for Information**

MEETING NIGHTS

General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.

HAS MADE ITS PRESENCE FELT.

Well, Spring is here officially, but judging from the prevailing climatic conditions Winter seems reluctant to relinquish its hold preferring to linger around a wee bit longer. However, the few warm days of sunshine that worked their way in last week started things all right, causing the prospective builder to show some life in that he is beginning to look around for a location, an architect, and some contractor so that he can get that much dreamed of home started.

The realtors claim that their business is picking up, the architects are all busy, and even the contractors are active figuring new work. Just how much of this contemplated work will mature is hard to say at this time, but from the indications there should be plenty of construction work in the very near future for building men to be busy if they so desire.

STILL BEATING ABOUT THE BUSH.

The B. T. E. A., Committee met with the Chamber of Commerce the other night to talk over the labor situation. Previously a meeting was held by the C. of C. at which the Building Trades Union representatives were present. At that meeting the Union representatives said they wanted to be fair and were willing to concede a lot in order to settle the difficulties that existed between

the employers and the employees. They then submitted to the C. of C., sets of agreements they wished the contractors to sign and these were put up to the B. T. E. A., Committee. That was as far as matters got, the contractors' committee refusing to sign as these provided for the same old working conditions, the only change being a 15c per hour reduction from the old scale of \$1.25.

At a previous meeting with the C. of C. the B. T. E. A. Committee was asked if it would be willing, in order to get the labor tangle straightened out, to have the Chamber Board of Directors select eleven men from the membership of the C. of C., who were in no wise connected with the contracting or labor interests, to act as an Arbitration Board, submit the case to this board and abide by its decision. To this the contractors' committee agreed providing the Unions would bind their members to accept and abide by the final decision. Now the Unions have come back with the contention that it will be impossible to get eleven unbiased men; further, they say they can not put their rules and working conditions up to arbitration. Same old stuff, moth-eaten and thread-bare! There is just this much to the whole thing; the contractors are perfectly willing to submit their case to the judgment of fair minded men, but the other fellows seem to be afraid to take a chance. As for the latter, why?

HOW DO YOU DO! GOOD-BYE!

Over in Chicago they seem to be quite busy. The secretary of the Calumet Association was in the big city last week,

called on Messrs. Holtz and Myers of the Builders and Manufacturers Mutual Casualty Co., and Messrs. McKinley and Colgrove of the Associated Builders of Chicago and found the whole crowd up to their ears in work.

CALUMET BUILDING PROGRESS.

Guy Young has the contract for a pretty little bungalow out on Fields avenue.

A new brick store building on Calumet avenue, and a bungalow on the east side are keeping the force of Contractor Otto Herhold busy.

Contractor Charles Rhoads has sold the residence he built recently on Hohman street, for Mr. Gossett. The latter died soon after the building was started. Charles got \$17,000 in this latest deal of his. He has sold nearly all of the numerous houses he built last fall and winter and is about to jump back in the building construction game once more.

The finishing touches are being put on the Elks' Temple by George Bates and he has his men finishing up the foundations for the Dr. Chidlaw residence and the Kapture bungalow.

SNARING A FEW.

Now the Unions are scurrying around with an agreement trying to get owners and contractors to sign up to employ only union men on the building construction work. So far the best they have done is to get the contractors who carry union cards to sign up.

E. E. COLE.

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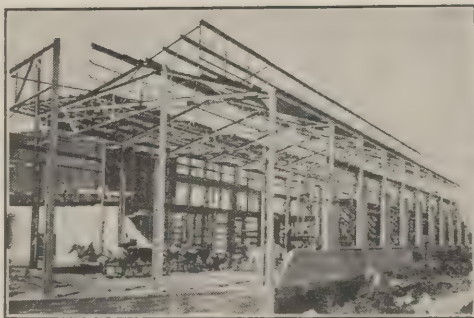
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Associated Building Contractors of Indiana

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ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors

Member State A. B. C.

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Office of Secretary, 710 Old State Bank

EACH WEEK SHOWS IMPROVEMENT.

The week ending March 25th was the banner week in building in Evansville so far this year. Thirty-six permits, involving \$113,117 were taken out. One of the permits was for the erection of the Baker Avenue school addition, a \$63,000 job.

However, fourteen residences are included in the number of permits, all to be moderate in cost, according to the records.

The week showed an extensive increase over the same week of March, 1921. During that week, 11 permits were issued, involving the expenditure of \$7,900.

NEW SCHOOL WANTED.

The parent-teachers association out in the Bedford-Jackson school district is making a strong fight for a new building. At present small portables are being used and there is much complaint about them. At a meeting of the Board of Education Monday several sites available for a new building were presented. No promise has been made for a new school structure but the residents are determined to secure the building if possible.

CHIPS AND SHAVINGS.

The work of excavating for the new chapel of the Salvation Army at Sixth and Sycamore streets, has been started. A. J. Hoffman, of the M. J. Construction company in charge of the building program, says the project will be rushed through to a speedy completion.

Contracts have been awarded to the Mosler Safe Co., Hamilton, O., for new safe and vault work and remodeling at the People's Saving Bank. Architect C. Shopbell & Co. drew the plans.

Contractors are now busy getting up estimates for the new school building to be built in Center township, Vanderburgh county.

Another project that will draw the attention of local contractors is the new \$75,000 school for Scott township bids for which will be asked shortly.

Messrs. Dreier and Sonntag are contemplating the erection of five new residences in Forest Hills as sales propositions.

Speaking of residential building Mr. Sonntag said: "I believe that there is going to be a building boom in Evansville this spring and summer. We have never had so many inquiries at the American Trust and Savings bank as we are having now. Many people have the nest egg laid away, and the home building fever has taken hold of them, I suppose."

"Then, too, at the bank we hear much prospective building talk from realtors, contractors and architects, all of which leads to the belief that a real building awakening is coming Evansville's way."

FT. WAYNE

BUILDERS' EXCHANGE

Member State A. B. C.

Max Irmischer-----President
Eph Dailey-----Secretary
825 Calhoun St.

Phone 2001

BUILDING PERMITS BEING ISSUED WITH STEADY REGULARITY.

Building permits for 12 new homes were issued at the city building inspection department last week, and a similar number were issued for the construction of private garages. One permit was issued for the erection of an addition to the Dudlo plant on Wall street, the cost of the structure being estimated at \$45,000. Permits for the remodeling of a half dozen homes were also granted during the above period.

REALTY DEAL FORESHADOWS MORE DOWNTOWN CONSTRUCTION.

A realty deal meaning additional construction work for Ft. Wayne this season was consummated last week when Kilbourne and Perry took over a long time lease on a 90 foot front piece of property on Harrison street, between Wayne and Berry streets.

Although definite and specific plans are still incomplete, it was announced that the three residences now standing on the property, will be either converted into modern business or store rooms, or the houses will be torn down and replaced by new commercial buildings. Whatever may be the final decision, Mr. Kilbourne said, extensive improvements on the newly acquired site are certain.

CONTEMPLATE MOVING LARGE STORE BUILDING.

An option for the purchase of the old Wolf & Dessauer building on West

Berry street has been given by the First National bank, which sometime ago purchased the site for its new \$1,500,000 home. The store building will be moved from the present site to one on Wayne street, immediately at the rear of the building, providing pending deals go through.

The moving of this four-story brick and stone structure a distance of about 250 feet is the first attempt at such a project in Fort Wayne. The building has a frontage of 90 feet on Berry street, is about 120 feet deep and 66 feet high.

BELIEVES IN CITY PLANNING.

Endorsement of the city plan idea for Ft. Wayne has been sounded by city attorney Guy Colerick who recently said, in speaking to local realtors: "City zoning is a splendid thing; it is a salient law; it is a safeguard to residence owners, to industries, and to the beauty of the city."

Other Indiana cities, Indianapolis, Evansville and Elkhart are launched upon city planning schemes as a means of future progress and Ft. Wayne is about to join the procession.

THE PART LABOR PLAYS IN BUILDING OPERATIONS.

Architects, having analyzed the cost of all the labor entering into the erection of a building—including not only the labor on the job itself but the labor required for the production of the materials, in mining, lumbering, manufacturing, and delivering—conclude that labor makes no less than 88 per cent. of the total cost of an average construction. An engineering expert employed in the Hoover survey of waste in American industries, finds that far the greater part of the 100 per cent. by which he represents the completed building must stand for labor; the balance he apportions between the raw materials in their original state and the use of funds for their development. He shows that three-fifths of the cost of a brick and 85 per cent. of the cost of steel must be charged to direct labor. With 10 per cent. added for indirect labor in the form of supervision and clerical work, he reaches the same total as does the architect and makes the entire cost 88 per cent.

DIMENSION STUFF.

A Dutch Colonial brick residence is contemplated by Ralph Mitchell for the lot he has purchased out on West Drive.

John L. Van Gunten, general superintendent of The Indiana Engineering Co., is figuring on erecting a new home this spring on South Fairfield avenue.

E. H. May, division engineer of the Pennsylvania Railway, has in mind a home on Oakdale Drive and will probably build this spring.

INDIANAPOLIS

Building Contractor's Association
Member State A. B. C.

F. W. Jungclaus.....President
C. C. Pierson.....Secretary

MEETINGS.

Executive Committee meets second Tuesday each month.

General Contractors meet second Friday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

PROPOSE REMEDY FOR ELIMINATION OF SERIOUS AGGRAVATIONS.

Since jurisdictional disputes in the labor field of the building construction industry are a serious bane and should be eliminated as nearly as possible, the resolution adopted at a recent meeting of the National Board of Jurisdictional Awards, if lived up to, would go a long way toward removing this canker. Here is the resolution as adopted:

"Whereas: The United Brotherhood of Carpenters and Joiners of America has not been observing or conforming to the decisions of the National Board of Jurisdictional Awards in the Building Industry; and

"Whereas: The attitude of that organization in failing to observe those decisions is seriously embarrassing owners, architects, engineers, contractors, and workmen engaged in the building industry, and such a condition tends to increase costs and cause delay and is detrimental to the public interest and the building industry in general; and

"Whereas: All parties signatory to the plan of the Jurisdictional Board have been actively supporting the decisions of that Board, including sixteen of the seventeen International Unions constituting the Building Trades Department.

"Resolved, That in order to correct the above mentioned conditions, the several signatories to the plan of this Board be urged to instruct their constituent members each in its respective field as follows;

"That the members of the American Institute of Architects and of the Federated American Engineering Societies insert in all specifications and contracts for building operations a stipulation that the decisions of the Jurisdictional Board shall be observed.

"That the members of the Associated General Contractors and the National Association of Building Trades Employers incorporate in their agreements with their sub-contractors a provision that will secure a compliance with all decisions of the Jurisdictional Board and that members thereof shall refuse employment to any local union or members thereof neglecting or refusing to abide by decisions of the Jurisdictional Board.

"That the Building Trades Department shall instruct local councils to unseat any local union refusing compliance with such decisions, and that associated International Unions shall instruct their respective local to extend neither recognition nor support until such a time as delinquent locals accept and abide by all decisions of the Jurisdictional Board.

"Resolved further, that this resolution shall be enforced as expeditiously as possible beginning with those localities in which the trouble appears to be most acute and where action seems most urgent, and that all these signatories make special and united efforts toward securing general and complete compliance with all decisions of the Jurisdictional Board, and

"Resolved, also, that as and when trouble in any locality is brought to the attention of any of the signatories such organization shall take the initiative in forming a general committee of representatives from all the signatories for the purpose of dealing with the situation in that locality."

INDIANAPOLIS CONTRACTORS BUSY ON WAGE SCALE MATTERS.

Wage scale negotiations are on in full swing at Indianapolis and the Building Contractors' Association headquarters, Third Floor, Peoples Bank Building, is a busy place these days. Every day there are numerous committee meetings which bristle and bustle with super activity. This is but the coming to a head of weeks and weeks of work on the part of the officers and directors of the association who have been bending every effort to get things in shape for the signing up of new working agreements and scales for the 1922-1923 building season.

CONVENTION MINUTES ABOUT TO BE DISTRIBUTED.

After a protracted delay, caused by a fire Sunday morning, March 5th, that swept the press room where the Recorder is printed, the Minutes of the Fourth Annual Convention of the A. B. C.'s of Indiana, have been printed in pamphlet form and are now ready for distribution. Field Representative Owens who has been to meetings at Marion and Anderson this week, upon his return, began mailing out these pamphlets to the various city associations and individual members around the state.

ANOTHER LARGE BUILDING CONTRACT JUST AWARDED.

Contracts for big projects at Indianapolis continue to be let right along, in fact, it is getting to be the order that if some big or fair sized contract is not let, something seems to be wrong with the week. During the one just passed the W. P. Jungclaus Company slid under the wire first and landed the contract for the new \$800,000 Guarantee Building to be erected on the Circle.

OPENS NEW OFFICE.

General contractor Ferd. C. Smock of 3228 College avenue, Indianapolis, has established an office at 902 Lemcke Building.

MUNCIE

Associated Building Contractors
Member State A. B. C.

Chas. RowePresident
J. A. Gallivan.....Secretary

314 Main Street

BUSINESS GROWS WITH BUILDING.

"Few things tend to hasten the return to better times more than the building industry," says a recent bulletin of the United States Chamber of Commerce. "Things used in the building of dwelling houses call upon virtually all of the industries of the country for their products. A general and far-reaching construction program in this country in 1922 is the best possible harbinger of a return to more prosperous conditions."

There is in truth no more reliable barometer of public confidence and general business conditions than the building industry, according to Dr. Wilson Compton, manager of the National Lumber Manufacturers association, who says, "Everybody profits when a new house is built. It furnishes business for the real estate man, it immediately exerts a stabilizing influence upon neighborhood land values. Every new home means employment for workmen and business for the brick, stone, lumber, hardware and paint dealers, reflecting back to manufacturers and the railroads. Then, too, one must not overlook the volume of business that the requirements of new homes creates for the numerous household and house furnishing manufacturers and merchants."

Every nerve and fibre of American life is fed and stimulated by building, and another stone is placed in the bulwark of social security with every home erected.

PROSPECT LOOKS GOOD.

Things look pretty fair to an amicable adjustment of the building trades wage and working conditions in Muncie this season. The local A. B. C.'s, association has been working along these lines for some time with every prospect of a successful conclusion both to the employers and the employees.

A. B. C.'s. OF NEIGHBORING CITIES AWAKENING TO ACTION.

The contractors in our neighboring cities of Marion and Anderson, both of which cities have associations affiliated with the A. B. C.'s. of Indiana, held a couple of interesting meetings the past week, according to the reports that have reached us. At Marion, Monday night the contractors and sub-contractors got together for an informal discussion of wage scales for the coming season though no definite decisions were arrived at. Tuesday night the Anderson A. B. C.'s. had a good turn-out, several hours being devoted to a discussion of building conditions and the prospects for new building construction during the season of 1922.

INDIANA CONSTRUCTION RECORDER

FOR
ARCHITECT
ENGINEER

Devoted to the
Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

VOL. IV

INDIANAPOLIS, INDIANA, AUGUST 19, 1922

No. 20

INDIANA CONSTRUCTION RECORDER
Published Every Saturday

DONALD CAMPBELL Publisher
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JOHN H. OWENS Field Manager

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the Act of March 3, 1879.

BUILDING BOOM LEADS INDUSTRIAL RECOVERY.

"We are in the midst of the biggest building boom the United States has ever known," says The Industrial Digest, New York. "Throughout the country there is bustling in lumber yards and brickyards, chisels are clanking in quarries, steel mills are rolling out structural forms, carpenters are banging away with their hammers, masons are wielding their trowels and painters their brushes; and more structures are being erected than at any previous time in the history of the nation.

"A boom—or a depression—in the construction industry affects all other lines. Construction is one of the key industries of the nation. It uses the products of about one-fourth of all the persons in the country who are engaged in manufacturing. It consumes about nine-tenths of all the iron, copper, zinc and lead produced. Normally, it is estimated, construction absorbs about half the new capital accumulated in the country every year. It affects all other industries through its influence on rents. The great number of persons who engage in it form an important part of the consuming public.

Building Trades Had Troubles.

"Construction has felt with unusually great weight the problems which afflict industry in general. It has experienced its full share of labor difficulties. It has been forced to deal with a scarcity of materials. It has been the subject of government inquiries, and has suffered from much malpractice on the part of those who engage in it. Therefore its sensational recovery, at a time when

most lines of business, though somewhat improved, are still languishing, is especially interesting.

"The building industry was one of the first to feel the post-war depression. A chart prepared by the Associated General Contractors, comparing the fluctuation of pig iron production with the variation in the number of building permits issued throughout the nation, shows that activity in building started to decline in 1920 eight months before pig iron production began to sag. In fact, when the iron output started its downward movement the drop in construction was almost over. In November, 1920, the number of permits issued began to rise, and with occasional temporary relapses it has been on the upgrade ever since.

"The increase in construction in 1921, however, could by no means be called a building boom. The 1921 record, while better than that of the latter part of 1920, was still so poor that the activity in the first part of 1920, before the depression, was sufficient to bring the entire 1920 record higher than that of 1921.

"At the beginning of this year, the real boom started. In January contracts were 49% ahead of those for the same month last year. In February the contracts awarded were 7% ahead of January and 73% ahead of February, 1921. In March more contracts were awarded than in any other month except April, 1920, which was one of the big months before the depression.

All Records Broken.

"In April, 1922, contracts awarded reached an unprecedented total, making April a record month for all time. The April record was 20% higher than that of the preceding month, and 60% ahead of April, 1921.

"May and June of this year carried the building boom even higher, and led to the expectation that the total for 1922, barring accidents, will be far greater than that of any other year. The May record of contracts awarded was 3% larger than that for April. Up to this time the record-breaking building had been confined almost entirely to the eastern states. The West was coming merrily along, but it was lagging behind and not breaking all precedents. In May, and June, however, all parts of the country broke records. July held to the fast pace established during the early months of 1922, and August bids fair to maintain this big volume of business.

"About 40% of all this building is for

residential purposes. About 15% is for business, and about 8% for industrial purposes. The proportions remained approximately the same from month to month."

NOW NO TIME TO QUIT.

J. H. OWENS

Field Representative, Associated Building Contractors of Indiana.

Never was there a time in the building industry when employer's organizations were more essential than the present, and when the best minds in these organizations should be more steadfastly devoted to a solution of the various problems with which their business is confronted. It is highly important that all craft organizations of employers renew their efforts to build up to the greatest possible efficiency, and develop more fully the spirit of co-operation with all other organizations of like purpose and aims for the mutual protection of their interest.

Employers' organizations are comparatively new, both in origin and experience. They have many things yet to learn. One of these is that temporary failure to achieve an objective should not cause a just reason for dissolution of their forces, but should serve to bind them all the more closely. Admitting that mistakes perhaps have been made by some one employer or employers in the past, is that any reason for quitting? Review the advancement of Organized Labor and try to count their set-backs and defeats. Have they for this reason abandoned organization as the salvation for the worker? Defeat has only shown them their weak points and served to make them strive all the harder.

Can you imagine under the present conditions, when cities are bidding against cities and contractors against contractors for the services of the men now on hand, with a runaway labor market apparent in several of the trades, what the conditions would be without the restraining influence of employer's organizations? Too little attention is being given by the employers to this condition, one that requires concerted general action to check it—or the industry will suffer a set-back that will be all the harder to adjust later. When one looks back a decade and realizes what great strides Organized Labor has made and has achieved, he can appreciate the more how employers are neglecting their duty in the conduct of their business. The keynote of all progress is co-operation, and the construction industry needs a measure of this spirit together with good common sense.

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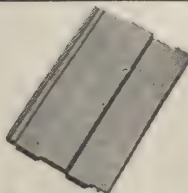
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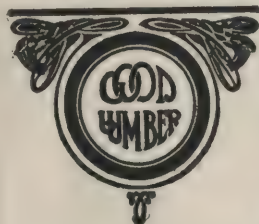
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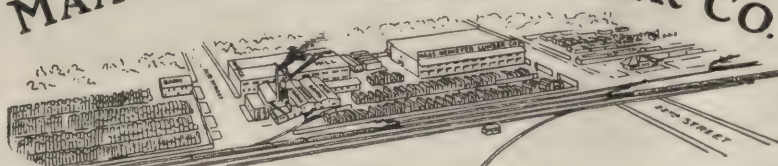
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Marion, Ind. Brick, foundation in.

Greenhouse (addition), 85x22. Owner, Dillon Myers, florist. Start work soon. Iron and glass.

CONNERSVILLE.

***Church:** \$20,000, 1 sty. & bas., 42x70, Alquina, Ind. (road from Connersville). Archt., Karl P. Henkel, 108 Heinemann Bldg., Connersville. Owner, M. E. Church, Q. A. Price, Alquina, Ind. (Fayette County Road from Connersville). Archt. ready for bids. Brick and tile, slate roof, hot air, septic tank.

***Catholic Church:** \$30,000, 1 sty. and bas., 46x78, Newcastle, Ind. Archt., Karl P. Henkel, 108 Heinemann Bldg., Connersville. Owner, Rev. J. J. Gallagher, Newcastle. Excavating. Ready for bids shortly. Brick and tile, stone trim, slate roof, steam heat.

***High School:** \$150,000. Archt., The Elmer E. Dunlap Co., State Life Bldg., Indianapolis. Owner, Board of Education. Plans completed. Owner will advertise for bids late fall. Brick.

***Schools** (2), repairs and additions to high school building at Glenwood, Ind., and repairs and additions to high school building at Gings, Ind. Both Union Township, Rush county, Ind. Archt., H. M. Griffin, McFarlan Bldg., Connersville, Ind.; Mechanical Engineer, Chas. R. Ammerman, Occidental Bldg., Indianapolis. Owner, John F. Mapes, trustee, Glenwood, Ind. Owner receiving bids to close August 25th at 1:00 P. M. (Note extension of time for closing of bids). Brick.

EAST CHICAGO.

***Club House:** \$100,000, 3 sty., 58x100, Archt., Jos. Kraft Co., East Chicago Bank Bldg. Owner, B. P. O. E. Lodge, Julius Friedman, Chmn. Bldg. Comm. Plans nearing completion, ready for bids shortly. Brick.

***Factory:** 1 sty., 50x100. Owner, International Lead Refining Co. Start work at once. Corrugated iron.

ELKHART.

Apartment Hotel: \$1,500,000 (1166 Rooms), 9 sty. and bas., 225x225, Wilmetta, Kenelworth Line, Cook County, Ill. Archt., R. L. Simmons, Elkhart, Ind. Owner, Beach Manor Real Estate Improvement Co., Wilmetta, Ill. (Cook County) Illinois. Plans in progress. Brick, hollow tile, concrete and steel, stone and terra cotta trim, built-up-roof, high pressure boilers, steel frame type of construction, marble and tile work, elevators, steel sash.

***Residence:** Milford, Ind. Archt., A. H. Elwood and Son, Elkhart. Owner, J. M. Ogden, Milford. Plans nearing completion. Ready for bids shortly. Brick veneer.

EVANSVILLE.

Bank Building: Morganfield, Ky. Archt., Clifford Shopbell & Co., Furniture Bldg., Evans-

ville. Owner, Morganfield Bank, Morganfield, Ky. Archt. taking bids to close August 25th. Brick.

***School** (addition), 2 sty. & bas., 33x77, Bevier, Ky. Archt., Capelle and Troutman, 410 American Trust Bldg., Evansville. Owner, Board of Education, B. E. Roll, Sec. school board, Bevier-Cleaton Graded High School. Bids are being received at Box No. 134, Cleaton, Ky., close Aug. 25th. Brick and frame construction, comp. roof, new gravity hot air heating plant for entire new and old bldg., containing 7 class rooms and assembly hall.

Brick Fence: \$7,500, surrounding Bosse Field, 1,033 ft. long, 10 ft. high. Archt., Capelle and Troutman, 410 American Trust Bldg. Owner, Board of School Trustees, A. L. Fisher, business manager, receiving bids to close August 28th at 4:00 P. M. Brick, concrete footings, stone trimming.

***Parish Hall:** 27,000, 1st and Franklin Sts. (rear). Archt., Anderson & Stingle. Owner, Emanuel Lutheran Church. Plans nearing completion. Brick.

Duplex Residence: 2 sty. and bas, 514 Riverside Ave. Archt., Clifford Shopbell & Co., Furniture Bldg. Owner, George T. Schultze, Pres. Schultze Lumber Co. Brick. Owner will build by day labor. 27 room apts.

Contracts Awarded.

***School:** \$40,000, Elizabethtown, Ky. Archt., Harry E. Boyle & Co., Evansville. Owner, Board of Education, Elizabethtown, Ky. General contract let to Jenkins and Essex, Elizabethtown, Kentucky.

FT. WAYNE.

Pharmaceutical Building: 4 sty. and bas., 60,000 square feet of floor space. Berry and Ewing Sts. Owner, Wayne Pharmacal Co., Harrison & Berry St. Preliminary plans in progress. Reinforced concrete and steel, elevators, comp. roof, steel sash, steam heat.

***School** (Grade and High School Building), \$147,000, Washington School Township, Kosciusko County, Indiana. Archt., Griffith and Goodrich, 211 East Berry St., Ft. Wayne. Owner, Archibals J. Menzie, trustee, Piercetown, Ind. Owner receiving bids to close September 7th at 1:00 P. M. Brick.

***Residence:** \$25,000, Kensington Blvd. Archt., Pohlmeier and Pohlmeier. Owner, P. J. Moran. Archt. taking bids. Pressed brick veneer, tile roof, will contain 10 rooms and 2 baths.

***Garage & Stores:** \$60,000, 3 sty. & bas. Archt., Griffith and Goodrich, 211 E. Berry St. Owner, J. Metzner, Pres. Eagle Laundry Co., taking bids. Brick.

Park Pavilion: \$15,000, Lakeside Park. Owner, Board of Park Commissioners, City Hall. Contemplated, mature early spring. Frame.

Contracts Awarded.

***Manufacturing Plant:** \$5,000,000, Pontiac St., Ft. Wayne. Owner, The International Harvester Co., Chicago, Ill. Contractor for foundation, Hughes-Fulkrod Constr. Co., Philadelphia, Pa. Ready for bids soon on superstructure, working

on foundations. Bldg. "A", 1 sty., 525x175; "B", 750x70; "C", 1 sty., 570x70; tower, 152 ft. high, of hollow tile; "D", 2 sty. bldg., 50x50; "E", 1 sty., 300x250; "O", 1 sty., 150x100; "P", 1 sty., 50x125; coal bunker, 100x210.

***Bank and Office Bldg.:** \$1,500,000, 12 sty. and bas., 155x120. Owner, First and Hamilton National Bank. General contractor, Max Irmischer and Son, all of Ft. Wayne. Clearing site. Brick, fireproof construction.

***School** (joint High and Elementary) \$157,000: Adams School Township, Allen county, New Haven, Ind. Archt., Henry W. Meyer, 615 W. Jefferson St., Ft. Wayne. Owner, G. E. C. Schaper, trustee, Wayne Trace Road, Ft. Wayne, Ind., R. F. D. General contract let to W. A. Sheets, 522 E. Berry, Ft. Wayne. Building will contain 16 class rooms, assembly rooms, gymnasium.

Business Bldg., 2 sty., \$10,000. Archt., A. M. Strauss, Shoaff Bldg. Owner, Orloff C. Moyer. General contract to Robert Lallow. Brick; starting work.

LAFAYETTE.

Parochial School: \$75,000, 2 sty. and bas., (8 class rooms, combination auditorium and gymnasium, library, kitchen, club rooms), Wabash Ave. Archt., Riedel and Zink, Lafayette Life Bldg. Owner, St. Ann's Parochial School, Roman Catholic, Rev. Father McCarty in charge. Plans in progress. Brick, stone trim, comp. roof. Central heating plant to heat new building and take care of present buildings.

Apartment Building (rem. from office Bldg.) Archt., Riedel and Zink, Lafayette Life Bldg. Owner, Mrs. C. G. Ball, % Archt. Plans completed.

***Warehouse** (rem.), 2 sty. Archt., Riedel and Zink, Lafayette Life Bldg. Owner, Atlas Produce Co. Start work soon.

***School** (addition to gymnasium and 4 class rooms), Oakland Hill School, Lafayette. Archt., Riedel and Zink, Lafayette Life Bldg. Owner, Board of Education, Dr. M. M. Lairy, Pres. Plans completed. Owner will advertise for bids in 10 days. Brick, slate roof, split system of heating, plumbing, steel ceilings, slate blackboards.

***School** (alterations and addition), \$25,000, "Lincoln Colored School." Archt., John Boonstra, Fowler National Bank Bldg. Owner, Bd. of Education, Dr. M. M. Lairy, Pres. Owner receiving bids to close September 5th; work consists of a 3 room addition, steam heat, stucco, plastering and general alterations.

Apartment Building: \$90,000, 3 sty. and bas., 34x132. Cor. Ellis and Armstrong Sts., Peoria, Ill. Archt., Nicol, Scholer and Hoffman, Ross Building, Lafayette. Owner, Co-operative Apartment Co., % Addison Bourland Co., 215 Central National Bank Bldg., Peoria, Ill. Plans in progress. Brick.

***Bungalow:** (6 rooms), West Point, Ind. Archt., Riedel and Zink, Lafayette Life Bldg., Lafayette. Owner, L. Clement, West Point. Owner builds. Frame.

(Continued on Page 11)

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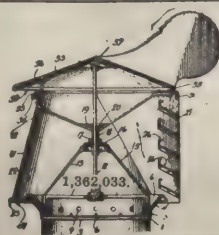
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INDIANAPOLIS

SOUTH BEND.

*Store and Apartment Building (3 stores and 4 apartments), 2 sty. and bas. Archt., Freyer-muth and Maurer, 654 Farmers Trust Bldg. Owner, Wesley Van Valin, 1612 South Michigan Ave. Owner receiving bids. Brick, copper set store fronts, comp. roof, steam heat.

*Apartment Building: \$15,000, 2 sty. & bas. Archt., Freyer-muth and Maurer, 654 Farmers Trust Bldg. Owner, S. Stratigos, 132-34 West Washington. Owner taking bids. Brick.

Trunk Sewer: \$70,000. Owner, Department of Public Works, Veronica C. Sweeney, Clerk, City Hall, taking bids to close August 29th at 10:00 A. M.

Contracts Awarded.

*Apartment Building: \$800,000. Archt., Nicol, Scholer and Hoffman, Lafayette, Ind. Owner, Mar Main Arms Realty Co., 221 S. Main St., South Bend. General contractor, Bedford Stone and Construction Co., Indianapolis; heating and plumbing let to Hayes Bros., Indianapolis; electric work to Moran and Son, South Bend.; pouring footings.

*Residence: \$18,000, Harter Heights. Archt., Austin and Shambleau, 111 N. Lafayette St. Owner, L. P. Hardy, 417 S. St. Joe St. General contract let to Thomas Hickey, 1004 East St. Vincent.

TERRE HAUTE.

Contracts Awarded.

*Church: \$100,000. Archt., Johnson, Miller and Miller. Owner, First Church of Christ Scientist. General contractor, William Caton. Enclosed, will resume work in spring.

*Club House: \$12,000. Archt., Johnson, Miller and Miller, 30 N. 5th St. Owner, Edgewood Community Club, C. B. Bacon, Sec. Contract let to Robert Meyer, 1508 S. 18th St. Frame and stucco, 1 sty., 40x70.

MISCELLANEOUS CITIES.

Bedford: Stone Plant (fire rebuild), \$300,000. Owner, Indiana Quarries Co. Contemplated, probably mature this fall. Brick, stone, steel and reinf. concrete.

English: Reservoir (120,000 gallon capacity), \$10,000. Owner, English Water Works Co., John H. Luckett, Supt. Start work soon. Reinf. concrete.

*Laporte: School (4 class rooms and gymnasium), \$27,900, 2 sty. and bas., 61x45, Springfield Township, Laporte County, Ind. Archt., George W. Allen and Son, Laporte. Owner, August J. Schumaker, Trustee. Bids will be received by the trustee and advisory board until 10:00 o'clock A. M., September 2, at the office of Smith and Rees, attorneys, Masonic Temple Bldg., Laporte.

Marietta: (Shelby County, Ind.) Road from Shelbyville. Masonic Temple, \$5,000. Owner, Marietta Lodge No. 467, Marietta, Ind., (road from Shelbyville). Plans in progress, mature this fall. Frame, 2 sty. and bas.

Marion: Church (colored), \$10,000. Private plans. Owner, Calvary Baptist Church. General contractor (for foundation), Chas. Mosley, Marion. Will build substructure this fall, superstructure in the spring. Brick and hollow tile. 1 sty. & bas., 40x60.

*Miami: Residence (colonial), 7 rooms, 2 sty. and bas., 29x30. Archt., Thos. McGaw, Kokomo, Ind. Owner, W. H. Peters, Miami, Ind. Owner ready for bids. Frame.

*Rossville: Church (remodel and addition), \$19,000, 1 sty. and bas., 70x74. Archt., Frost and Kellogg, Reporter Bldg., Lebanon. Owner, Board of Trustees, Methodist Church, Rossville, Ind. Archt. receiving bids. Face brick, veneer over frame, tile roof, vapor heating system, private water system, plumbing fixtures, art glass, alt. bid on rolling partitions, circular pews.

Contracts Awarded.

*Vincennes: School (Twp. grade and high), \$28,000, Milltown, Ind., Whisky Run Twp., Crawford County, Ind. Archt., J. W. Gaddis, 608 American Nat. Bank Bldg., Vincennes. Owner, Willard Vance, Trustee, Milltown, Ind. General contract let to Fred Judd, Jr., Milltown; heating let to Victor Knauth, Vincennes.

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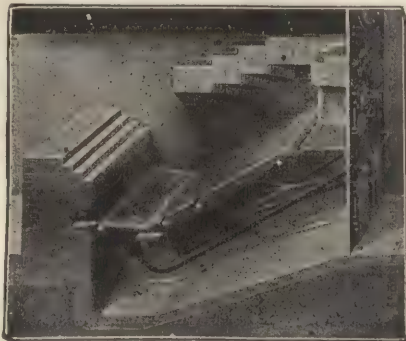
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Cat. No. 80 describes the buildings, etc., located in regiments 16 and 17, Camp Luce.

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Bids on both Cats. No. 79 and No. 80 should be plainly marked and addressed to,

Supply Officer, U. S. Navy, Chicago Sales Office, Room 316, Westminster Bldg., Chicago, Ill.

where they will be publicly opened at 10:00 A. M., September 1st, 1922.

Write, phone or wire for the above Cats. No. 79 and 80, giving full description and terms of sale to any of the following:

- (1) Supply Officer, Naval Training Station, Great Lakes, Ill.
- (2) U. S. Navy Sales Representative, Room 316, Westminster Bldg., Chicago, Ill.

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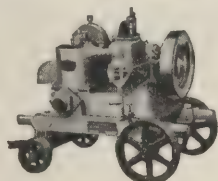
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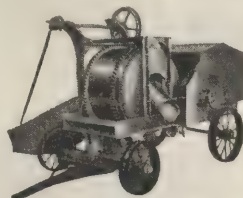
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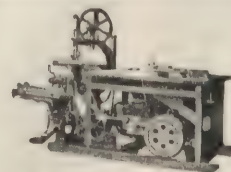
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Official Paper

Indiana Society of Architects

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DIRECTORS ENDORSE STATE BUILDING CODE MOVE AND VOTE TO FURTHER SAME.

Despite the heat, vacation time and Saturday afternoon attractions the members of the Board of Directors stuck by the ship to attend the regular monthly meeting thereby taking care of I. S. of A. affairs. Especial mention should be made to the loyal efforts of Prest. Guy Mahurin, Ft. Wayne; George W. Allen, La Porte, and A. F. Wickes, Gary, who made the journey from their respective cities in order to be on hand. In addition to these members, Charles Brossman, A. A. Honeywell and Secretary Merritt Harrison, all of Indianapolis were present as was Herbert Bass, the latter in the role of visitor.

After the noon luncheon at the Lincoln Hotel, the business session was called to order by President Mahurin, who in a few well chosen remarks impressed upon the directors the need for action by the Society that would result in individual benefit to the architects throughout the State. He would arouse the architects in the various localities to the need for public action in civic improvement matters and back them up in their efforts by united encouragement from the State architects' organization. It is only by such moves that the voice of the architectural profession can be made to make itself heard, and attract to itself attention that will command respect and heed. In this direction, the architects in their respective cities and districts can, by a little co-operation, build up an influence that will be bound to have a beneficial effect. The Society can encourage and propose, but, final accomplishment will depend solely on the interest and activity the individual members are willing to exert in the consummation of a given aim or purpose. It is the members who must act if real things are to be done by the Society.

Following President Mahurin's remarks, the fact that the State Legislature is to meet after the first of the year was commented upon and the activities to be taken by the Society in this respect were discussed. After considerable argument pro and con it was the consensus of opinion of the directors

that no action be taken by the Society this year with regard to the passage of an Architects' Registration or License Law.

There is, however, a matter along legislative lines in which the Society is deeply interested and to which the directors are seriously devoting their attention, this pertains to the passage of a law that would be the means of establishing a State Building Code setting forth standard essential building requirements to apply all over the State. A report was made to the directors by the Special Building Code Committee of the Architects' Society who met with similar committees from the Associated Building Contractors of Indiana and local committee of the American Association of Engineers. The directors appropriated \$25.00 to cover the Society's share of the expense in the proposed codification of the rules, regulations, provisions and laws now on the books of the various State departments governing building construction requirements. Instructions were given the I. S. of A. Building Code Committee to keep the directors advised of the progress made in this code matter.

A communication was read from the National Association of Coal Operators relative to the trouble at Herrin, Ill., recently as an outgrowth of the coal strike and though a resolution was introduced condemning the action of the mob in southern Illinois the directors took no action on it.

This constituted the business before the directors who, after considering the advisability of holding the next monthly meeting in some other city rather than Indianapolis, concluded it was best to meet in the latter place again in September on the second Saturday which will be the 9th. The meeting then adjourned.

COMMITTEE WOULD THAT INDI- ANA ARCHITECTS BEGIN TO CONSIDER MID-WINTER EXHIBIT.

Though December or January seem a long way off this sultry August weather, nevertheless, time is fleeting and the

periods referred to in the beginning will be here all too soon unless the Indiana architects recall that the annual architectural exhibit of the I. S. of A. is to be held during the mid-winter season and prepare against that time.

Last winter the Society, on very short notice, held its first exhibit which proved not only attractive but most successful. Benefiting by last year's experience the Pageants and Exhibits Committee of the Society is advocating earlier and greater preparation by the State architects so that the success of this year's exhibit may be assured. There was a fair response by the architects last winter, but this season the committee in charge is desirous of having a greater representation of the works of the architects from every section of the State. To that end the committee is anxious for all Indiana architects to begin to give some thought to this approaching architectural exhibit and prepare to enter exhibits of their handicraft. There will be a letting up shortly in the demand for new plans, and when the lull comes it would be a good time for the architects to prepare their work for submission for exhibition purposes. By such an arrangement the architect will be in a position to give real thought and study to his exhibit and, not being caught in the last minute rush, can get out work that will not only be a credit to himself but to his state profession of which he is a part.

The exhibit is to be held again this year at the John Herron Art Institute, Indianapolis, either in December or January, the time to be decided upon later to suit the convenience of the management of the above institute. The main point is for the architects of Indiana to utilize their spare time from now till the time of the exhibit in perfecting their offerings, thus assuring an artistic and appealing display that will convince the prospective builders in attendance of the advantages of correct design and planning and arouse in them an interest in the well meant efforts of the architect.

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INDIANA

Official Paper

Associated Building Contractors of Indiana

FRED W. JUNGCLAUS, President
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Indianapolis

ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller.....President
Ralph E. Seiffer.....Secretary

Office of Secretary, 411 Sycamore St.

BELIEVE IN ADVANTAGE OF REGULAR WEEKLY MEETINGS.

The mid-summer lethargy that intrudes at this time of year in so many circles has included in its sphere local A. B. C. activity which has just about reached zero. This does not mean that the "For Rent" sign has been hung out at 411 Sycamore street, far from it, rather, there has been little to require the official attention of the A. B. C. membership, resulting in a vacation period for regular meetings.

Just as soon as the cooler weather sets in once more the regular weekly meetings are to be resumed, and, in the absence of business questions to be settled, the spirit of good fellowship and co-operation, that have materialized amongst the local contractors as a result of association effort, will be still further encouraged. The value of these weekly getting together affairs has been proved time and again in periods of stress in Evansville, nor do the local A. B. C's. mean to lose sight of these benefits accruing from the weekly meetings.

BRIDGE PROJECTS HOLD MUCH OF PROMISE FOR EVANSVILLE'S FUTURE.

Two pieces of public engineering construction work, the one under-way, a new bridge over White River at Hazelton, Ind., the other a contemplated bridge across the Ohio River at Evansville, will when completed mean much to this city's future. For years a ferry has been used at Hazelton which is to be replaced by a \$250,000 bridge that will give a direct unimpeded highway to the North. The Ohio River bridge, long advocated to no conclusion, is being agitated again. The question has been taken up with the Kentucky legislature in an effort to get that state to share part of the expense of such a bridge. If built, this structure will give Evansville a direct highway south and attract new business to the metropolis of "The Pocket." It will mean not only new business for Evansville, but for every city and town along these through north and south highways.

NICE VOLUME OF SCHOOL CONSTRUCTION CONSUMED.

Another evidence of local building construction volume this season cropped out this week when the Board of Education sold \$360,000 of school improvement bonds. This money was to cover the cost of several grade school additions and the athletic stadium at the Reitz High School. All of this work was let locally and went to keep the various general and sub-contractors, also material supply men, busy.

CHIPS AND SHAVINGS.

Anderson and Veatch, architects and contractors are working on plans for a new parish hall for the Emmanuel Lutheran Church at First and Franklin streets. This firm is also remodeling an old homestead into a modern dwelling for Frank R. Miller, 926 Lincoln avenue, in addition to having any number of new residences under construction.

The building business in Evansville is still going fairly well though the granting of new permits for residences is not as brisk as it was. This is going to cut in on this month's building record unless there is a month-end rush, for it is new dwelling construction that has been holding figures up in the absence of the larger types of building projects.

FT. WAYNE

BUILDERS' EXCHANGE
Member State A. B. C.

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825 Calhoun St.

Phone 2001

LOCAL HIGH BUILDING RECORD FOR 1921 BOUND TO TOPPLE.

Never before since it had been the custom to keep official building construction data in Ft. Wayne had the volume of business reached the record figures hung up recorded 1921. This performance was considered remarkable, and it was predicted that it would be some time before those figures, \$4,799,756, representing the estimated cost of new work started, would be topped. However, there is every indication that a new record will be set when 1922 will have run its course. With but seven months of this year gone, the estimated amount of money involved in new building construction work up to August 1st, is \$3,806,800, or just \$992,956 less than the entire estimated valuation of all work for which permits were granted in the

entire year of 1921. In connection with this it might be inserted here that just last week a permit was issued for the new Lincoln Life Building, calling for an estimated cost of \$975,000 which brings the 1922 figures up to this time to within \$17,956 of the entire 1921 figures.

Comparing the statistics for the first seven months of 1922 with those for the same period in 1921, reveals the fact that there is a gain of 87.2% in estimated costs this year.

Time	Per.	Est. Val.
First 7 mos., 1922.....	1225	\$3,806,800
First 7 mos., 1921.....	919	2,033,413
Gain -----1922	306	\$1,773,387

HERE'S THE REASON.

Just to realize why Ft. Wayne's volume of building business in 1922 is soaring so high one has but to reflect upon the fact that at this time actual construction operations are going on on four projects that when completed will represent a financial outlay of \$7,500,000. These projects are: \$500,000 South Side High School now rapidly nearing completion; \$1,000,000 Lincoln Life Bldg. on foundations; First National Bank, clearing site; \$5,000,000 International Harvester Co.'s new plant, working on first unit to cost \$200,000. Then, too there are any number of smaller sized buildings that will range in cost from \$25,000 to \$60,000 and \$75,000, to say nothing of the enormous volume of new residence operations.

DIMENSION STUFF.

General contractor W. A. Sheets, Ft. Wayne, was the successful bidder on the Washington township consolidated grade school to be erected near Wallen, Allen county. Another Ft. Wayne contractor, P. B. Arnold, was awarded the contracts for the heating, plumbing and electrical work.

Contractors Wiegand and Sons are hustling things along on a new \$20,000 funeral chapel at Third and Wells streets.

Concordia College is undergoing considerable remodeling under the supervision of general contractors Max Irmscher & Sons.

Development of a substantial business section at the corner of Broadway and Taylor streets is one of the most interesting features of the business growth of Fort Wayne. Erection of a bank and office building at the northwest corner of these two streets by the Broadway State Bank, is being pushed to completion rapidly. Other commercial and mercantile buildings are contemplated near this location.

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320 Peoples Bank Building

MEETINGS.

Executive Committee meets second Tuesday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

Mason Contractors Association meets every Thursday—1 P. M.

General Contractors meet second Friday each month.

PLANS ON FILE.

At 320 Peoples Bank Building,
Indianapolis.

Masonic Temple, Michigan City, Ind.
Bids to close September 1, 1922. Architects, Nicol, Scholer and Hoffman, Lafayette, Ind. Note extension of date for receiving of bids.

WAIVER OF LIEN.

None filed with Marion County Recorder this week.

BIG FROLIC PUT ON BY INDIANAPOLIS MASON CONTRACTORS.

Somehow the hands of the clocks and watches Wednesday, August 16, seemed unusually lazy as, through the sweltering hours, they traced their circles around the time recording dials checking off the passage of the day. At least so it seemed to the members of the Indianapolis Mason Contractors' Association who, with their families were looking forward to the hour of Four P. M. Wednesday was the big day of the year for the mason contractors, being the occasion of their annual outing and dinner, a long established and happy event in the annals of the association.

Along about two o'clock the eagerness of the contractors got the better of them and they "knocked off" for the day to round up their families and head for "Ma-Lo" seven miles northeast of the city, famous for its chicken dinners. "Walt" Wise and "Jimmie" Hodgson were on hand early to greet the incoming machines filled with merry makers as they rolled in from Keystone avenue, after a speedy spin out the long stretch of concrete pavement. The beautiful grounds, stretched beneath a canopy of forest trees, dotted here and there with swings and seats, and the shadowed retreats of screened and roomy porches offered a welcomed relief from the intense heat of the city.

The next move on the program after the arrival was to get the crowd started on a mirthful and playful round for a couple of hours that appetites might be appropriately keyed up to do justice to the fried chicken scheduled for the twi-

light hours as a fitting climax to the afternoon's pleasure.

"Jimmie," they all know him, and Ed Stevens made for the horseshoe pegs where they plied their skill in their annual contest of throwing ringers. The games were neck and neck with "One for Jim," then "One for Ed" and so on until a couple of wild throws sent several shoes scurrying and rolling into the bushes and the games were called off with a tie existing.

In the meantime Wise, Sr., and Wise, Jr., had lined up a couple of teams over on the baseball diamond and "pop" and son were fighting it out for supremacy. "Dad" was hooking them over the corners right along with Tom Moynahan, Orville Wise, J. C. Kiely, Geo. Reed, Frank Gray, and the rest of them trying to put over a few "Babe Ruths." Back of "Dad" Wise, the Hodgson boys, Joyce, Rybolt, Rubush and "Ernie" Pierson were pulling off some snappy fielding that blocked the other fellows down to nothing in their efforts. Hot, yes, but who minded the perspiration; the picnic was the thing and the crowd was having a good time with no one giving a thought to the work or sore muscles of the morrow.

Back in the shade of the lawn and porches where gathered the women folks and children the swings were swinging, the rockers were rocking, and games also, were in progress.

J. Makin put in his appearance just after sundown and "Walt" Wise from the pitcher's box called "Raise that line, speed up a little; we have been waiting for you for a long time." "J" caught the significance of the lingo and flashed "go" to Lee Long who swung wide the doors to the heavily laden tables, and from here there and everywhere the masons and their families wended their way to the inviting repast within the shade-cooled screened porches.

Dishes began moving with the call "more mortar" and my, how that chicken vanished together with creamy potatoes, corn on the cob and all the other trimmings that go to make such a meal complete. After dinner there was music and dancing till well on into the night.

Those present were: Frank Gray and family; James Hodgson, Sr., and wife; James Hodgson, Jr., and wife; Wm. Hodgson and wife; Leon Joyce, J. C. Kiely, wife and son; T. A. Moynahan, wife and son; T. J. O'Hara and wife; E. H. Pierson and wife; G. A. Reed and wife; Wm. Rubush and wife; J. C. Rybolt and wife; E. M. Stevens and wife; Orville Wise, wife and daughter; Walter Wise and wife; Misses Meck Anderson, Betty Harding, Esther Spahr and Frances Wulle.

HOPE FOR BIG CROWD OF CONTRACTORS AT TERRE HAUTE CONFERENCE.

Terre Haute contractors, who have been busy for some time preparing for the Fifth Monthly Conference of the Associated Building Contractors of Indiana to be held in that city August 24, 3:30 P. M., announce that everything is in readiness for the holding of the meeting.

The conference will be held at the headquarters of the local A. B. C's., 671½ Wabash Ave., the hour for convening being so set that all business

may be conveniently transacted and finished up in time to enable all delegates to return to their respective homes that night if they so desire.

The original conference, called to aid the Kokomo contractors in their endeavor to, perfect their organization, aroused so much interest that it was decided to make these monthly gatherings permanent affairs to be held in different districts each time. However, some of the State Association membership felt that they were being left out, believing the term "district" applied only to those contractors in the designated territory. As soon as the officers learned of this misconception they decided to eliminate the district feature and substitute state conference in its stead thus broadening the scope of the meetings to include the entire State Association membership. Thus, the Terre Haute gathering will be open to all members of the State A. B. C's. and it is hoped that there will be a good turnout of contractors from all over Indiana.

Since Terre Haute is easily accessible by rail, interurban or automobile the approaching conference should be the largest attended to date.

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Apartment Bldg.: \$15,500, 3433 Birchwood. Owner and builder, Circle City Construction Co., Fletcher Trust Bldg. Brick veneer.

Factory: \$30,000, 1 sty., 60x200, 16 S. Harding St. Owner, Dussenberg Motors Co., 1511 West Washington St. Brick. Owner builds.

Office Building: \$22,000. Owner, Piel Bros. Starch Co., State Life Bldg. General contract let to Chas. Nuerge, 1224 East Ohio St. Brick.

Stores: \$20,000, Illinois and Mich. Owner, Ed. G. Sourbier. General contract let to John A. Schummacher, 820 East St. Clair. Brick.

Apartment Bldg. (4 Apts.), \$15,000, 3818 Central Ave. Owner, H. K. Fatout, 3107 Ruckle St. Owner builds and awards separate contracts. Brick veneer.

Residences (2), \$14,000, total. 855 and 857 W. Pratt St. Owner, Olive A. Day, at site. Frame.

Residence (double) \$12,000, 4465-67 College. Owner, Kate M. New, 4049 College Ave.

Residence (double), \$11,000, 3351-53 Broadway. Owner, A. Yunkuner, 2344 Station St. General contractor, Gale Construction Co., 2117 Gale St. Brick veneer.

Residences (2), \$10,000, total, Hawthorne Lane. Owner, General Finance Corp., 907 Merchants Bank Bldg. Frame.

Residence (double), \$9,500, 3825-27 N. Delaware. Owner, Frank F. Richards, % Balke-Krauss Lumber Co. General contractor, Realtor Building Co., Lemcke Bldg. Frame.

Residence: \$8,000, 5230 E. Washington. Owner, Carl Kernel, % contractor. General contractor, L. J. Gottenmoller, Parker Ave. and 37th St.

Residence: \$6,500, 415 E. 43d. Owner, Harry Weier, 5442 Carrollton. Contract let to F. L. Palmer, 3348 N. New Jersey St.

Residence (double), \$6,000, 914-16 Oxford. Owner, Josephine Bahr, 539 N. Oakland.

Residence: \$5,500, 4030 N. Capitol. Owner, J. F. Cantwell, Lemcke Bldg. Owner builds.

Warehouse: \$5,000, 1125 Alford St. Owner, Talge Mahogany Co. Day work.

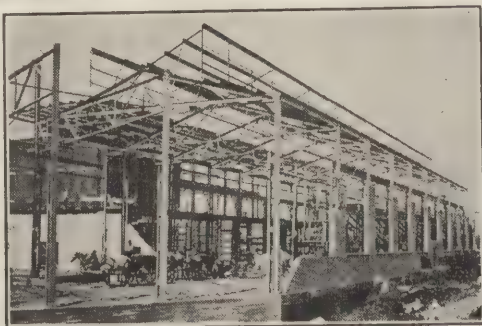
Residences (3), 531-39-47 E. 36th St. Owner, Jose-Balz Realty Co. Owner builds.

Residence: \$6,500. Owner, L. P. Robinson, % contractor. General contract let to Nicholas Linder, 1821 Orleans St. Frame.

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CALUMET DISTRICT

CONSISTING OF

**HAMMOND INDIANA HARBOR
EAST CHICAGO WHITING****Building Trades Employers'
Association.****Member State A. B. C.'s**J. Wesley Reed -----President
E. E. Cole -----Secretary108 Citizens National Bank Bldg.,
Hammond, Indiana**MEETING NIGHTS**General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.**IT ALL DEPENDS ON WHO GETS
THE DIFFERENCE.**

For unadulterated selfishness, some bankers of whom we have heard, and perhaps there are others, take the prize. They have the idea that good division is for them to take the meat of the apple and give the other fellow the core, in fact he should be glad to get that much. They are not satisfied with a good fat return for whatever accommodation they may extend on a certain part of a man's business—they want it all. Because a man may bank through their institution, they expect him to give them his fire insurance, contract bond, notary, and workmen's compensation business also, in fact, they seem to think when a man does do business in part with a certain bank he is in duty bound to make the scope of his business dealings include practically all his business matters, and that nobody else who may be in competition with them has a right to exist.

The Building Contractors of Indiana could save a nice sum by carrying their compensation insurance in the Builders' and Manufacturers' Mutual Casualty Co., **THEIR OWN COMPANY**, but in many instances the banker will almost insist that if the contractor does business with the banker's bank the bank is also entitled to other features of business on which commissions can be made for writing same, such as various kinds of bonds and insurance.

MORE GOOD NEWS.

Here's for another boom along industrial lines for the Calumet District.

A Cleveland syndicate has purchased the holdings of the Calumet & Chicago Dredge & Dock Co., in this section, just across the state line over in Illinois along the Calumet River and lake. The site is to be sub-divided into factory sites which will be put on the market shortly. The company also proposes to erect factory buildings and lease them to manufacturers.

HURRAH!

Well, well, well!

It looks as if the meeting of the Presidents of the various building crafts of the Building Trades Department of the American Federation, who met in Chicago in July, was really going to result in good. Their effort for a reorganization of the Building Trades Council of Chicago, and putting it under the control of the Unions who have accepted the

Landis Award will go a long way toward clearing up the mean situation that has existed in that city, at least that is the indication. Everybody is hoping.

A REAL SHOCK FOR HIM.

It has been brought to our attention that the manager of the Schaaf Construction Co., which is building the new plant for the New York Car Wheel Co., dropped in on the job the other day to find that the brick-layers were being paid \$1.90 per hour. Further, it is rumored that he, like George Washington, used an ax, but, on the pay roll instead of a tree.

**NOT SUCH A HEAVY DEMAND FOR
PERMITS THIS MONTH.**

City Building Inspector Henry Vis, reports quite a dropping off in the application for building permits so far this month. This is bad for future business, but the local contractors right at present are pretty well snowed under with work that will keep them and the workmen busy for quite a time to come.

CALUMET BUILDING PROGRESS.

Guy Young, general contractor, has just landed a contract to erect a \$5,000 bungalow on Murray street. He has the Dr. Fox residence ready for plaster.

John Gohman of the firm of Danner, Gohman & Meyers, is sojourning down at Lincoln, Ill., looking after their big theatre construction job in that city.

Secretary Cole dropped into Chicago last week and slipped around to the office of the Builders' and Manufacturers' Mutual Casualty Co., where he met F. W. Jungclaus, Indianapolis, President of the A. B. C. of Indiana, and Mr. Wuelener and Mr. Brown of the A. B. C's. of Illinois. Everybody was busy and full of "pep."

Now it is being nosed around that the Jones-Laughlin Steel Co., Pittsburgh, Pa., will soon begin preparing the site they purchased last winter for the erection of its new mills.

Week end jaunts help a lot. Ask the secretary.

Last Saturday he deserted the office along about noon, slipped down to Danville and Vermillion County, Ill., to visit his old home and the folks down there.

E. E. COLE.

MUNCIE**Associated Building Contractors
Member State A. B. C.**Chas. Rowe -----President
J. A. Gallivan -----Secretary

314 Main Street

**AN APPRENTICE SCHOOL THAT IS
MAKING GOOD.**

Speaking of the plumbing apprentice school established in San Francisco by the Industrial Association and the Master Plumbers' Association, of that city, Wm. P. Goss, Pres. of the latter organization, writes:

"I have taken the keenest interest in this school, and have devoted a considerable portion of my time to supervising its course of instruction and placing in satisfactory positions its students. Consequently, I feel that I am in a position to judge the school and have no hesitancy in stating that it is a complete success in every respect.

This opinion is shared by the leading plumbing contractors of San Francisco, who base their judgment upon their individual experience with the boys which the school has turned out. At the present time, there are about sixty of these boys who are all working efficiently for master plumbers, and who return regularly after each four weeks on the job for further instruction in the school.

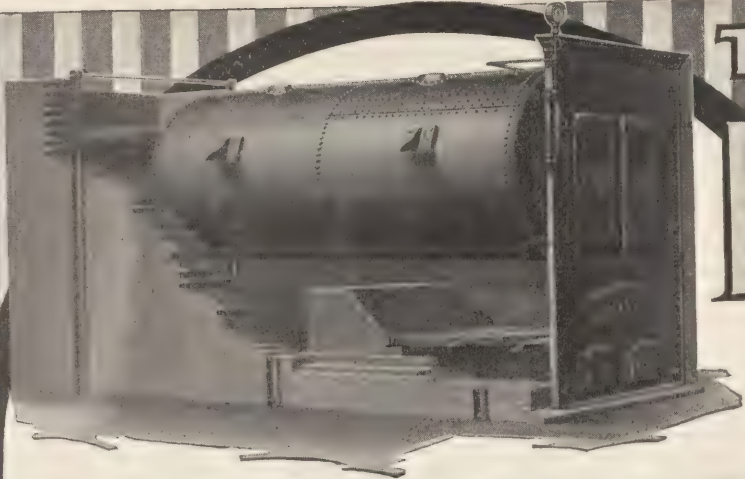
In the school, which they attend for two weeks out of every six, they are taught how to read plans, how to take measurements, how to caulk joints, how to ream and cut pipes, and the names and uses of all the different materials and tools connected with the plumbing industry. To supplement this practical instruction, we have made arrangements with the public school department whereby these students attend evening classes and are taught mechanical drawing, mathematics, hydraulics and sanitation.

When the students go out to actual jobs, they remain under the supervision of an apprenticeship committee appointed by the Master Plumbers' Association, and are handled on a merit system. In other words, it rests with the boy himself as to the progress he makes, the committee offering him the opportunity of taking an examination for advancement as often as he believes himself entitled thereto.

As the concrete results, a group of fourteen students from the school were taken by me and put to work installing the plumbing in two new houses in the residential district of San Francisco. Under my supervision they installed all the plumbing in these two houses in three days. This included the running of soil pipe, the installation of vent pipes, water pipes and gas pipes, together with the caulking of joints and the threading and cutting of pipes necessary to be used. Besides being done in this brief period of time the job was done perfectly.

**WORK AND CONDITIONS AT MUN-
CIE MAKE FOR FAIR
BUILDING SEASON.**

Building affairs in Muncie are running along smoothly and everyone in the building construction field seems to be busy. While there is not much new work of any great proportions developing, nevertheless, the several big projects that were contracted in the early spring and summer and that are now under construction are taking care of the visible supply of workmen locally, in fact, have put an excessive demand upon said supply. There is some small home construction under way that is keeping the smaller contractors well occupied. There have been some labor controversies with the building trades mechanics but these have been threshed out and settled with little interruption to local building this season, which is proving to be a fairly successful one as far as Muncie is concerned.



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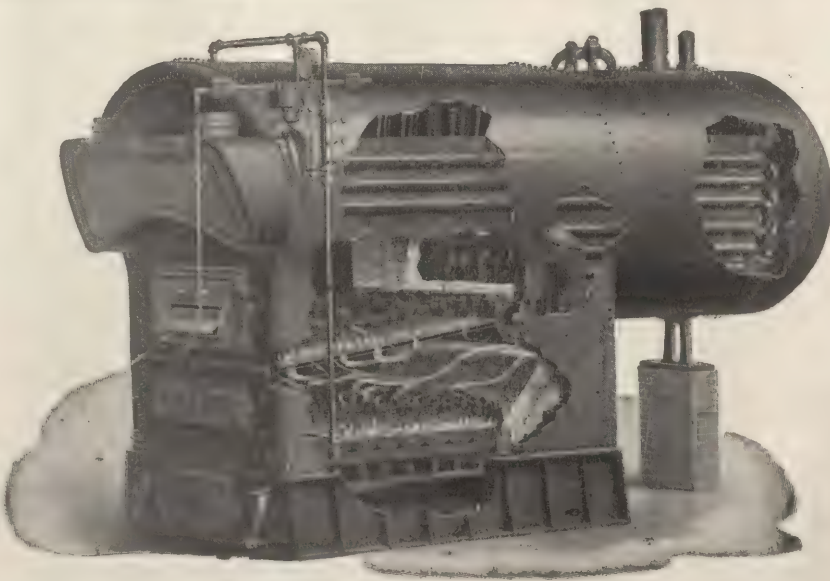
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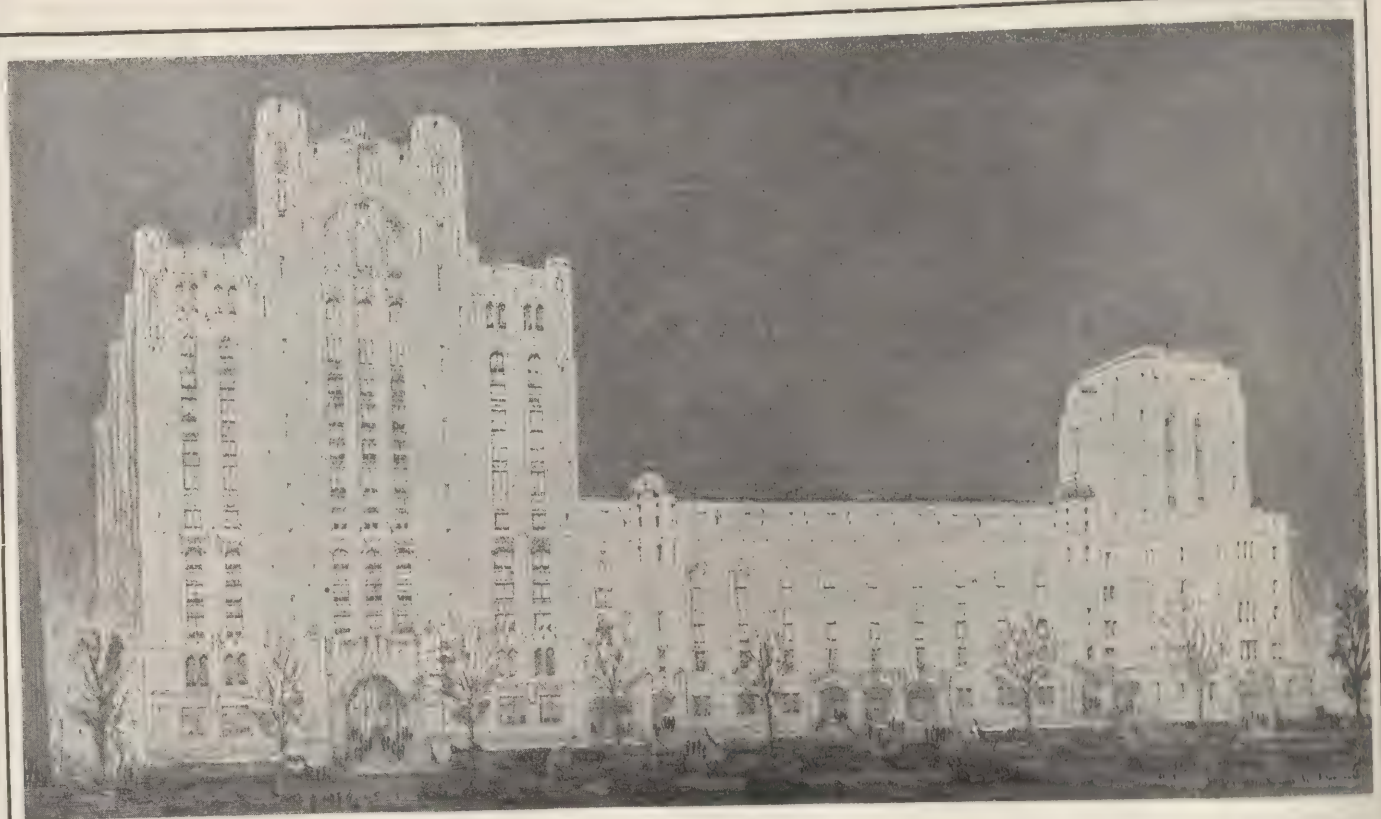
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Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

Vol. IV

INDIANAPOLIS, INDIANA, AUGUST 26, 1922

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Entered as second class matter August 29, 1919,
at the Post Office at Indianapolis, Indiana, under
the Act of March 3, 1879.

EMPLOYERS' SELFISHNESS ACTS AS A BOOMERANG

The scarcity of building trades mechanics not only in Indiana, but all over the country has caused some building trades employers to forget everything but self in their eagerness to complete their work. All unmindful of the after effect these employers have sought to build up their working organizations by offering wage inducements above the agreed scale. Such practice does not produce more workmen in the field, instead, it merely causes a scramble to the employer's standard who is "tilting" wages and leaves the man deserted who is seeking to live up to the wage agreements as agreed upon by his association. It is a bad practice and, in addition to robbing the contractor who is earnest in his endeavor to stabilize the wage proposition, creates discontent and avariciousness amongst the mechanics who stand ready to jump to the highest bidder. There is no blame to be attached to the workman who, as Attorney Harry Fention told the contractors at the Lafayette conference, is not to be condemned for selling his services to the man who will pay the most.

A prominent international union official at Indianapolis in the course of a conversation said, "There would be no more than the scale paid to any workman were it not for the contractors themselves who at times in their rapaciousness are inclined to pay most anything to get men. The Unions do demand that the scale level be maintained and observed, but, if some contractor will pay more it is not for the Union to prevent its members from securing the advanced figure if they can get it.

Indianapolis had her experience with just such conditions when an outside contractor took on work there and ignoring the local brick masons' association, tacked the wage ante to the scale. The effect of this action was felt even in Evansville where a demand for an increased wage followed the word that Indianapolis was paying considerably more than \$1.07½ per hour, the scale decided upon at Evansville last spring. South Bend, Chicago, Ft. Wayne, Lafayette and other cities have all been victims of this pernicious practice.

In dealing with this subject the Bulletin of the Pittsburg Builders' Exchange of that city sizes up the situation perfectly and though the article deals specifically with plastering it could well be applied to any trade where wage boosting is indulged in.

Says the Pittsburgh Bulletin:

"There is a scarcity in building mechanics in Pittsburgh in some lines of trade.

This condition is undoubtedly brought about by the restriction of apprentice and cannot be rectified in a few days.

There is one big mistake, however, which employers are making in the matter of wages for the mechanics in the trades where they are scarce.

This mistake caused by selfishness and in a great measure, shortsightedness is to raise the wages above the scale agreed upon.

Employers who have started this practice are successful for a few days only in accomplishing their purpose.

This purpose is to get men from any source and this source is usually the competition in the same line of business.

The plastering trade particularly is suffering from this condition.

A few months ago the wages for plasterers was \$9.00 per day or \$1.12 per hour, the agreement running until March 1st, 1923.

The Plastering Contractors' Association at the request of the Union, then granted an increase of \$10.00 per day or \$1.25 per hour.

We presume that the employers were told by the union officials that the wages of \$10.00 per day would induce out of town mechanics to come to Pittsburgh.

Whether or not this statement was made we do not know, but we do know that the increase did not have any effect on relieving the shortage of men.

The next resort of the employers who had a large amount of work was to have the men work overtime and receive double pay for the overtime worked.

This naturally served as an inducement to the men working for other em-

ployers to quit their jobs and work for the man who paid overtime.

The employer who lost his men when he found the reason for leaving him was then compelled in self defense to employ the same tactics and offer the men the same inducements or better than they were getting.

The result today in the plastering trade is that there are only a few men who are working eight hours and getting eight hours' pay amounting to \$10.00 per day. Many are working eight hours at straight time and two hours overtime making ten hours actual time worked.

The two hours overtime is paid for at double time rates making a total of twelve hours per day paid for at \$1.25 per hour or \$15.00 per day.

This is the condition today. We know for a certainty that very few jobs will stand this increase and enable the contractor to realize a profit and many employers are bound to suffer financial loss on account of it.

The scarcity still exists and there are about the same number of plasterers in Pittsburgh now as there were before the demand. It has made no more men and will make no more men.

Employers in other trades should take warning in time and not let this condition prevail in their lines of work.

Last year the employers put up a great battle and won many points. This year everything is being handed back on a silver platter.

What has become of the arguments of the trades unions that a man is only good for eight hours per day and should have the balance of the time for rest and recreation?"

BIG LITTLE MEN AND LITTLE BIG MEN BOTH FOUND IN ALL ORGANIZATIONS.

J. H. OWENS

Field Representative, Associated Building Contractors of Indiana.

An association can be no better than the men who constitute its membership. In consideration of this fact, there are generally two kinds of men to be considered. One is the man who is willing to co-operate, who is willing to meet his competitor, the most regular in attendance at meetings, always ready to give his views and opinions that others may be benefited by them, does not hesitate to get up and tell his associates how he conducts his business, is not afraid that the other fellow will adopt his system,

(Continued on page 7)

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but rather encourages him to do so for his own good. He does not question the cost of belonging to an association he knows that he will never get more out of it than he puts into it. This is just one reason why he is the big business man he is.

Then there is the other fellow, who is not willing to co-operate, seldom attends meetings, and when he hears of various resolutions adopted, he is always the first one to complain if they do not please him—and they seldom ever do,—and if by chance he does attend a meeting, he offers no suggestions. However, he is a willing listener as long as things go his way, but if something is brought up that is not to his liking, his first objection is, "Well, that benefits the big fellow, but I cannot see where it will help me—I can do it differently." He holds back when his dues are due. If the association has a social function and he is assessed, he cannot see why they should give entertainments; he is too busy to attend affairs of this kind, always making excuses that business keeps him away, yet the very next meeting he attends he is lamenting the fact that the so called big business man has all the work and he has nothing.

However, once this type of man is converted to the association idea, he supports it just as strongly as he opposed it. He attends meetings regularly, takes part in discussions and the first thing we know, he is among the class called big business men. Big business men are not a race apart, an exceptional drop from the sea of life splashed up once in an era. Big men are little men INTENSIFIED,—EXPANDED.

SAN FRANCISCO INDUSTRIAL PLAN.

Many cities are watching the experiment through which San Francisco is now going in regard to the Industrial Association of San Francisco, which was organized and grew out of the labor disturbances of a year ago. This Association has evolved the "American Plan" for counteracting the combinations of material men, the prevention of strikes and for furthering industrial activities. The Association has now more than five thousand members in the city of San Francisco. It has established schools for apprentices and has brought about a building boom, not only in San Francisco but in surrounding towns. It maintains schools for plasterers, plumbers and other workers and claims to have sent out, in eight weeks, men capable of taking journeymen's places in the trades, giving them an intensive practical training, which does not require service from two to four years as apprentices, as demanded by union rules. The Association has a committee for the investigation of labor grievances and maintains an Arbitration Board. If strikes or lockouts result the whole strength of the organization is given to maintain the activities of the industry affected. The slogan of the Association is "For Sound Industrial Relations." Its aim is to protect the public from being victimized by industrial disputes. It maintains that public interest comes before that of either employer or employee.

This scheme of operation is working so well that many of the leading business men of other cities are giving it serious thought, and while the Association was primarily started for the purpose of reviving the building industry in San Francisco and placing it upon a sound basis, its activities are not confined to this industry alone, but cover all industries. Its object is not to fight unionism, but to counteract the influence of crooked leadership in union circles and criminal combinations of material dealers and all combinations or conspiracies for the restraint of trade.

Certainly, business cannot go on under union domination and it might be worse if this were to give way to employers domination. It would seem that there is a middle ground upon which industry could operate for the benefit of both the employer and employee and yet serve the public, which is the primary object of all industrial pursuits. Let either side—employer or employee—have entire control of a situation and the public will suffer. Out of the chaos of the industrial warfare which is taking place in the United States will result the establishment of some sort of a tribunal wherein all these controversies may be amicably and correctly adjusted so that the interest of the public will be protected. It is apparent now that the great majority of general strikes affecting the welfare of the people are the result of conspiracies between the employers and union officials.—(August Bulletin of the Associated Builders of Chicago.)

News of the Week

The asterisk (*) prefix to an item indicates additional information to report published in previous issue.

INDIANAPOLIS.

*Residence and Garage: \$400,000, 3 sty. and bas., 119x55, Riverside Parkway. Archt., Bass, Knowlton and Co., 801 Hume Mansur Bldg. Owner, Charles B. Sommers, Esq. Pres., D. Sommers and Co. (Furniture), West Washington and Capitol Ave. Face brick, stone, fireproof construction, reinf. concrete, hollow tile, structural steel, iron and steel stairs, wall safes, incinerator, alt. on steel sash, Creo Dipt. shingle roof, ash hoist, metal doors, marble and tile floors, wainscot, base, etc., dumb waiter. Archt. receiving bids.

Salesroom and Garage: \$150,000.00, 3 sty. and bas., 63x200, N. W. Cor. St. Joe and Meridian St. Frank B. Hunter, 902 State Life Bldg. Owner, Conduitt Automobile Co., A. W. Conduitt, Pres.; J. A. Boyd, Secy. (distributors of Peerless, Maxwell and Chalmers cars), 314-26 N. Delaware St. Plans in progress, start clearing site within

the next few days. Brick, reinf. conc. floor and roof constr., freight elevator, steel sash, copper-set fronts, comp. roof, steam heat.

Residence: 2 sty. and bas. Archt., Frank B. Hunter, State Life Bldg. Owner, Sol Meyer, Pres., Meyer-Kiser Bank, 136 E. Washington St. Plans in progress.

*Grade School: \$95,000.00, Madison, Ind. Archt., Herbert Foltz, 843 Lemcke Annex, Indianapolis. Owner, Board of School Trustees, S. J. Bear, Pres.; J. E. Reed, Secy.; W. C. Roth, Treas., all of Madison. Owner receiving bids to close September 16th at 2:00 P. M. (See legal advertising in this issue.)

*Masonic Temple: \$50,000. 2 sty. and mezzanine, Roosevelt Ave. and Adams St. Archt., Donald Graham, 11th floor Hume Mansur Bldg. Owner, Veritas Lodge No. 608, F. and A. M., W. E. Reno, Chmn. Bldg. Comm., 3420 Roosevelt Ave. Plans nearing completion. Expect to take bids in about three weeks.

Country Club (Fire rebuild), 2 sty. and bas., "Woodstock," Indpls. Archt., Fred Wallick, Hume Mansur Bldg. Owner, Woodstock Country Club, Northwestern Ave. and 38th St. Archt. receiving bids. Stucco, roofing, changes in heating system.

Heating and Plumbing: Archt., Chas. Bacon,

605 Odd Fellows Bldg., is taking bids on heating and plumbing for the Temple Baptist Church, bids due September 5th.

Stores (4), 1 sty. and bas., East Michigan and Rosart, Archt., Chas. E. Bacon, 605 Odd Fellows Bldg. Owner, V. M. Concanon (Grocery), 4612 E. Michigan St. Taking bids. Brick walls, furnace heat, comp. roof.

*Church: (Sunday school and auditorium). Archt., Chas. E. Bacon, 605 Odd Fellows Bldg. Owner, Emerson Ave. Baptist Church, Rev. P. J. Morris, pastor, 50 N. Bolton Ave. Archt. receiving bids. Brick, 2 sty. and bas., 90x100.

*Church: Raymond and Perkins Sts. Private plans. Owner, Trinity Reformed Church, Rev. Elmer Jaberg, pastor, 1511 Kelly St. Bids in. Expect to award contracts in next few days. Stucco, furnace, asphalt shingle roof, 1 sty. and bas., 64x75.

Duplex (rem. from residence), \$5,000. Archt., George V. Bedell, 417 Aetna Trust Bldg. Owner, Michael Reidy, 31 Butler Ave. Archt. taking bids. Work will consist of 2 baths, enlarging steam heating system and general alterations.

Contracts Awarded.

*Automobile Sales Building and Service Station: \$150,000, 3 sty. and bas., 720-22 N. Meridian St. Archt., Rubush and Hunter, American Central Life Bldg. Owner, Olin Sales Co., 509 N. Meridian St. General contract awarded to William P.



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Jungclauss Co., 825 Mass. Ave.; heating let to Freyn Bros., 33 W. Michigan; plumbing let to James A. Diggle, 214 N. Delaware St.; electric wiring let to Sanborn Electric Co., 309 N. Illinois St. Start work soon. Brick.

Residence (double), \$12,000, 40th and Ruckle. Archt., George Bedell, 417 Aetna Trust Bldg. Owner, Francis Ohlwey. Fletcher Trust & Savings Co. General contract let to Joe Harris, 118 Terrace Place. Frame, tile floors, asphalt shingle roof, hardwood floors.

Stores (2), 1 sty., Washington and Whittier. Archt., Wm. O. Morck, 604 Lombard Bldg. Owner, Anna Spolsky, 21 Whittier Place. General contract let to C. C. Urban, 456 Berwick Ave. Brick walls.

Residence: \$10,000, 2 sty. and bas., 3311 N. New Jersey. Archt., Everett H. Crabb, 1112 State Life Bldg. Owner, Jack H. Rhoades, 3515 N. Penn. St. General contract let to Harrell and Robb, 3136 Macpherson Ave. Frame.

ANDERSON.

***School**: (Consolidated), 2 sty. and bas., Orestes, Ind., Monroe Twp., Madison County. Archt., E. F. Miller, Farmers Trust Bldg., Anderson. Owner, William Cunningham, trustee, Alexandria, Ind. Plans in progress, may mature late fall. Brick.

Contracts Awarded.

***Residence**: Archt., E. F. Miller, Farmers Trust Bldg. Owner, Judge Luther Pence. General contract let to Glenn Gardner. Excavating.

***Masonic Temple** (rem. from residence), \$8,000, Alexandria, Ind. Archt., E. F. Miller, Anderson. Owner, Alexandria Lodge, F. & A. M., Alexandria. Excavating. Owner builds.

BLUFFTON.

***School** (consolidated), \$20,000, 3 rooms, Uniondale, Ind. Archt., Everitt Brown, Studebaker Bank Bldg., Bluffton. Owner, Herman Middough and Ed. Harshman, trustees, Uniondale, Ind.

Plans in progress, will advertise for bids soon. Brick.

***County Hospital** (2nd sty. top add.), \$30,000. Archt., Everitt I. Brown, Studebaker Bank Bldg. Owner, Board of County Commrs., F. B. Fishbaugh, Auditor. Plans completed, probably advertise for bids late this fall. Brick.

***School**: Roanoke, Ind. Archt., Everitt I. Brown, Bluffton, Ind. Owner, Newton VanAssel, trustee, Roanoke, Ind. Bids close August 31st. Brick.

High School Bldg. and rem. of Mathews School Bldg.: \$80,000, Upland, Ind. Archt., Everitt I. Brown, Studebaker Bank Bldg., Bluffton, Ind. Owner, A. C. Fisherback, trustee, Upland, Ind., will award contracts as soon as approved by State Tax Board. Low bidders are, Lee Kimmel, Poneto, Ind., \$67,776.00; low on heating, Chas. Langer, Hartford City, Ind., \$50,900.00; low on electric work, Wells Electric Co., Bluffton, Ind., \$2,310.00.

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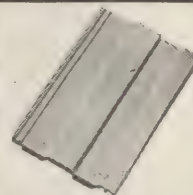
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Contracts Awarded.

*School (addition), \$65,000, 2 sty. and bas., 70x80, DeSota, Ind. Archt., Everitt I. Brown, Studebaker Bank Bldg., Bluffton. Owner, Elmer A. Ritchie, trustee, Albany, Ind. General contract let to S. L. Paul, Mooreland, Ind. Excavating, Brick.

*City Hall and Fire Station: \$12,000, Warren, Ind. Archt., Everitt I. Brown, Bluffton. Owner, City of Warren, Ind. General contractor, G. W. Heinemann and Son, Marion, Ind. Foundation in.

*School: \$85,000, Chester Twp., Wells County, Ind. Archt., Everitt I. Brown, Bluffton. Owner, Oliver F. Tate, Trustee, Poneto, Ind.; general contractor, Gordon and Reiss, Liberty Center, Ind. Brick on 1st floor.

EVANSVILLE.

*Automobile Sales and Service Station, \$60,000.00. Archt., Clifford Shopbell & Co., Furniture Bldg. Owner, Fellwock Motor Co. Plans nearing completion. Clearing site, Brick, steel, concrete, comp. roof, steel sash, steam heat.

*Church: \$100,000, 2 sty. and bas., 48x66, Mt. Vernon, Ind. Owner, General Baptist Church, Mt. Vernon, Ind. Archt., Clifford Shopbell & Co., Furniture Bldg., Evansville. Taking bids. Brick, stone trim.

Lodge Building (addition), \$18,000, Mt. Carmel, Ills. Archt., Harry E. Boyle and Co., Furniture Bldg. Owner, Loyal Order of Moose, Mt. Carmel, Ill. Plans in progress. Brick, steam heat, will include gymnasium and club rooms.

*Church (addition and remodeling), \$20,000, Mt. Vernon, Ind. Archt., Harry E. Boyle and Co., Furniture Bldg., Evansville. Owner, Methodist Church, Mt. Vernon, Ind. Plans in progress. Ready for bids about September 10th. Brick.

*City Hall (addition), \$50,000.00. Archt., Russ and Karges, Furniture Bldg. Owner, City of Evansville. Plans nearing completion. Owner will advertise for bids soon. Brick, steel stairs, terrazzo work, steam heat, comp. roof.

*Bank Building: \$60,000.00, 2 sty. & bas., 100x7.1x16x14, Eldorado, Ills. Archt., Harry E. Boyle and Co., Furniture Bldg., Evansville. Owner, First National Bank, C. V. Parker, Pres., Eldorado, Ill. Archt. taking bids to close August 30th. Brick, 3 concrete vaults, vault door, steel stairs, safety deposit vault, comp. roof, steam heat.

Duplex Apartment (rem. from residence). Archt., Harry E. Boyle & Co., Furniture Bldg. Owner, C. A. Rumpf, 1926 Riverside Ave. Plans in progress.

Duplex Apartment (rem. from residence). Archt., Harry E. Boyle and Co., Furniture Bldg. Owner, Louis Mayer, 40 West Washington St.

Contracts Awarded.

*Residence: \$20,000.00. Archt., Clifford Shopbell & Co., Furniture Bldg. Owner, Harry G. Newman, plumber. General contract let to Chris Kanzler and Son, Evansville; heating and plumbing owner does.

*Residence: \$8,000, Haubstadt, Ind. Archt., Clifford Shopbell and Co., Furniture Bldg., Evansville. Owner, A. J. Lynn, Haubstadt, Ind. Excavating.

FT. WAYNE.

*Stores and Offices: \$70,000. Archt., Chas. Weatherhogg, 405 Citizens Trust Bldg. Owner, Brown-Cooper, Utility Bldg. Bids in, expect to

award contracts soon. Brick, 4 sty. and bas. 3 baths). Archt., Pohlmeier and Pohlmeier, 303 Central Bldg. Owner, Walter T. Shephard, Secy. Lincoln Life Insurance Co., Lincoln Life Bldg. Archt. receiving bids.

Garage (for taxi cabs), 1 or 2 sty. & bas., 250x150, cor. Main and Fulton Sts. Archt., Chas. R. Weatherhogg, Citizens Trust Bldg. Owner, Yellow Cab Line, James E. Ford, Treas., Douglas & Harrison Sts. Plans in progress. Brick, reinf. concrete and steel, comp. roof, steam heat, concrete floors, steel sash.

*Residence: \$75,000, 2 sty. & bas., 100x36. Archt., Clarence Levy, 509 Bass Bldg. Owner, G. Irving Latz, Pres., Wolf and Dessauer Co. Plans in progress. Frame, vapor heat, tile roof, hardwood and tile floors.

Residence (for physician), 2 sty. and bas., 70x35, New Haven, Ind. Archt., J. M. E. Riedel, Noll Bldg., Ft. Wayne. Owner, Dr. Cowen, New Haven, Ind. Plans in progress. Brick, Spanish tile roof, terrazzo floors, vapor heat, hardwood floors, will contain office, operating rooms, laundry, waiting room and 3 car garage.

*Residence and Garage: \$60,000, 2 sty. and bas., 88x66 and 40x50, Forest Park Addition. Archt., J. M. E. Riedel, 305 Noll Bldg. Owner, G. Max Hofman, 1118 Calhoun St. Plans in progress. Stucco and frame, tile roof, steam htg. plant, marble and tile work, vacuum cleaner, hardwood floors.

*Church: \$150,000 (Sunday School, auditorium and social rooms), area of site, 150x155, Fairfield and Berry. Archt., Guy Mahurin, 500 Lincoln Life Bldg. Owner, Plymouth Congregation, Rev. Arthur J. Folsom, pastor, 120 East Tabor St. Plans in progress.

*Church (add.), \$50,000, Cottage and Indiana Ave. Archt., Guy Mahurin, 500 Lincoln Life Bldg., Ft. Wayne. Owner, So. Wayne Baptist Congregation, L. C. Yapp, Chmn. Bldg. Comm., 1150 Packard Ave. Owners financing, probably mature this fall. Brick.

Store Building (Hardware store, offices and warehouse), 3 sty. and bas., 41x114. Archt., Leighton Bowers, 433 Utility Bldg. Owner, Hildebrand Hardware Co., 2036 Broadway. Excavating. Plans nearing completion. Brick, steel, steel sash, comp. roof, furnaces (for heating), freight elevator.

Residence: \$12,000, 2 sty. and bas., (7 rooms), Kinsmore Ave. Archt., Leighton Bowers, 433 Utility Bldg. Owner, H. W. Ginty, 618 East Jefferson St. Ready for bids shortly. Brick veneer, asphalt shingle roof, furnace heat.

Garage: 1 sty. and bas., 50x130. Archt., Leighton Bowers, 433 Utility Bldg. Owner, name withheld for present. Plans in progress. Brick walls, steel sash, concrete floors.

Residence: \$7,500, 1 1/2 sty. and bas., Kinsmore Ave. Archt., Leighton Bowers, 433 Utility Bldg. Owner, C. F. Somers, 1428 E. Lewis St. Archt. taking bids. Frame, asphalt shingle roof, furnace.

*Residence and 2-Car Garage: \$20,000, Harrison Hill Blvd. and Cornell Circle. Archt., Pohlmeier and Pohlmeier, 303 Central Bldg. Owner, Dr. M. B. Thompson, % Ross College of Chiropractic, West Jefferson St. Plans in progress, mature this fall. Pressed brick, tile roof.

Salesroom and Garage: \$80,000, Superior St. Archt., Pohlmeier and Pohlmeier, 303 Central Bldg. Owner, name withheld for present. Plans in progress. Reinf. concrete floors and roof constr., steel sash, 2 sty. and bas., 90x150.

*Residence and Garage: \$30,000, (10 rooms and

3 baths). Archt., Pohlmeier and Pohlmeier, 303 Central Bldg. Owner, Walter T. Shephard, Secy. Lincoln Life Insurance Co., Lincoln Life Bldg. Archt. receiving bids.

Residences (3), 2 on Sherman, 1 on Margaret), \$7,000 each. Archt., Clarence Levy, 509 Bass Block. Taking bids. Frame and stucco. Owner's name withheld.

Residence: \$7,000. Archt., Henry C. Schnoor, 401 Noll Bldg. Owner, F. H. Schoppman, 1715 California St. Archt. receiving bids. Frame, asphalt shingle roof, furnace.

Sunday School Building: Owner, First Evangelical Church, George Gunder, Chmn. Bldg. Comm., 1618 Columbia Ave. Contemplated.

Drain: Board of County Commrs., A. W. Grosvener, taking bids to close Sept. 11 at 2:00 P. M., for the following: 7 concrete manholes, 4020 lineal feet of 10-inch sewer, 186 ft. of 6-inch branches of 10-inch sewer.

*School: \$42,000, 2 sty. and bas., Sidney. Archt., Griffith & Goodrich, 211 E. Berry St., Ft. Wayne. Owner, Alpheus B. Ulrey, Twp. Trustee, Sidney. receiving bids to 2 P. M., September 16. Face and common brick, stone trim, compo. refg., steam heat, plumbing, electric wiring, struct. steel.

Schools: (1 new grade building and remodeling and additions to several schools), Ft. Wayne. Archt., Griffith and Goodrich, 211 East Berry St. Owner, Board of School Trustees, Byron H. Somers, Pres.; Henry J. Bowerfind, Secy., Ft. Wayne. Preliminary plans in progress. Brick.

*School, Washington Twp., Piercetown, Ind. Archt., Griffith and Goodrich, 211 East Berry St., Ft. Wayne. Owner, Archibald J. Menzie, trustee, Piercetown, Ind. Owner taking bids to close September 7th. Brick, hollow tile partitions, steel lumber, iron stairs, 5-ply roof, metal skylight, steel sash.

*Orphan's Home: \$60,000, 2 sty. and bas., 68x38, 6 miles west of LaGrange, Ind. Archt., A. M. Strauss, 705 Shoaff Bldg., Ft. Wayne. Owner, Board of County Commissioners, LaGrange, Ind. Owner receiving bids to close September 5th.

*School (Alt. and Add.), \$60,000, "Nebraska School." Archt., A. M. Strauss, 705 Shoaff Bldg. Owner, Board of School Trustees, Byron H. Somers, Pres.; Henry J. Bowerfind, Secy., Ft. Wayne, revising plans, will probably not ask for bids until about December 1st. Brick.

Apartment Building (rem.), 4 Apts. Archt., A. M. Strauss, 705 Shoaff Bldg. Owner, Louis Novitsky, 1106 Erie St. Plans in progress. Frame, vapor heat, shingle roof, 4 baths.

Bank (rem.) and 2 apartments: \$25,000, Ligonier, Ind. Archt., A. M. Strauss, 705 Shoaff Bldg., Ft. Wayne. Owner, Citizens Bank, Ligonier, Ind. Plans in progress. Brick, steam heat, bank fixtures, marble work, tile work and general alterations.

Residence and Garage: \$30,000. Archt., A. M. Strauss, 705 Shoaff Bldg. Owner, W. K. Noble, Jr., % Noble Machine Co., 902-24 Hayden St. Plans in progress. Brick, tile floors, 3 baths, vapor heat, vacuum cleaner.

Residence and Garage: \$75,000. Archt., Guy Mahurin, 500 Lincoln Life Bldg. Owner, Henry Paul, Pres., Ft. Wayne Engineering and Mfg. Co. and Pres. of the Old National Bank. Archt. selected. Terre cotta.

Grade School: \$250,000, 1 sty. and bas., "Mcullough School." Archt., Guy Mahurin, 500 Lincoln Life Bldg. Owner, Board of School Trustees, Byron H. Somers, Pres.; Henry J. Bowerfind, Secy. Plans in progress. Brick.

(Continued on Page 11)

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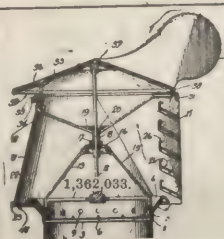
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INDIANAPOLIS

*Masonic Temple: 2 sty. and bas., Angola, Indiana. Archt., Guy Mahurin, 500 Lincoln Life Bldg., Ft. Wayne. Owner, Masonic Lodge; Alfonso Wood in charge, Angola, Ind. Plans nearing completion. Ready for bids in two weeks. Brick.

*Mizpah Temple: \$300,000. Archt., Guy Mahurin, 500 Lincoln Life Bldg. Owner, A. A. O. N. M. S. Mizpah Temple, Chas. A. Meigs, illustrious Potentate. Plans in progress. Brick. "Arabic design." Financing, mature this fall.

*Church (Sunday School and Auditorium). 2 sty., 118x66 and 56x97. Archt., Guy Mahurin, 500 Lincoln Life Bldg. Owner, New Congregational Church; Wm. J. Hess, Chmn. Bldg. Comm. Plans in progress. Brick.

Contracts Awarded.

Store and 3 Apartments: \$20,000, Delaware & Ky. Archt., Pohlmeier & Pohlmeier, 303 Central Bldg. Owner, Wm. Messerschmidt, 1113 Delaware St. General contract let to Buesching and Buesching. Excavating, Brick.

Garage and 3 Stores: \$50,000, 1 sty. and bas. Archt., Griffith and Goodrich, 211 E. Berry St. Owner, J. Metzner, Pres., Eagle Laundry Co. General contract let to J. F. Gumpfer, 614 Home Ave. Brick.

*Residence: 2 sty. and bas., 40x40. Archt., Guy Mahurin, 500 Lincoln Life Bldg. Owner, James Barrett, Shoaff Bldg. General contract let to Oscar Springer. Brick veneer.

*Church: \$60,000. Archt., Chas. R. Weatherholtz, Citizens Trust Bldg. Owner, Third Presbyterian Church. General contractor, Indiana Engineering and Construction Co.; heating let to Hattersley Co.; plbg. let to Albert Rolf; wiring let to Dix-Kelly Co. Clearing site.

*Lodge Building: \$20,000, Roanoke, Ind. Archt., Leighton Lowers, Utility Bldg., Ft. Wayne. Owner, I. O. O. F. Lodge, Roanoke. General contract let to L. H. Benjamin, Roanoke, Ind. Excavating done by owner. Start work soon.

Store: (rem.), \$10,000. Archt., Pohlmeier and Pohlmeier, 303 Central Bldg. Owner, A. M. Hostman, 715 Harrison. General contract let to Earl Snouffer, 430 Washington Blvd.

*Residence and 2-car Garage: \$30,000. Archt., Guy Mahurin, 500 Lincoln Life Bldg. Owner, L. L. Smock; general contractor, Albert Weinmann, 807 W. Creighton Ave. On foundation.

Residence: \$10,000. Archt., Pohlmeier and Pohlmeier, 303 Central Bldg. Owner, William Byers, Foundation in. Pressed brick.

*Residence: \$9,000 (double). Archt., Henry C. Shoop, 401 Noll Bldg. Owner, Ed. Gelschlager, Ft. Wayne Plbg. and Htg. Co. Foundation in.

FRANKFORT.

Residence: \$10,000, 2 sty. and bas., 49x61. Archt., Rodney Leonard, Peoples Life Bldg. Owner, Highland Park Realty Co., Thomas Ryan, 900 Peoples Life Bldg. Plans in progress, ready for bids shortly. Frame, furnace heat, asphalt shingle roof.

*School: 1 sty., 54x31, Jefferson Twp., near Krypton, Ind. Archt., Rodney Leonard, Peoples Life Bldg., Frankfort. Owner, J. H. Ferguson, Trustee, Krypton. Temporarily inabeyance on account of the filing of a remonstrance.

Residence: \$7,000, 2 sty., 34x33. Archt., Rodney Leonard, Peoples Life Bldg. Owner, Sam Weaver, Millner Packing Co. Plans in progress. Ready for bids shortly. Frame, furnace, asphalt shingle roof.

Contracts Awarded.

*Schools (alt.) Archt., Rodney Leonard. Owner, Board of Education. Contracts let to Emshoff and Layton.

LAFAYETTE.

Park (alt., \$8,000. Archt., Nicol Scholer and Hoffman, Ross Bldg. Owner, Purdue State Bk. Taking bids, bank fixtures, decorating, tile floor and general alterations.

Contracts Awarded.

*School (consolidated), \$65,000, Pike Township, Jay County, near Portland, Ind. Archt., Nicol Scholer and Hoffman, Ross Bldg., Lafayette. Owner, George Carey, trustee, Portland. General contract let to Jesse Polinz, Portland, Ind.; heating and plumbing to Tibbett Heating and Plbg. Co., Union City, Ind.; electric work let to Hartford Electric Co., Hartford City.

MARION.

*High School: \$300,000.00, 2 sty. and bas. Archt., Harry G. Bowstead, Glass Bldg., Marion. Owner, Board of Education, A. E. Highley, Supt. Marion. Low bidder on general contract, Morrow and Morrow, Muncie, Ind. Work not started; will probably readvertise for new bids later this fall. Brick, fireproof construction.

MUNCIE.

*Jail (rem.), \$27,000. Archt., Houck and Smenner, 123 1/2 West Main St. Owner, Board of County Commis., Jos. P. Dragoo, Auditor. All bids rejected will receive another appropriation, and advertise for bids later this fall. New storage Bldg., laundry, new plumbing and heating systems, fireproofing.

*Fire Station (Bungalow Type), \$10,000. Archt., Houck and Smenner, 123 1/2 W. Main St. Owner, Board of Public Works, Mary E. Anderson, clerk, Muncie. Plans completed. Owner will advertise for bids soon. Brick and tile, tile roof, vapor heating system, tile floors and wainscoting.

PLYMOUTH.

*High School: \$300,000.00, 2 sty. and bas., 163x170. Archt., Ernest Young, 512 Dean Bldg., South Bend. Asso. Archt., Miller, Fullenwider and Dowling, 6 N. Michigan Ave., Chicago, Ill. Owner, Board of School Trustees, Jacob Schlosser, Pres., Plymouth, Ind. Low bidders on general contract, H. and B. Construction Co., Elkhart, Ind.; second low bidder, E. A. Carson, Logansport, Ind. Bids ran a little high, if figures can be shaved down the job will be let within the next few days, if not the owner will readvertise for new bids.

MISCELLANEOUS CITIES.

Covington: High School (addition), \$40,000. Archt., Liege and Ludwick, Danville, Ill. Owner, Board of Education, Covington, Ind. Plans in progress. Brick.

Monticello: Publishing Plant, \$50,000. Owner, Our Sunday Visitor, Rev. Monsignor P. F. Noll (Catholic Paper). Owner taking bids on a new building or a 4-story addition to present building.

South Bend: Agricultural Building, \$100,000. Dormitory, \$150,000. Commerce Bldg., \$150,000. Archt. (Asso.), John P. Heffernan, 169 High St., South Bend. Owner, Notre Dame University, Rev. Joseph R. Burns, Pres., South Bend. Preliminary plans in progress. Owners are financing. Brick.

Contracts Awarded.

*Vincennes: Church, \$18,000, 1 sty. and bas., 39x74. Odon, Ind. Archt., L. H. Osterhage and Byron Sutton, Citizens Trust Bldg., Vincennes. Owner, Methodist Congregation, J. A. McCoy, Pastor, Odon, Ind. General contract let to Petersburg Home Building Co., Petersburg, Ind. Brick.

Bedford: Portable School (1 room), \$1,674.00, Shawswick Township. Owner, W. E. Alexander, trustee, Bedford. Contract let to Kurman Brick and Erupt. Co., Hume Mansur Bldg., Indianapolis. Frame.

Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field.

Copy should reach us, at the latest, Wednesday of the week of publication.

SCHOOL HOUSE NOTICE TO CONTRACTORS

Bids will be received by the Board of School Trustees of the City of Madison, Indiana, at the office of S. J. Bear, president of the Board, at 309 E. Main street; Madison, Indiana, until

two o'clock P. M. of September 16, 1922, for the construction of, and the heating, plumbing and electric wiring installations in a new grade two story and basement brick school building, to be erected on the site of the present Lower Seminary School on Main street in said city of Madison, Indiana, in accordance with the plans, drawings and specifications heretofore adopted therefor by the said Board.

Said plans, drawings and specifications will be on file on and after August 21, 1922, in the office of the President of the Board of Madison, Indiana, and releases will be made to bidders from the office of Herbert Foltz, Architect, 843 Lemeke Annex, Indianapolis, Indiana, on and after said date. The estimated cost of the building complete without furnishings and equipment is \$95,000.00.

Proposals to be entitled to consideration shall be made in accordance with the following instructions:

(a) Proposals shall be made according to the form attached to the specifications, which is form No. 86, adopted by the State Board of Accounts, with all blank spaces properly filled in, and each shall be delivered in a sealed envelope addressed to the Board of School Trustees, Marked "PRCPCSA," bearing the title of the work and the name of the bidder.

(b) Proposals will be considered singly, or in any combination on the following branches of work: 1. General construction. 2. Steam Heating and Ventilation. 3. Electric Wiring and Fixtures. 4. Plumbing, Water Supply and Sewage Disposal.

(c) Each proposal must be accompanied by a certified check, payable to the School City of Madison, Indiana, in a sum equal to three per cent (3%) of the amount of the proposal, in accordance with conditions included in the Proposal Form, which check shall be forfeited as liquidated, fixed and agreed damages in case of failure of any bidder to enter into a contract within eight (8) days after notification of acceptance of his proposal in accordance with the plans and specifications on file with sufficient surety to the approval of the Board for the faithful performance thereof. The Board reserves the right to accept any or to reject any or all proposals, and when the contract or contracts are let, checks of unsuccessful bidders will be returned to them.

(d) A deposit of ten dollars (\$10.00) will be required of prospective bidders for drawings and specifications for each branch of work taken from the office of the Architect, which amount will be returned in full in case the following two conditions are complied with, viz: (1) The return of the drawings and specifications within eight (8) days from the date of their release to the bidder, and (2) The delivery to the Board of a bona fide proposal at the time and place fixed for receiving bids. Should the bidder fail in the observance of either of these conditions, he shall be entitled to a refund of five dollars (\$5.00); should he fail in the observance of both conditions, he shall forfeit the full amount of his deposit. All refunds shall be conditioned upon the return of the drawings and specifications complete and in good order to the office of the Architect.

(e) Requests from sub-contractors for drawings and specifications should be made to bidders on the major contracts.

(f) Each bidder shall either stamp or mark his name on the back of the drawings and the cover of the specifications used by him in preparing his proposal.

Dated at Madison, Indiana,

this 21st day of August, 1922.

SCHOOL CITY OF MADISON, IND.

By

S. J. BEAR, Pres.,

J. E. REED, Secy.,

W. C. ROTH, Treas.,

Board of School Trustees.

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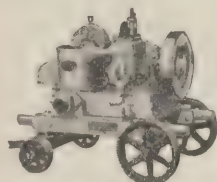
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Indiana Society of Architects

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BIG PART FOR ARCHITECT TO PLAY IN FIRE PREVENTION WORK.

The important role to be assumed by architects in fire prevention work, and the influence such determined effort on their part will have in the end, was discussed recently at the A. I. A. convention at Chicago, by Miss Lloyd Marshall, chairman of the Committee on Schools, Hospital and Penal Institutions of the National Fire Prevention Association. Her remarks, given below in part, were enthusiastically received and make a noticeable impression upon the assembled architects from all parts of the country.

"Though I am not an architect, nor an engineer, still I have a message for you.

In the great organization, the National Fire Protection Association, which has done so much towards decreasing fire hazards and spreading the knowledge of fire safety, I have a committee which I think is a very strong one because two architects are on it. We are spreading correct knowledge about how to lessen fire dangers in schools, hospitals, asylums, and all kinds of institutional buildings and how to safeguard the lives of children and the helpless in those buildings. I have great respect for your profession; you can build beauty, you can educate the public as no other artists can for your gallery is all out doors, through you, in time, America can stand in art where she now stands in civic government.

But what satisfaction is it to you to build wonderful structures, to make great reputations on State Houses, hospitals, schools, and national buildings, when all the skill, experience and knowledge which it takes years to acquire and months to execute into permanent form can go down in ruins in a matter of minutes?

For these fires we are having today are destroying the work and dreams of the architects of yesterday. Some will say that many of the buildings that burn are not the work of great masters, that it is even well to have them burn. We all grant that—but how about the lives of dependents in those buildings that are burning this year, last year and the year before? We have a real need for the buildings that are burning—it is always

waste to the community as well as to architectural America to have them go, but the lives of men, women and children are far greater than the economic side of the question or even the art side.

When I was told recently by the National Board of Fire Underwriters that there is an average of six fires a day in schools, five a day in churches, eight daily in club and association buildings, eight fires a week in hospitals, four a week in penal institutions, and six a week in administration structures, I know that we all agree that something is wrong, and that something comes right back to the architects, engineers, Fire Prevention people and politicians.

And there is something the matter with the layman and woman on Boards of Education, Hospital Boards, or advising about funds of any such buildings who is told these startling facts and yet asks architects to get the *cheapest* kind of protection, or that better janitor service is needed, or fire escapes because they are reasonable and give a certain amount of safety, or that *nothing* is needed because the building is of brick and the occupants have efficient fire drills, or any other such archaic beliefs. And many still believe in just these things.

When we remember the record of fire in brick, stone, steel and concrete buildings we know that all the knowledge and all the safety devices which we have are needed to save them from destruction in fires.

We should always talk protection of vertical openings, the need for absolute safety around heating apparatus, the efficacy of automatic sprinklers, smokeproof, fireproof stairs, hand extinguishers and all other like measures that will promote safety. And we should talk them *hard* and talk them to everyone.

When I heard just recently a member of The Public School Association of one city say that certain promised safety guards for hazardous schools had been denied because this is election year in that city and expenses had to be kept down, I realize that big men and women in and out of politics must fight for school safety no matter whom it hits.

There are many bad conditions that must be *smashed*. The general public does not know the real facts. The Fire

Prevention people are trying to tell as many as possible, but the architects must also be determined and brave enough to take a positive stand for safety for the buildings they build and remodel, or the terrific loss will continue to go on, with continued loss of life. We talk and educate, but the architect must *act*.

I believe in the power which you architects of the country have and which you can use to control unsafe conditions if you only will stand for safety. Even new, modern, "fireproof" buildings are daily being destroyed by fire, as you well know. Only you can change this condition to a permanent one of safety; only you yourselves can stand for the highest form of fire protection and insist upon using the greatest means for making your buildings safe. With the architects wide awake to and determined to fight the unsafe conditions as they are now permitted to exist, I believe that in ten years from now we will not have such a terrific rate of destroyed property."

ENGINEERS STATE BUILDING CODE COMMITTEE REPRESENTED IN INDIANA ENGINEERING SOCIETY.

Recently in referring to a joint meeting of committees of contractors, architects and engineers for the purpose of taking preliminary steps for the formulation of plans to get things started which, it is hoped, will result in the establishment of State Building Code, the engineers' committee was credited to the Indianapolis Chapter, American Association of Engineers. This was an error, the committee was from the Indiana Engineering Society, who is heartily endorsing the State Code move.

The Indiana Engineering Society's committee, appointed by President, Dean A. A. Potter, Purdue University, West Lafayette, consists of Chairman De Witt V. Moore, Indianapolis; Secretary, Indiana State Board of Registration for Professional Engineers and Land Surveyors; W. A. Knapp, Lafayette, Professor Structural Engineer, Purdue University and Walter H. Scales, Indianapolis of the architectural firm of Batchelder & Scales.

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Associated Building Contractors of Indiana

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ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller.....President
Ralph E. Seiffer.....Secretary

Office of Secretary, 411 Sycamore St.

EVANSVILLE'S BUILDING COMPARES FAVORABLY WITH OTHER INDIANA CITIES HER SIZE.

While the figures pertaining to Evansville's building activity during the season of 1922 do not reach the proportions that have been attained in some Indiana cities, nevertheless, they compare favorably with the returns from Hammond, Gary and Terre Haute recorded for the period beginning January 1st and ending August 1st, 1922. During that time there were issued in Evansville 1072 permits for an estimated valuation of \$1,321,174 as against 795 permits for \$709,095 for the same period last year. This was a gain in 1922 of 277 permits and \$612,079 in valuations, or a gain of 86.7% in the latter.

Evansville, it must be remembered, has had no really large building projects put over this season the bulk of the building volume being confined to residence work which makes her building figures really remarkable. If there was one thing needed most in Evansville it was residences and the present season's building construction activity went a long way to fill that need.

The great number of dwellings erected took care of the employment problem of building trade mechanics and thus the city was able to hold these men and keep her supply near normal. Though small this class of work was big in volume and enabled the contractors to keep busy and maintain their organizations. All in all the local building season has been a good one despite the lack of big projects being started.

EFFECT OF BUILDING IN SOUTHERN INDIANA HAS AN INFLUENCE IN EVANSVILLE.

Just beyond Evansville and Vanderburg county the building business in "the Pocket" has been good and has meant much to Evansville's contractors and material supply houses. Mt. Vernon, Princeton, Petersburg, Booneville, all county seats of adjacent counties did some building, drawing on Evansville both for contractors and building materials. Then, too, there were any number of township schools erected in the southwestern section of the state, to say

nothing of the erection of country residences, store and other buildings in the smaller communities, all of which made their effect felt in Evansville's building business circles. On the other hand there was also considerable building in southern Illinois that gave of its share to Evansville building interests.

THINGS MOVING ALONG QUIETLY WITH NO STARTLING DEVELOPMENTS.

While there was nothing big of interest that developed in Evansville building construction circles last week most of the contractors were kept busy figuring contemplated projects and all the local architects are active in the preparation of plans for future work. Most of the contractors are now bent on completing their work on hand or getting it under cover before Fall. Some are looking forward to a revival of building about that time, or, at least when folks get back from their vacations.

ANOTHER GAIN OVER A YEAR AGO.

Bank clearings through the Evansville Clearing House Association last week were: \$4,108,308.98 as compared to \$3,730,608.94 the corresponding week in 1921.

The increase was \$377,700.04.

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Member State A. B. C.

Max Irmscher.....President
Eph Dailey.....Secretary
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Phone 2001

BUILDING ACTIVITY IN FT. WAYNE BESPEAKS CITY'S EXPANSION.

More building activity is now going on in Fort Wayne than in any other city of similar size in the country, and the volume exceeds that in many of the larger cities. Residence building is unprecedented and never before in the history of the city have there been as many big business building projects under way as at the present time.

Work is now in progress on two magnificent new buildings for Fort Wayne, each to cost \$1,000,000. They are the new First National bank building on West Berry street, between Calhoun and Harrison and the new Lincoln Life building at Harrison and Douglas. The First National bank building will be a banking home and office building; will be twelve stories high and will be the tallest build-

ing in the city. The Lincoln Life Insurance building will be a monument of beauty to the city and one of the most handsome of insurance company home offices in the land.

Then also the construction work is now in operation on the huge truck manufacturing plant of the International Harvester company, which alone if there were no other extraordinary activity going on in Fort Wayne would mean a significant stimulus to the city.

There are several other big projects under way, among which is the million dollar south side high school.

This brief summary makes no pretense at being exhaustive. It has touched only a few of the high spots in the building program. Scores of other projects, not so pretentious, of course, are under way.

It is evident that when all the construction activities now going on in Fort Wayne are glanced at as a whole, that this city has under way a building program of tremendous volume, signifying the entrance into a period of unprecedented expansion, growth and prosperity.

QUITE A CHURCH ADDITION NOW UNDER CONSTRUCTION.

Last season local churches did considerable building, the amount of money spent running into several hundreds of thousands of dollars, then came a respite though there were more church edifices contemplated.

Now the Third Presbyterian Church has decided on extensive remodeling and has placed the contract for this work with the Indiana Engineering and Construction Co.

The remodeling started last week will consist of three additions, one on the east side along Harrison street, one on the south along Taber street and the third in the rear of the church. The general contract for the work is estimated to cost \$40,000 and the entire project, with the sub-contracts for plumbing, wiring and the like, will probably amount to \$50,000 or over.

UNUSUALLY LARGE BUILDING VOLUME WELL CARED FOR.

Nice progress is being made on all local building projects from the large bank and office buildings clear down to the homes of moderate cost. There has been little delay in construction operations though at times mechanics in certain lines were scarce. However, the Builders' Exchange has kept a close check on the employment situation and has aided in keeping the various contractor members supplied. A little co-operation and concentration in the ranks of the contractors has done much to take care of the unusually large building year Ft. Wayne has experienced.

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Member State A. B. C.

F. W. Jungclauss.....President
C. C. Pierson.....Secretary
320 Peoples Bank Building

MEETINGS.

Executive Committee meets second Tuesday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

Mason Contractors Association meets every Thursday—1 P. M.

General Contractors meet second Friday each month.

PLANS ON FILE.

At 320 Peoples Bank Building,
Indianapolis.
None this week.

WAIVER OF LIEN.

None filed with Marion County Recorder this week.

INDIANAPOLIS BUILDING ACTIVITY PILING UP FIGURES FOR ANOTHER RECORD YEAR.

The unusual building construction activity which has been the order in Indianapolis month after month during the progress of 1922 has piled up both permit and estimated valuation totals that, under present indications, can not help but outstrip all building records that have ever been recorded by the city building inspection department. The 1921 figures, the best on record, were closely approached by the operations transacted during the first seven months of 1922, while the entire total estimated valuation, \$15,284,119, for the year of 1920 has already been surpassed to the extent of \$158,561 by the building operations up to August 1st, 1922.

The building figures for Indianapolis for the current year, together with the gains over the corresponding period in 1921 are set forth below:

Month	Per.	Est. Val.
January	403	\$ 580,706
February	576	1,170,398
March	1218	2,065,051
April	1692	2,566,389
May	1798	3,420,847
June	1323	2,289,941
July	1163	3,349,348
7 months, 1922	8173	\$15,442,680
7 months, 1921	5867	10,958,965
Gain to date	2306	\$ 4,483,715

The total estimated valuation of building construction work in Indianapolis, for which permits were granted during 1921, was \$18,328,965. As against these figures, the total estimated valuation of new building for the first seven months of 1922 in Indianapolis is \$15,442,680 or to within \$2,886,285 of the entire total for the year of 1921.

Since 1921 set a record for new build-

ing construction in Indianapolis and the 1922 figures have crept up so close to last year's totals with a good prospect for a continuation of the great activity that has marked this year's operations there is every indication that 1922 will see even a greater record established, in fact, there are a couple of projects in sight that, if permits are issued on them before September 1, will make a total for the first eight months of 1922 that will send the high record of 1921 into the discard.

PAYS REAL DIVIDENDS.

When an association's members work for the association, rather than lie back and expect the association to do all the work that they may reap the benefit at the expense of minimum effort, the organization thrives, not only that, but it demonstrates its success through the loyalty and enthusiasm of its members.

No better example of the truth of the above is to be found than in the Mason Contractors' Association at Indianapolis. In that organization is to be found live interest, real co-operation, good fellowship, sociability and loyalty. The success of this body of contractor employers is marked year after year in its dealings with labor, seldom a ripple arising to disturb the reaching of satisfactory working agreements and wage scales, both to the employer and the employee. The interest of the members is marked by the regularity of the meetings and attendance at same, and concerted action on points of vital importance bespeaks the spirit of co-operation with which the association breathes, a spirit that even extends to dealings with other contractor employer organizations.

Last but not least, comes the good fellowship and sociability that can not help but make the morale of an association strong. Well, the masons are strong in those two sterling attributes, as is clearly demonstrated by the eagerness with which they look forward to their annual outing and bend their efforts to make it a success. This picnic, now a regular institution in the life of the masons' association, has aroused a new organization interest, that of the wives and children who through acquaintanceship have become really an auxiliary, and indirectly are good boosters for the association. This family interest is a real asset and to see the membership and their families gathered together in one big jolly crowd one would never suspect the men folks of being keen business competitors.

Spirit such as the Indianapolis mason contractors are displaying is what makes an association worth while.

TWO MORE GOOD PROSPECTS.

Some weeks are quiet, only medium building projects cropping out; others develop some nice business, there are a few devoid of interest, while others bubble with promise. The past week, while not bursting with a flare to attract attention did give promise for the future. Word was received at the city building inspectors office of the prospect of the application for two large permits, one for an extensive apartment house on the north side and the other for a big business structure on Ohio street. A few more like these two prospects and the

fall building business aided by the continued residence construction activity will keep things moving nicely.

STEADY GROWTH OF INDIANAPOLIS WILL IMPRESS VISITORS THIS SEASON.

State Fair visitors to Indianapolis are going to see quite a change in the city this year on their annual visit, due to the great building activity that has taken place this season. The large downtown projects started earlier in the year are rounding into form that will rearrange the old sky-line. The northeast corner at Illinois and Washington streets, is now graced with the steel frame work for the new 12 story Roosevelt Building, which is to supplant the small buildings that formerly stood there. Just around the corner the concrete frame work has been completed for the nine story Guaranty Building, at the Circle and Meridian streets, while farther up the latter street looms the steel frame work of the home of the new Indianapolis Athletic Club. Out on Massachusetts avenue, the Murat Theatre addition is nearing completion. Down near the Union Station the big Parcel Post Depot is about fifty per cent completed. Up on the north side the fair visitors will find a big change in that much of the vacant land has been studded with hundreds of new homes.

BUILDING PERMITS.

(\$4,500 and Over Week of August 17th to August 24th).

Residence: \$8,500. 52 West 42nd St. Owner, Theo. Sander, 401 Orange St. Owner builds.

Residence (double) \$8,500, 4123-25 College. Owner, Louis Beck, 372 So. Meridian St. General contract let to Gale Constr. Co., 2117 Kale St.

Residences (2) doubles, \$8,000 each. 4923 College. Owner, P. V. Matkin, 306 Lombard Bldg.

Residence: \$10,000. 4340 College. Owner, Marie Moran, % contractor. General contract let to J. L. Holmes, 651 East 44th St.

Residence (double) \$8,200, 616-18 Eastern Ave. Owner, Chas. Eberle, 1802 So. Talbott. General contract let to Geo. Adrian, 4912 East New York St.

Residence: \$8,000. 3311 No. New Jersey. Owner, Jack H. Rhoades, 3515 No. Penn. St. General contract let to Harrell and Robb, 3136 Macpherson avenue.

Residence: (double) \$7,000. 1015-17 Fairfield. Owner, Jose-Kuhn Lumber Co.

Rectory (add.) \$6,500. 129 No. Oriental St. Owner, Holy Cross Rectory, 129 No. Oriental. General contract let to John Stritt, 250 No. Addison.

Residence: \$6,000, 401 Poplar Road. Owner, Frank Asher, site.

Residence: \$6,000. Double, 622-24 No. Colorado. Owner, Ernest Michaelis, at site.

Residence: \$5,000. 3231 No. Ills. Owner Frank B. Bremmerman, 1050 West 30th.

Residence: \$4,500. 18 East Raymond St. Owner, T. E. Grinslade, 203 Peoples Bank Bldg.

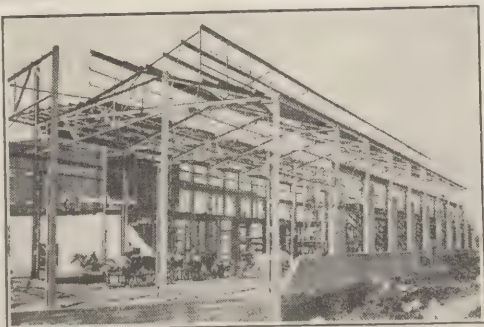
Residence: \$5,000. 1548 Villa Ave. Owner, W. A. Grady, 1528 Villa Ave. Day work.

Residences (3) \$5,000 each. 3542-25-29 Guilford. Owner, Jose-Kuhn Lumber Co.

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J. Wesley Reed President
E. E. Cole Secretary108 Citizens National Bank Bldg.,
Hammond, Indiana**MEETING NIGHTS**General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.**ADVOCATES NATION-WIDE ACTION**

The shortage of mechanics in quite a few of the building trades which has had a tendency to delay building construction operations to a certain extent and run up wages, thus increasing costs has caused nation wide discussion in an effort to seek some method by which to relieve the condition and prevent similar situations in the future.

Realizing that this is a problem of national character rather than one of just local significance Architect Bert D. Keck, of Grand Forks, N. D., touches ably on the subject in an article that appeared in the National Contractor for August. He says in part:

"I do not believe any one particular locality will get far in the movement for vocational training for apprentices in the building trades without a nation wide movement along this line, and every interest in the building industry should go into the matter; the Labor Unions, the contractors and the educators should take an active part in the encouragement of such a move; the subject should be discussed in the newspapers and magazines, and all builders' associations; it should be a nation wide movement.

"It can not be said we are spending too much money on our public schools, but we are not spending enough on vocational training. Steps should be taken by the State and Federal Governments to inaugurate some system to be included in the vocational training that would assure the training of building trades mechanics, such system to be under the authority and guidance of the State and Federal authorities through the various school officials.

"Every Contractors' Association should appoint a good committee whose duty it would be to formulate a definite plan and take it up with the School Boards and State Legislatures and push the proposition until some definite action would result that would eventually relieve the aggravating condition that now exists. Unless some such action is taken building labor costs will continue to mount and become even more excessive than at present under the growing scarcity of men, not only that but build-

ing operations will continue to be hampered. Further, if this matter is treated but lightly it will mean that the control of building construction operations will gradually fall into the hands of a comparatively few men. Perhaps there has been a great deal of harping on this subject, but, it is really of vast importance to the entire country."

MUST HAVE BEEN HOT.

Anyway, who cared to look at it? Over at the post office last week when the weather got so hot, in fact it almost blistered things, they took the thermometer inside to protect it.

OFF TO REST UP.

Everybody was saying "Good-bye, good-luck" to Secy. Cole last week end. Old vacation time had rolled around once more. Monday found things pretty well locked up around B. T. E. A. headquarters for the genial E. E. had jumped in "the old bus," "stepped on the gas" and slipped away to the banks of the Wabash, there to rest for a time, to fish, and forget care, turmoil and strife.

CALUMET BUILDING PROGRESS.

Mac Turner, Archt., is preparing plans for Mr. Tajay for a two-story brick store and flat building 25x80 on East State street.

Geo. P. Pearson was awarded the contract to build a bungalow for Mr. Fens-temaker on the South Side, estimated to cost \$10,500.

Bates and Ahlborn have started the excavating for the Sewage Disposal Plant.

When bids were opened for the construction of the Maywood Park Shelter House, Herald and Laverton were found to be low on the general contract.

E. E. COLE.

MUNCIEAssociated Building Contractors
Member State A. B. C.Chas. Rowe President
J. A. Gallivan Secretary

314 Main Street

DIVIDED AGAINST ITSELF.

Sometimes we wonder why it is everything can't be patched up between the contractors and the Unions and things can't be made to go smoothly to a rattling, big, uninterrupted building year. However, that would be too good to be true, and if such was to come about we would probably worry for fear someone would wake us up to end a happy dream.

One reason why such a utopian condition can not exist is called to our attention by what is transpiring at Cleveland where, according to information the Unions themselves are at loggerheads over a jurisdictional dispute issue.

The Cleveland Federation of Labor is erecting a new Labor Temple.

It would hardly be expected that labor troubles could arise on such an operation where all the union brothers might be expected to work together in harmony for the common cause.

The jurisdictional trouble regarding metal trim, however, has come up and we understand that the sheet metal workers have struck the job.

This may lead to more serious complications in the near future and the proceedings are being watched with considerable interest.

To have a labor temple lying idle in a half finished state of completion would prove conclusively that there is very much wrong with the principles and policies of organized labor.

AND MUNCIE HAS DONE HER SHARE TO MAKE THE RECORD GREAT.

Think what might have happened this year, IF, yes the constantly annoying if is always creeping in, there had been no labor trouble. Despite the impediments that have been thrown in the way of building construction the fast flying year of 1922, month after month, is hanging up building records that in the aggregate is going to make a real mark for the building industry, in the years to come, to shoot at.

As the reports come filtering in from all over the country one is impressed with the enormity of the 1922 building construction operations. In this performance Indiana has played a big part which is gratifying to all those engaged in building, for she has more than held up her end in contributing her share to this great volume of building construction activity. Indianapolis and South Bend have taken high rank amongst the cities of the country noted for their unusual operations, while Ft. Wayne, too, has made an enviable record.

Muncie in her way, considering her size, has added materially to Indiana's building total, in that it is one of the largest, if not actually the best, building year she ever experienced.

MORE NEW HOUSES BUILT IN MUNCIE THIS YEAR THAN FOR SOME TIME PAST.

Speaking of construction activity in Muncie, the several big schools, normal school addition, Elks Temple and Jewish Synagogue were the big projects started locally this season and there is a possibility that still another large one, the new normal gymnasium, will be begun this fall to further add another notable piece of construction to this year's volume.

Of new residences Muncie has had considerable new work of that type and at present there is more of that class of work in progress than has been seen about the city in years. Most of these residences are of the moderate priced variety and are for sale purposes. They are of attractive design and will help a great deal in taking care of the housing problem.

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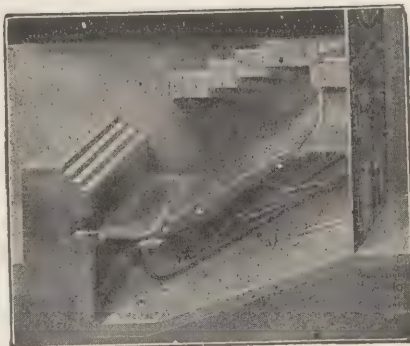
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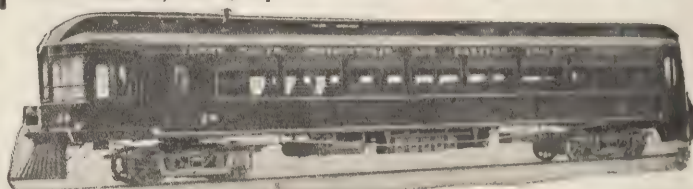
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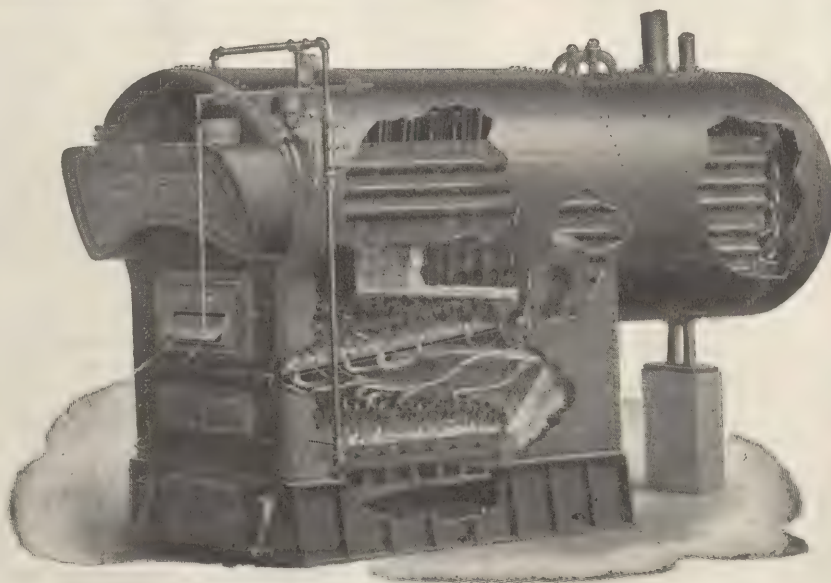
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Devoted to the
Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

VOL. IV

INDIANAPOLIS, INDIANA, SEPTEMBER 2, 1922

No. 22

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at the Post Office at Indianapolis, Indiana, under
the Act of March 3, 1879.

CONFERENCE DISCUSSIONS DE- VOTED TO BUILDING CON- DITIONS.

It was brought out in the discussions at the Fifth Monthly Conference of the Associated Building Contractors of Indiana, held at Terre Haute, August 24, that building conditions in the various cities about the State have resolved themselves into fairly favorable shape thus lending new impetus to building construction, making for an active fag-end of the season. In a few of the cities there have been adverse circumstances that have worked to the detriment of the contracting business, but on the whole matters appear favorable.

While the attendance at the most recent conference was somewhat disappointing in that not more cities were represented, nevertheless, the representative delegation of Terre Haute and the delegates from Kokomo, Lafayette and Vincennes made up in interest and enthusiasm what was lacking in quantity.

Marion sent her regrets, in the form of a telegram from C. C. Heinzman, at not being able to be represented because of the press of business. A letter was read from Secretary Eph Dailey in which Ft. Wayne also pleaded excess business as the reason for not having a representative in attendance. Ross Eshelman, Anderson's delegate was called to Indianapolis on important business just before the conference opened.

Henry Knauth, Vincennes, was named chairman of the conference with J. H. Owens, acting as secretary. Following the reading and approval of the minutes of the Lafayette conference, attention was directed to prevailing conditions that have been brought about more or less by the active co-operation of the contractors working through association effort. Mr.

Danner, speaking for Kokomo, said that a satisfactory state of affairs had been effected in his city and that there was no trouble experienced in putting across the building construction which at the present time is of the smaller type such as residences. Brick layers are being paid \$1.15 per hour except on the Pittsburgh Plate Glass plant where Stone and Webster of Chicago are paying their men \$1.35 per hour.

Lafayette, Jacob Evans acting as spokesman, reported things in good shape up to within a few weeks ago when the plasterers came out with a flat demand for a 25c per our wage increase which had a tendency to cool all building and caused a stoppage of most of the work. Some owners, however, insisted that their projects be completed and to that end are paying \$2.00 a day bonus for plasterers in addition to the \$8.00 the contractors are willing to pay. The contractors themselves have refused to advance wages and this, in many instances, has caused a shut down. This arbitrary stand of the plasterers has put a quietus on practically all prospective building this fall. The greatest effect fell at Purdue University where the Board of Trustees has ordered a complete stoppage on an elaborate building program that would have meant months of employment to the Lafayette building trades mechanics this fall and winter. This prospect for employment is now cut off all because the Lafayette plasterers made the exorbitant demand they did.

Next on the list came Terre Haute, for whom Guy Brill spoke announcing that everything went well in his community until outside contractors secured local work and in order to secure men ran the scale up from \$1.15 to \$1.25 per hour. This has had a tendency to create dissatisfaction amongst the other crafts. However, the Terre Haute contractors have stuck to the \$1.15 scale for bricklayers.

The most unsatisfactory situation revealed at the conference was depicted by Victor Knauth, Vincennes, who said he felt that possibly the condition prevailing in his city might extend to other localities and that it was time the contractors be aroused to what the future might develop. He said the conditions were probably due to the fact that most of the local building was running to residential work which had brought the lumber dealers not only in direct competition with contractors but the architects as well. The lumber yards had gotten out propaganda and spread it broadcast agreeing to take projects complete, elim-

inating both architects' fees and contractors' charges by furnishing plans free and executing the entire construction. The yards were selling to prospective builders at the same quotations made to contractors. The result had been that the contractors had found it almost impossible to do work against such competition. In concluding, Mr. Knauth, advised the contractors to give considerable thought to the methods that had been thus employed by the Vincennes lumber interests as a spread of such over the state would have a demoralizing effect on the contracting business.

The attention of the delegates was then called back to wage scale matters when R. H. Jenkins, Terre Haute, introduced a resolution favoring the conference going on record as being opposed to any member of the State A. B. C.'s operating within the jurisdiction of another member association, raising the scale of wages paid in that territory by offering a bonus or otherwise. This was seconded by Guy Brill, Terre Haute, and then was unanimously carried.

Just previous to adjournment the invitation extended to hold the next conference in Vincennes was accepted, the date of same being left to the convenience of the Vincennes A. B. C.'s.

As a wind up to the afternoon's session the visiting contractors were entertained at a dinner at the Filbeck Hotel, being the guests of the Associated Building Contractors of Terre Haute.

Those present were: E. L. Danner, Kokomo; Jacob Evans and G. C. Goodhart, Lafayette; J. H. Owens, Indianapolis; Henry Knauth, Vincennes; W. R. Bergman, G. F. Brill, F. A. Burget, William Caton, D. Donham, E. B. Dooley, J. W. Freitag, H. L. Glavecke, William Greer, A. E. Hartman, Albert Hartman, R. H. Jenkins, Frank J. Kline, P. E. Kops, E. V. Miller, J. F. O'Connell, F. T. Ranahan, William Roberts, Jr.; J. W. Stanton, Harry Toelle, O. A. Toelle, J. R. Warner, Ed Wellman, E. W. Whitlock, E. J. Workman, all of Terre Haute.

KOKOMO A. B. C.'S LOSE MEMBER THROUGH DEATH.

Word has just been received at State A. B. C.'s headquarters announcing the death of Frank S. Nichols, Kokomo contractor. He was a member of the Kokomo A. B. C.'s and the State Association, taking an active interest in the local organization's affairs and was a regular attendant at the A. B. C.'s conferences up to within a month ago, when he suffered a stroke of paralysis.

(Continued on page 7)

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Mr. Nichols was formerly a resident of Flora, Ill., where he was engaged in contracting and also served a term as mayor. Two years ago, in casting about for a new field in which to operate, Mr. Nichols, after considerable inquiry and investigation, decided upon and moved to Kokomo.

When the contractors of Kokomo took up the matter of forming a local association Mr. Nichols fell in with their scheme at once and was one of the charter members of the Kokomo A. B. C.'s.

Messages of sympathy were sent by State A. B. C.'s headquarters both to the family of the deceased and to the Kokomo association.

News of the Week

The asterisk (*) prefix to an item indicates additional information to report published in previous issue.

INDIANAPOLIS.

Industrial Building: 2 sty. and bas., 243x51. "Home for Blind." Archt., Adolph Scherrer, Indiana Trust Bldg. Owner, Board of Industrial Aid for the Blind, 314 Penway Bldg. Owner receiving bids to close September 19th. Face brick, reinforced concrete floor and roof construction, hollow tile partitions, steel sash, oolitic limestone trim, steel doors, tar and gravel roof, tile sewage system, steam heat, 2 portable steel down draft boilers and smokeless cast iron boiler, hot water tank, radiators, plumbing. Will contain kitchen, rest rooms, lunch room, locker room, boiler room.

***Office Building and Printing Establishment:** \$225,000, 8 sty. and bas., 85x93, 313-37 E. Ohio St. Archt. and Engineer, Russell N. Edwards Co., 45 Union Trust Bldg. Owner, Ben Franklin Realty Co., % Enquirer Printing and Publishing Co., Clarence E. Crippen, Pres.; Harry Nicoli, Secy., 309-11 East Ohio St. Low bidder on general contract, Bedford Stone and Construction Co., Indianapolis. Expect to sign contracts next week.

***Automobile Sales Building and Garage:** \$150,000.00, 3 sty. & bas., 63x200. N. W. Corner of St. Joe and Meridian Sts. Archt., Frank B. Hunter, 902 State Life Bldg. Owner, Conduitt Automobile Co., A. W. Conduitt, Prest.; J. A. Boyd, Secy. (Distributors of Peerless, Maxwell and Chalmers Cars) 314-26 No. Delaware St. Archt. receiving bids. Brick, reinf. concrete floor and roof constr.

***Church:** \$75,000, 24th and Station St., Brightwood. Archt., McGuire and Shook, 320 Indiana Pythian Bldg. Owner,

Brightwood Methodist Episcopal Church, Rev. A. R. Ragsdale, Pastor, 2358 Station St.; Edgar F. Brown, Chmn. Bldg. Com., 2440 Adams St.; Sam Ingle, Secy., 3178 N. Sherman Drive. Plans in progress. Mature this fall. Brick, stone trim.

***High School** (alteration), \$10,000, Danville, Ind. Archt., McGuire and Shook, 320 Indiana Pythian Bldg., Indianapolis. Owner, Board of Education, C. W. Gaston, Secy., Danville, Ind. All bids rejected. Temporarily inabeyance.

***Grade school:** \$95,000, Madison, Ind. Archt., Herbert Foltz, Lemcke Annex, Indianapolis. Owner, Board of School Trustees, S. J. Bear, Pres.; J. E. Reed, Secy.; W. C. Roth, Treas., all of Madison. Owner receiving bids to close September 16th, at 2:00 p. m. (See legal advertising in this issue.)

School: 1 sty., 38x24, Republican Twp., Jefferson county, Wirt, Ind. Archt., Herbert Foltz, Lemcke Annex, Indpls. Owner, L. C. Ellison, Trustee, Kent, Ind. Plans completed, advertise for bids soon. Frame, asphalt shingle roof.

***High School** (alterations and additions), Winchester, Ind. Archt., The Elmer E. Dunlap Co., 909-15 State Life Bldg., Indianapolis. Owner, Board of School Trustees, David F. Hardman, Luther M. Kimmel, Edward S. Goodrich, Winchester, Ind. Owner receiving bids to close September 22nd at 11:00 A. M. Brick.

***Office Building:** (rem. from apartments), West New York St. Archt., Chas. Byfield, 923 Peoples Bank Bldg. Owner, Empire Life and Accident Insurance Co., 601-14 Peoples Bank Bldg. Bids rejected. Archt. revising plans, will take new bids soon, work will consist of electric passenger elevator, marble and tile work, iron grilles, marble base and wainscoting, bank fixtures, rem. of heating plant, new plumbing, painting, decorating and general alterations.

Contracts Awarded.

***High School Building** (addition), 2 sty. and bas., L-shape, shorter leg of the L is 45 ft. in length, longer leg of L is 100 ft. in length, width of shorter leg is 35 ft. 6 in., longer is 71 ft. 4 in., \$55,000, Martinsville, Ind. Archt., D. A. Bohlen and Son, 1001 Majestic Bldg., Indianapolis. Owner, Board of School Trustees, J. E. Overton, Ira Eubank, Odin R. Smith, all of Martinsville. General contract let to S. A. Hickman, Martinsville; heating and plumbing let to Johnson and Hickman, Martinsville.

***Stores (3) and Apartments (5):** \$40,000, 38th and College. Archt., Chas. Byfield, 923 Peoples Bank Bldg. Owner, Bert C. McCammon, 38th and College. General contractor, J. G. Karstedt Construction Co., Lemcke Bldg. Heating let

to Cook Bros., 214 S. Penn. St.; plumbing let to Frank Stewart, 935 Mass. Ave.; electric wiring let to L. C. Smith Elec. Co., 122 Virginia Ave. Excavated.

***Hospital** (James Whitcomb Riley Memorial Hospital for Children: 1st unit, \$311,000.00. Archt., Robert Frost Daggett, 962 Lemcke Annex. Owner, Riley Memorial Hospital, J. W. Cravens, Sec. Board of Trustees, % Indiana University, Bloomington, Ind. Mechanical engineer, Chas. Ammerman, Occidental Bldg., Indianapolis; general contractor, State Construction Co., Indiana Pythian Bldg., Indianapolis. Pouring footings.

***Factory,** \$50,000.00. 3 sty. 50x96. 125 No. East St. Archt., Bacon and Tislow, 31 West Ohio St. Owner, C. J. Walsh, % Archt. General contract let to J. E. McGaughey, American Central Life Bldg. Brick.

***Stores:** \$10,000.00. 1 sty. & bas. 37x73. 4616-20 East Michigan. Archt., Chas. Bacon, Odd Fellows Bldg. Owner, V. M. Concannon, 4612 E. Michigan. General contract let to Avey and Hudson, 619 No. Keystone.

***Residence:** \$10,000. 5146 East New York St. Archt., E. C. Doeppers, Engineering Dept., City Hall. Owner, Herman Denzler, 355 Burgess St. General contract let to H. C. Hanna, 415 No. Drexel Ave. Frame.

Elevators: Elevators for buildings listed below were let to the Home Elevator Co., Indianapolis: Senate Realty Co., Meyer-Kiser Bank, Thompson Restaurant, C. E. Pauley Co., Eberhardt Tent & Awning Co., General Engineering Co., all of Indianapolis; Seymour Woolen Mills, Seymour, Ind.; Flora Produce Co., Flora, Ind.

CONNERSVILLE.

***Electric Wiring** for Memorial Bldg. now under construction, Batesville, Ind. Archt., Karl P. Henkel, 108 Heinemann Bldg., Connerville. Owner, Board of Trustees of Batesville Memorial, Michael F. Bohland, William H. Schwier, Tora McCallum, all of Batesville. Owner receiving bids to close September 10th, at 3:00 P. M. (See legal advertising in this issue.)

***Schools** (2) Repairs and additions to high school building at Glenwood, Ind. and additions to high school at Gings, Indiana. Union Township, Rush County. Archt., H. M. Griffin, McFarlan Bldg., Connerville. Mechanical Engineer, Chas. Ammerman, Occidental Bldg., Indianapolis. Owner, John F. Mapes, Trustee, Glenwood, Ind. Low bidder on general contract, Jones Construction Co., Connerville, Ind.



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INDIANAPOLIS



VENTILATORS

EVANSVILLE.

*Residence: Henderson, Ky. Archt., Alfred Neucks, 515-16 Woods Bldg., Evansville. Owner, Angus Gordon, Henderson, Ky. Ready for bids shortly.

Electric Wiring: Bids close Sept. 5th for the wiring of the Harwood School. Archt., Anderson and Stingle.

Contracts Awarded.

*School: \$35,000, Patronville, Indiana. Archt., Clifford Shopbell & Co., Furniture Bldg., Evansville. Owner, John V. Atkinson, Trustee, Rockport, Ind. General contractor, James T. Mattingly, Christney, Ind. Excavating.

*Gymnasium and Auditorium: (to present high school building), Princeton, Ind. Archt., Clifford Shopbell & Co., Furniture Bldg., Evansville. Owner, Bd. of School Trustees, Thomas W. Cullen, Pres., Princeton, Ind. General contract

awarded to J. O. Sickels, Princeton, Ind., \$32,986.00; heating and plumbing let to V. P. Smith, Albion, Ill. Brick.

*School: \$50,000, Princeton, Indiana. Archt., Clifford Shopbell & Co., Furniture Bldg., Evansville. Owner, Board of Education, Thos. Cullen, Secy., Princeton. General contractor, William Toelle, Princeton; electric wiring let to Waltz Electric Co.; painting to Lawrence Bryant; plastering to Joe Baxton; roofing let to Snyder Bros., all of Princeton. Excavated.

FT. WAYNE.

Pump House: 4th St. Owner, Board of Public Works, R. E. Kelly, Secy., City Hall. Bids are being received to close September 12th at 3:00 P. M. Certified check for \$225.00 is required.

Retaining Wall: Board of Public Wks.,

City Hall, Ft. Wayne, is receiving bids to close September 7th at 7:30 P. M., for increasing the height of the wall on the west bank of the St. Joseph River, from State Boulevard to the Centlivre brewery. Estimated cost, \$10,000. Certified check for \$250 required.

HAMMOND.

Sewer System: Board of Public Wks., Della Miller, Clerk, City Hall, Hammond. Bids are being received to close Sept. 11th at 2:00 P. M., for the following: 8820 ft. of internal diameter vitrified pipe, sewer, sizes from 8 in. to 27 in. pipe with concrete manholes and wyes.

JEFFERSONVILLE.

*Hotel (rem. from Commercial Bldg.), \$60,000, (40 rooms), Archt., Gaffney and Epping, 437 S. 2nd St., Louisville, Ky. Owner, Clark Building Corp., % M. Switow, Pres., 641 Fourth Ave., Louisville, Ky. Archt. receiving bids. Work will consist of converting an old build-

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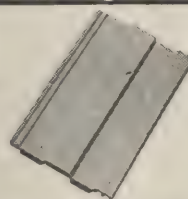
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River Terminal: Engineer, Edward Barrett, % Roberts and Schaefer Co., 400 N. Michigan Ave., Chicago, Ill. Owner, Inland Waterways Co., J. C. Wilson, Secy.; Patrick Calhoun, Pres., 316 West Jefferson St., Louisville. Several buildings and docks.

LAPORTE.

***Laporte:** High school building. \$300,000. Archt., Miller, Fullenwider and Dowling, No. Michigan Ave., Chicago, Ills. Owner, Board of School Trustees, H. M. Cole, Prest.; Herbert Haverly, Secy. Plans and specifications completed. Owner will advertise for bids shortly. Brick.

Pipe Fittings, Etc.: The Board of Public Works, Albert F. Schultz, City Clerk, is receiving bids to close September 11th, at 10:00 A. M., for the following: 20,000 ft. 10 in. class "C" B. & S. cast iron pipe, 10,000 pounds cast iron fittings, 3 18 in. Bell and Gate valves for 150 pounds, 1 16 in. Bell and Gate valve for 150 pounds, 16,000 pounds leadite or ironite, 1,700 pounds dry jute. Estimated cost, \$79,300.

Trench (excavating and back filling), \$11,820. Owner, Board of Public Works, Albert F. Schultz, Clerk. Bids to close September 11th, at 10 A. M.

RICHMOND.

***Grade and High School Building,** \$75,000: (6 class rooms, 3 recitation rooms, laboratory, assembly, manual training, domestic science and gymnasium, Liberty Township, Henry County, Millville, Ind. Archt., C. E. Werking and Son, Palladium Bldg., Richmond. Owner, Daniel M. Hoover, Trustee, Newcastle, Ind., R. F. D. All contracts received, will probably not mature before spring.

Contracts Awarded.

Duplex Residence: 2 sty. and bas., 30x60. Archt., C. E. Werking and Son, Palladium Bldg. Owner, W. R. Berheide, 244 S. 5th St. General contractor, Vincent Juerling. Foundation in. Brick.

Residence: \$8,500. Archt., C. E. Werking and Son, Palladium Bldg. Owner, Chas. Tate, Richmond. Owner builds by day labor. Foundation in. Brick.

***Factory** (side addn.), 1 sty., 100x30. Cambridge City, Ind. Archt., C. E. Werking and Son, Palladium Bldg., Richmond. Owner, Bertsch Co., Cambridge City. Owner builds by day labor. Brk.

TERRE HAUTE.

***Hotel:** (84 rooms) \$200,000.00 4 sty. & bas. 60x130. Paris, Illinois. Archt., Johnson, Miller and Miller, 30 No. 5th. St., Terre Haute. Owner, Paris Hotel Co., C. W. North, in charge, Champaign, Ills. Archt. receiving bids. Brick. frpf. constr.

***High School** (addition) \$50,000.00. Florida Township, Rosedale, Indiana. Archt., Johnson, Miller and Miller, 30 No. 5th. St., Terre Haute. Owner, James A. Taylor, Trustee, Rosedale, Indiana. All bids rejected. Will probably readvertise for new bids about January 1st. Brick.

***Residence:** (9 rooms). Archt., Johnson, Miller and Miller, 30 No. 5th. St. Owner, Joe Moore. Archt. receiving bids. Brick and stucco.

***Residence & Garage:** \$20,000.00. Alendale, Terre Haute. Archt., Johnson, Miller and Miller, 30 No. 5th. St. Owner, M. Trueheart, % Archt. Plans nearing completion. Ready for bids shortly. Stucco on hollow tile.

Residence: Brazil, Indiana. Archt., Johnson, Miller and Miller, 30 No. 5th. St. Owner, Dr. D. B. Kreider, Brazil, Indiana. Ready for bids.

***Theatre:** 1 sty. & balcony. 64x130. Bloomington, Indiana. Archt. Shourds-Stoner, 511 Tribune Bldg., Terre Haute. Owner, H. L. Vondersmith, Washington, Indiana. Bids in, low bidder on general contract North-Raffin Constr. Co., Terre Haute Trust Bldg., Terre Haute, Indiana. Brick, stone trim, steel constr. steam heat, ornamental plaster, steel truss roof.

Residence: \$10,000, 1½ sty. and bas., 38x53. Archt., Shourds-Stoner Co., 511 Tribune Bldg. Owner, Dr. W. H. Miller, 312 McKeen Bank Bldg. Receiving bids. Brick, stucco, hot air furnace, tile roof, hardwood floors, 1 bath.

Residence: \$10,000.00, 1½ sty. and bas., 32x48. Archt., Shourds-Stoner & Co., 511 Tribune Bldg. Owner, Mrs. A. R. Jeswick, % Archt. Receiving bids. Brick and stucco, tile roof, hardwood floors, steam heat.

***Lodge Bldg.,** \$20,000, 2 sty. and bas., Clinton, Ind. Archt., Thomas and Allen, 25½ S. 5th St., Terre Haute. Owner,

Red Mens Lodge, Clinton. Plans nearing completion. Brick.

Contracts Awarded.

***Apartment Building:** \$300,000 (2 units), 2 sty. and bas., 134x221. Archt., J. D. Palmer & Co., McKeen Bank Bldg. Owner, Wabash Apartment Co. General contractors, North-Raffin Constr. Co. Starting work on 1st unit. General contractor taking bids on all sub trades.

***Bank:** \$125,000, Twelve Points, Terre Haute, Maple and Lafayette Ave. Archt., Shourds-Stoner & Co., 511 Tribune Bldg. Owner, Twelve Points State Bank, Terre Haute. General contractors, North-Raffin Constr. Co. On foundation.

***Hospital:** Clinton, Ind. Archt., J. G. Vrydagh, Terre Haute. Owner, Board of County Commissioners and Hospital Trustees, Clinton, Ind. Pouring 1st floor. Work resumed. General contractor, Dan Bright, Clinton.

VINCENNES.

***Joint Grade and High School:** 2 sty. and bas., 103x55, Whiskey Run Township, Milltown, Ind., Crawford County. Archt., J. W. Gaddis, American National Bank Bldg., Vincennes. Owner, Board of School Trustees, J. Harry Lemmon, Pres.; Martin Lynch, Secy.; L. E. Flanagan, Treas., and Willard Vance, Twp. Trustee, all of Milltown, Ind. Bids are being received up to 2:00 P. M., September 9th, at the Town Hall in Milltown, Ind. Brick, stone trim, hollow tile wall construction, septic tank, concrete stairways, gravity system of heating, frpf. door, private water system.

MISCELLANEOUS CITIES.

Contracts Awarded.

***Decatur:** Hospital: Archt., Oscar Hoffman, Studebaker Bldg. Owner, Board of County Commrs. and Hospital Trustees. General contractor, Chas. Sanders, Portland, Ind. Foundation in. Brick.

***Whiting:** Stores and Offices, \$15,000. Archt., Mac Turner, 633 Hohman St., Hammond. Owner, Wm. Schmuser, Lilley St., Hammond. General contract let to Chas. Rhoades, Hammond, Ind.

***Corydon:** Bank Building. 1 sty & bas. 22x82. Archt., E. P. Hutchings, Columbia Bldg., Louisville, Ky. Owner, The Corydon State Bank, Wm. Ridley, Prest. Corydon. General contract let to Oscar Luther, Corydon, Indiana. Brick.

(Continued on Page 11)

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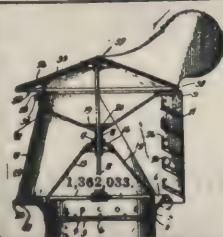
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INDIANAPOLIS

***East Chicago:** Store Building (3 stores), \$12,000. Archt., Jos. G. Kraft Co., East Chicago Bank Bldg. Owner, Julius Friedman, Calumet Bldg., East Chicago. General contract let to H. B. Olney, Indiana Harbor, Indiana. Brick.

***Gary:** Residence, \$5,000. Archt., J. Le Vee, 673 Broadway. Owner, George Michaelley, 7th and Broadway. General contract to Tuthill and Cummings, 3701 Broadway.

***Miami:** Residence (Colonial) 7 rooms. Archt., Thos. McGaw, Citizens Bank Bldg., Kokomo. Owner, W. H. Peters, Miami, Indiana. General contract let to L. E. Newman, Kokomo. Foundation in.

***South Bend:** Apartment Hotel, \$800,000. Archt., Nicol, Scholer and Hoffman, Ross Bldg., Lafayette. Owner, Mar Main Arms Realty Co., 221 So. Main St., South Bend. General contract let to Bedford Stone and Constr. Co., Indianapolis. Marble and tile let to South Bend Marble and Tile Co., South Bend. On foundation.

Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field.

Copy should reach us, at the latest, Wednesday of the week of publication.

ELECTRIC WIRING. NOTICE TO CONTRACTORS.

Notice is hereby given that the Board of Trustees of the Batesville Memorial, Batesville, Ind., will until the hour of 3 P. M. on Saturday, the 16th day of September, 1922, receive sealed bids and then to be opened for the Electric Wiring for said Memorial Building, heretofore advertised, and which bids filed with said board on the 31st day of March, 1922, were rejected for the electric wiring of said Batesville Memorial, and that this notice is given to the contractors that

sealed proposals will be received under the same conditions, requirements and stipulations as in a notice to contractors, given in this paper during the month of March, 1922. And all persons desiring to bid are required to make a deposit for the plans and specifications, secure a certificate from the Industrial Board of Indiana, file a non-collusion affidavit, and with each bid there shall be accompanied a certified cashier's check, all as required in said notice heretofore given. Copies of plans and specifications may be obtained from the office of the architect, Carl P. Henkel, 108 Heineman Building, Connersville, Ind., or from the Secretary of the Board of Trustees. The board reserves the right to reject any and all bids.

MICHAEL F. BOHLAND,
WILLIAM H. SCHWIER, Jr.,
TORA McCALLUM,
ANTHONY W. ROMWEBER,
HARRY C. CANFIELD,
Board of Trustees of Batesville Memorial, Batesville, Ind.

SCHOOL HOUSE NOTICE TO CONTRACTORS

Bids will be received by the Board of School Trustees of the City of Madison, Indiana, at the office of S. J. Bear, president of the Board, at 309 E. Main street, Madison, Indiana, until two o'clock P. M. of September 16, 1922, for the construction of, and the heating, plumbing and electric wiring installations in a new grade two story and basement brick school building, to be erected on the site of the present Lower Seminary School on Main street in said city of Madison, Indiana, in accordance with the plans, drawings and specifications heretofore adopted therefor by the said Board.

Said plans, drawings and specifications will be on file on and after August 21, 1922, in the office of the President of the Board of Madison, Indiana, and releases will be made to bidders from the office of Herbert Foltz, Architect, 843 Lemcke Annex, Indianapolis, Indiana, on and after said date. The estimated cost of the building complete without furnishings and equipment is \$95,000.00.

Proposals to be entitled to consideration shall be made in accordance with the following instructions:

(a) Proposals shall be made according to the form attached to the specifications, which is form No. 96, adopted by the State Board of Accounts, with all blank spaces properly filled in, and each shall be delivered in a sealed envelope addressed to the Board of School Trustees, Marked

"PROPOSAL," bearing the title of the work and the name of the bidder.

(b) Proposals will be considered singly, or in any combination on the following branches of work: 1. General construction. 2. Steam Heating and Ventilation. 3. Electric Wiring and Fixtures. 4. Plumbing, Water Supply and Sewage Disposal.

(c) Each proposal must be accompanied by a certified check, payable to the School City of Madison, Indiana, in a sum equal to three per cent (3%) of the amount of the proposal, in accordance with conditions included in the Proposal Form, which check shall be forfeited as liquidated, fixed and agreed damages in case of failure of any bidder to enter into a contract within eight (8) days after notification of acceptance of his proposal in accordance with the plans and specifications on file with sufficient surety to the approval of the Board for the faithful performance thereof. The Board reserves the right to accept any or to reject any or all proposals, and when the contract or contracts are let, checks of unsuccessful bidders will be returned to them.

(d) A deposit of ten dollars (\$10.00) will be required of prospective bidders for drawings and specifications for each branch of work taken from the office of the Architect, which amount will be returned in full in case the following two conditions are complied with, viz: (1) The return of the drawings and specifications within eight (8) days from the date of their release to the bidder, and (2) The delivery to the Board of a bona fide proposal at the time and place fixed for receiving bids. Should the bidder fail in the observance of either of these conditions, he shall be entitled to a refund of five dollars (\$5.00); should he fail in the observance of both conditions, he shall forfeit the full amount of his deposit. All refunds shall be conditioned upon the return of the drawings and specifications complete and in good order to the office of the Architect.

(e) Requests from sub-contractors for drawings and specifications should be made to bidders on the major contracts.

(f) Each bidder shall either stamp or mark his name on the back of the drawings and the cover of the specifications used by him in preparing his proposal.

Dated at Madison, Indiana,

this 21st day of August, 1922.

SCHOOL CITY OF MADISON, IND.

By

S. J. BEAR, Pres.,
J. E. REED, Secy.,
W. C. ROTH, Treas.,
Board of School Trustees.

August 26-Sept. 2-9.

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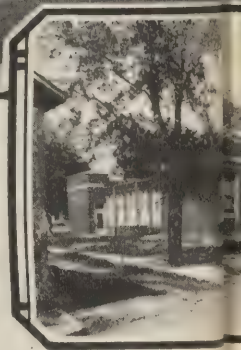
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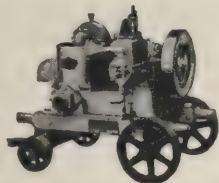
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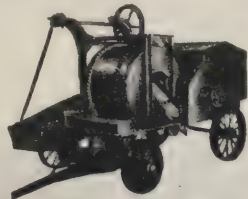
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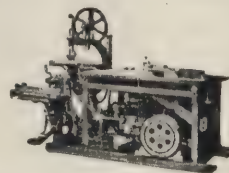


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Official Paper

Indiana Society of Architects

Office of the Secretary
500 BOARD OF TRADE BUILDING
Indianapolis, Ind.

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OFFICIAL NOTICE.

All members of the Board of Directors of the Indiana Society of Architects are hereby officially notified that the next regular Board Meeting will be held at the Lincoln Hotel, Indianapolis, Saturday, September 9th. All members are urgently requested to be present.

Further, the attention of all members of the Indiana Society of Architects is called to the fact that they are cordially invited to attend these monthly board meetings, participate in the discussions and offer suggestions for the extension of the function and influence of the organization. The only restriction put upon members outside those on the Board is that the right to vote on matters requiring official action is reserved to the Board members.

NOT A FEW BUT THE MANY BY THEIR EFFORT CONTROL THE FUTURE OF THE SOCIETY.

Greater activity can be instilled into the Indiana Society of Architects if only the individual members will take a more active part in the organization and its aims. The Society has grown from a small group until it now comprises 87.4% of all the architects in the State. During the years of its existence, which has been comparatively brief, the Society has accomplished things and now, backed by almost the entire architectural profession practicing in Indiana it possesses a latent power that can't be denied if the architects will but avail themselves of the opportunity when the occasions for exerting that power arises.

It has been proved conclusively that the Society can do things for good not only for the state architectural profession but in the interest of the building industry of Indiana when it really takes

up the cudgel in forward movements. Various committees co-operating with public officials and committees of other allied organizations in the Indiana building construction field have made progress where co-operative effort was required. The only real set back the Society has ever suffered was in regard to securing the passage of an Architects' License or Registration Law, but, was that wholly the Society's fault? Was there enough sincere, direct effort exerted by the individual membership to assure success in that venture. There is no question but that the Legislative Committee worked hard, but those men had a herculean task to put a measure through the Legislature. Other organizations, when they want a law passed usually maintain a lobby at the State House and, in addition, put their whole membership to work arousing favorable interest in a proposed bill. There was a strong last minute effort made in the interest of the architects' law, but, it was more or less sporadic and the effort failed. This is not a condemnation, rather, the above is set forth to show that on big measures united effort of the entire membership is essential.

As against this one failure the Society has achievements to its credit among them being the securing of a good contract to be used by the architect and owner on all public building construction work; it has effected constructive co-operation between itself and the State contractors' association, and an original proposal of the Society for the establishment of a State Building Code has been taken up by the contractors and engineers and preliminary steps are now being made to launch a drive for such a measure before the next legislature.

If the Society needs one thing more than any other it is an awakening on the part of local architects to the need for concentrated and collective effort in local affairs. This suggests the proposition advocated by past president E. Hill Turnock, Elkhart, that of regional architectural clubs as subsidiaries of the Society. Why not? Such clubs composed of the architects of adjacent territories, by meeting once a month or so, would sustain a live interest in the Society, an interest that under present conditions is liable to wane since there are but two big meetings a year of the state asso-

ciation, and current issues arise and pass almost unnoticed to have died without action by the time the Society meets again. Regional meetings, through frequency, would keep the Society in direct touch with local situations and enable it to throw its influence behind the regional architects when action was needed. Further, it would create a better understanding amongst the architects of a given territory, and the closer association and acquaintanceship would inspire a better feeling in the ranks of the members of the profession.

These regional meetings for architects of adjacent territory would cut traveling costs and time consumed to a minimum so that neither of these causes could be advanced as an argument against them. Such procedure if adopted by the members of the Indiana architectural profession would allow the architects to build a stronger State Society and live up to the admonition of the late Theodore Roosevelt who said, "Every man owes some of his time to the upbuilding of the profession to which he belongs."

CLOSER CONTACT WITH ARCHITECTURAL STUDENTS ADVOCATED.

As a means of extending the influence of the American Institute of Architects and arousing an appreciation of the aims and function of the Institute in the rising generation of architects, The Board of Directors favors closer contact between the Institute and the students in the schools of architecture at the time of their graduation, believing that a contact formed at this time will assist in the development of an understanding of Institute activities and appreciation of Institute standards, that will be of value to the draughtsman or young architect during the period that is apt to exist prior to his affiliation with some Chapter or with the Institute itself in regular membership. In creating any such new class, however, the Board advises that care should be taken to prevent confusion in the mind of the public regarding the qualifications of full membership in the Institute.

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INDIANA

Official Paper

Associated Building Contractors of Indiana

FRED W. JUNGCLAUS, President
Indianapolis

C. C. PIERSON, Secretary
Indianapolis

ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller ----- President
Ralph E. Seiffer ----- Secretary

Office of Secretary, 411 Sycamore St.

DETERRING OUTSIDE INFLUENCES AFFECT EVANSVILLE BUILDING.

Local building of the larger type nature has felt the effect of outside influences and as a result has suffered according to the opinion of those of the contracting interests. Were it not for the residence work that has progressed this season Evansville would have had a poor year.

The coal strike, and now the railroad strike with a tightening up of shipments, making deliveries uncertain, have had an important bearing on the development of Evansville's building business. Coal prices have made brick and tile burning an expensive operation, while prices on some other materials have gone up, too. Such conditions have caused prospective builders, especially the industrial and investment ones to hold back. The lack of any real large projects this season has been one of the disappointing features of building circles.

PROPOSE ANOTHER TRY AT THE ENCOURAGEMENT OF BUILDING.

Active promotion of the Home Complete Exposition for Evansville this fall is under way. Several years ago a similar show was held in Evansville in which the local A. B. C.'s took an active part for the purpose of encouraging building. At that time a booth was maintained where building construction information was distributed to prospective builders and from the innumerable inquiries made proved to the contractors that the general public was interested in building and were only too glad to receive data and help relative to new building. The inquiries covered a wide range covering almost every point from how to go about financing a new building project, how to secure good plans, the best way to contract, clear down to the final completion and furnishings.

Since that time Evansville has seen a wonderful revival of home building and it is not too much to say that the information dispensed by the A. B. C.'s had its influence in encouraging the big forward movement in new home construction in the local field.

The A. B. C.'s of Evansville has done much both directly and indirectly to help increase the local building volume.

ADJACENT TERRITORY OFFERING CONTRACTORS OPPORTUNITY.

There is a ray of hope in the present situation for those contractors who are willing to go outside of Evansville to operate as there are quite a few sizeable projects for both southern Indiana and Illinois and over in western Kentucky now being figured in the offices of local architects.

FT. WAYNE

BUILDERS' EXCHANGE
Member State A. B. C.

Max Irmscher ----- President
Eph Dailey ----- Secretary
825 Calhoun St.

Phone 2001

CATCHING UP ON HOUSING.

Housing facilities in Ft. Wayne, which a few short years ago presented quite a problem, gradually have been restored almost back to normal through the great wave of building activity that has surged across the city. During the inactivity of building construction brought about by the war period housing accommodations were put to an awful strain as the growth of population created a demand that overran the supply.

However, with the resumption of building activity many citizens turned their attention to the erection of new homes, while realtors and building companies realizing the great need of the city followed suit and started much dwelling construction in anticipation of a sharp demand for such buildings. Last year, 1921, saw much activity along those lines, it being one of the best residence building years Ft. Wayne had ever experienced and went a long way to cut down the housing shortage.

Then came the 1922 building season with a modification of material prices which added a new impetus to the building inclination resulting in an early start on more new residences. As the season wore on the desire to own a home grew to such proportions that lot sales grew active to be followed by a building campaign of new residences that surpassed the operations of the active 1921 season.

It was this kind of construction that got Ft. Wayne off to a good early start this year and the continued activity in this direction added to the numerous

large projects that have developed later has made for total building figures for 1922 that are going to compare favorably with those of other even larger communities when the year has run its course.

The man who comes back to Ft. Wayne after several years absence is going to find a big change in the contour of the outlying districts, in fact he will hardly recognize the suburban sections so great has been the building of residences in the localities where, heretofore, stretched only vacant fields.

THINGS HAVE WORKED OUT WELL FOR ALL CONCERNED.

While other communities have had their building labor troubles and Fort Wayne for a time was threatened seriously with same, nevertheless, the members of the Builders' Exchange mapped out a policy and, against odds at the start, by sticking to it have been able to "carry on" successfully as is attested by the awarding of several million dollar contracts for new business structures, not to mention the great volume of contracts placed for the construction of medium sized and smaller buildings.

Taken all in all Ft. Wayne has experienced fair to good building conditions enabling contractors to handle their various projects with expediency. It has been a good season both for the employer and the employee.

DIMENSION STUFF.

R. H. Dawson Marble & Tile Co., is erecting a new office and shop at 1210 W. Main street. It is of brick construction, 1 story, 34x39 feet.

Another new and handsome auto filling station is arising to grace the corner of Weiser Park Avenue and Buchanan street. The site is to be made attractive with winding drive ways and walks set off by lawn spaces.

Edward H. Kruse of the Kruse Electric Co., is erecting a new 2 story store and apartment building, 33x55 feet, at 1108 Maumee street.

Reports of permits granted at the city building inspection department indicate that building construction has held up well through August despite vacations, heat, and the strikes.

Everybody of the Builders' Exchange has been so busy that they have not much time for anything else but building, as a consequence there have been very few meetings of the Exchange, but when the cool weather returns the regular meetings will be resumed.

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F. W. Junglaus.....President
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320 Peoples Bank Building

MEETINGS.

Executive Committee meets second Tuesday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

Mason Contractors Association meets every Thursday—1 P. M.

General Contractors meet second Friday each month.

PLANS ON FILE.

At 320 Peoples Bank Building,
Indianapolis.

None this week.

WAIVER OF LIEN.

None filed with Marion County Recorder this week.

INDUSTRIAL EDUCATION.

Apropos of the agitation that has been sounded by the Indianapolis and other Indiana contractors relative to the need for the taking of steps to educate and train youths as apprentices for future use as skilled building trades mechanics the August Bulletin of the Associated Builders of Chicago contributes a timely article on the subject. In this article especial reference is made to the educational system as pursued in Chicago, but, might not the name of Indianapolis, or any other Indiana city be substituted resulting in an apt statement of the case and conditions?

The Chicago Bulletin says:

"An interview with several teachers of the public schools of Chicago has disclosed the fact that eighty-five per cent of the pupils in the higher grades of the elementary schools have no desire to be taught the subjects they are required to study. This is not surprising, because the curriculum presented to them is archaic and the subjects uninteresting, and the parents of these pupils do not believe it to be of any practical value. Several hours per week are devoted, in the sixth and seventh grades, to the subject of the proper cultivation of rice—both upland and lowland. Even though the child should become proficient in all the phases of rice growth and culture, which is doubtful under a system of instruction from a teacher who never saw rice except in a chop suey restaurant, of what practical value would it be? This rice culture subject is followed by several more hours per week on the intricacies, culture and manufacture of silk, the knowledge being imparted by a teacher who never saw a silk worm or a mulberry tree. If both these subjects were taught in China they would be of some value, because in that country rice is the principal food and the culture of silk

worms and the mulberry tree is one of their important industries.

Nowhere along the line of instruction in the public schools can we find that the children are taught to become interested in or given an opportunity to study any of the mechanical trades. It is true that in Chicago we have several very fine so-called technical high schools, which boys may attend when they have graduated from the eighth grade. After spending four years in one of these technical high schools the youths are able, with the aid of a handsaw, to cut something out of a piece of wood which looks like a sick stork, but the opportunities for learning the trades of bricklaying, carpentry, plumbing, steamfitting or other industrial pursuits are so limited that the average pupil and the average teacher in the public schools do not know they exist at all, and few, if any, of the parents of these children have ever learned that it is possible for their boy to become proficient in any of the above mentioned trades.

Our school authorities will say there is not enough demand from the parents and the pupils to warrant establishing a trade school. This, of course, is not a fact. There was no demand for telephones until they were invented, and people were given the opportunity to install these instruments in their homes and offices. If our public school authorities would establish, in various sections of Chicago, high class up-to-date trade schools and put in charge thereof a faculty of men and women competent to instruct the pupils in industrial pursuits, these schools would be filled to overflowing with boys who had completed the eighth grade and whose parents would not allow them to attend high schools, as well as boys who had refused to attend high school.

What we need in our public schools is more practical education; to get away from the fads and useless trash that is foisted upon the innocent and unsuspecting public. There will be no difficulty in keeping boys over fourteen years of age in school if they have an opportunity to get a practical education at a trade with which they can earn a living. Let China specialize in rice culture and silk raising, but give the American boys a chance to learn mechanical trades."

BUILDING PERMITS

(\$4,500 and Over)

(Week of August 24th to Sept. 7th)

***Factory:** \$50,000.00, 3 sty. and bas., 50x96, 125 N. East St. Archt., Bacon and Tislow, 31 W. Ohio St. Owner, C. J. Walsh. % Archt. General contract let to J. E. McGaughey, American Central Life Bldg. Brick, steel sash.

Residences (4) \$20,000 total: 22-26-30-18 N. Hawthorne Lane. Archt., Chas. Bacon, Odd Fellows Bldg. Owner, General Finance Corp., 907 Merchants Bank Bldg. Owner builds by day labor.

Residences (2 doubles), \$15,500. Total, 610-12 and 517-19 N. Riley St. Owner, J. T. Smith and Son, at site. Owner builds.

Residences (2 doubles), \$12,000 total. 601-03 Garfield and 333-35 N. Chester. Owner, Ernest Michaelis. General contract let to J. A. Totten, 1454 McClain St.

Residences (2) \$12,000 total, 3901 and 3941 Winthrop. Owner, E. M. Schofield,

806 State Life Bldg. Owner builds.

Residences (3) \$11,400 total, 757-761-765 Lynn St. Owner, David Krieger, 2019 N. Illinois St.

Stores: \$10,000, 1 sty., 37x74, 4616-20 E. Michigan. Archt., Chas. Bacon, I. O. O. F. Bldg. Owner, V. M. Concannon, 4612 E. Michigan. General contract let to Avey and Huddleson, 619 N. Keystone.

Residence (double), \$10,000, 1258-60 Burdsall Parkway. Owner, David Krieger, 2019 N. Illinois St. Owner builds.

Residence: \$10,000, 5146 East New York St. Owner, Herman Denzler, 355 Burgess St. General contract let to H. C. Hanna, 415 N. Drexel Ave.

Residence: \$10,000, 4340 College Ave. Owner, Marie Moran. General contract let to H. L. Holmes, site.

Residence: \$9,000, 845 N. Sherman Drive. Owner, Andrew Donlan, 2720 E. Wash. General contract let to Chas. E. Smith, 618 DeQuincy St.

Residence: \$8,500, 5016-20 E. Michigan. Owner, E. M. Schofield, 806 State Life Bldg. Owner builds.

Residence: \$8,100, 3661 N. Delaware. Owner, J. B. Quirk, 317 N. Capitol Ave. General contract let to Fred Evans, 31 N. Bolton Ave.

Residence (double), 1123-25 N. Keystone, \$7,800. Owner, Henry Espey, 709 S. East St. General contract let to W. R. Hunter, 923 Lemcke Bldg.

Residence: \$7,500, 424-26 N. DeQuincy. Owner, Chester Martin, 3914 E. Wash. St.

Residence: \$7,000, 3521 Guilford. Owner, Sadie Whitaker, 125 East St. Joe St. General contract let to D. D. Augustus, 4430 Guilford St.

Residence (double), \$6,500, 721-23 E. 10th. Owner, A. W. Weathers, 927 Edison Ave.

Stores: \$6,000, 1 sty., 37x68, 4802-08 E. Michigan. Owner, D. C. Goble. General contract let to W. C. Brydon, 5135 E. Norway St.

Residence: \$6,000, 4711 Park Ave. Owner, Bishop F. D. Leete, 3055 N. Meridian. General contract let to M. M. Andrews, 3055 N. Meridian St.

Residence: \$6,000, 4707 Park. Owner, Payne and Fry, % contractor. Contract let to M. M. Andrews, 3055 N. Meridian St.

Residence (double), \$6,000, 3433-35 Carrollton. Owner, Marie Browning. Contract let to H. S. Browning, Jr., 2838 N. Talbott.

Residence: \$5,500, 6016 E. Wash. St. Owner, Flora Shank, 6002 E. Wash.

Residence: \$5,500, 4575 Guilford. Owner, B. and M. Gehrelin, 3855 Guilford.

Residence: \$5,200, 425 N. Bosart St. Owner, M. E. Beverland, 3036 E. Washington St. General contract let to Jos. A. Moore, 3207 E. Washington.

Residence (double), \$5,000, 605-07 N. Bosart. Owner, S. A. Morrow, 4702 E. New York St.

Residence: \$4,500, 1862 S. East St. Owner, Edw. Moskowitz. General contract let to David Krieger, 2019 N. Illinois St.

Residence: \$4,500, 1259 West 25th St. Owner, H. E. Rogers, 322 E. 47th St.

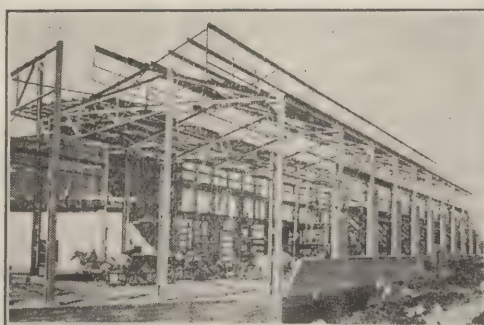
Residence: \$4,500, 334 Garfield. Owner, A. K. Wolf. Contract let to Wm. Piel, 1026 St. Paul St.

Residence: \$4,500. 3906 Rookwood. Owner, O. E. Steinkamp, 3904 Rookwood. Contract let to Mark Clift, 4125 Byram Avenue.

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Building Trades Employers'
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Member State A. B. C.'s

J. Wesley Reed President
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108 Citizens National Bank Bldg.,
Hammond, Indiana

MEETING NIGHTS

General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.

THERE IS GROUND FOR INSPIRATION HERE AT LEAST.

Though it is said "a prophet is with honor, save in his own country," and we may be no prophet, nevertheless, we are willing to take a chance at that precarious pastiming long enough to advance the prognostication that within ten years the Calumet District will be one of the greatest manufacturing districts in the country. There is every indication that it will not only be the Pittsburgh of the West so far as iron and steel products are concerned, but will have as many if not more diversified industries than any other manufacturing center.

The eyes of many of the great manufacturing concerns are now turned toward the Calumet District because of its ideal location, it being traversed by all the big railroad trunk lines; then, too, with three lake ports, a ship canal through the center, and the Calumet River opened to traffic on the West Side, both raw and finished products can be shipped to any point, East, West, North or South. Preliminary steps have already been inaugurated to transform Wolf Lake into one of the greatest inland harbors in the country.

That our confidence in the future of this territory is warranted one has but to ponder over the following, and doing that will be impressed with the logic of the argument we have advanced for the greater development of the Calumet District. The Jones-Laughlin Steel Co., Pittsburgh, Pa., has purchased 1,300 acres as the site for a new plant; Henry Ford has taken over 60 acres for similar purposes; a Cleveland and Chicago syndicate has acquired the holdings of the Great Lakes Dredge & Dock Co., 1500 acres, which it proposes to subdivide into factory sites, and upon which it will build factories for prospective tenants; The New York Car Wheel Co. is already building on its 15 acre site; The Damascus Crucible Steel Co. has also taken over a 10 acre site for factory development. Not only this, but the fact that several more large concerns are negotiating for locations in this district clearly demonstrates the importance and desirability that manufacturing interests are attaching to industrial factory sites in this territory.

So far so good, but there is more. There are indications that within the next five years Hammond, Indiana Harbor and East Chicago will be incorpo-

rated into one city, a great industrial center. If such comes about, then the county seat will be moved up from Crown Point to this new city of enlarged proportions which will do nine-tenths of the business of the county. About that time Indianapolis will have to look to her laurels as the greatest city of the State.

Are we seeing things? Maybe, but, why not, there is evidence, tangible evidence, to such a development and we of the Calumet District have faith in the final consummation of that development.

HAMMONDITES DO THOUGH.

There is a saying in the sporting world to the effect, "They never come back." That don't apply to Hammond citizens. They may get uneasy here and cut out for new pastures, but, they do come back.

What we started out to say was that Harry Fotts, formerly a plasterer of Hammond who immigrated to Georgia several years ago has returned with the word that business conditions down there are on the bum and that old Hammond looks good to him once more. He has invested in a home and is ready to resume plastering contracting again.

PUTTING ON THE BRAKES.

The architects up in this neck of the woods have hung out the distress signal. They say they have several nice projects on the boards, but that same are to be held up because of the scarcity of building trades mechanics which condition has tended to boost wages, resulting in excessive building costs.

ANOTHER ALIBI.

There were no new projects of importance to crop out last week, though several are being figured. Most everybody was too hot last week to exert themselves, while quite a few of the builders are away on vacations.

E. E. COLE.

MUNCIE

Associated Building Contractors
Member State A. B. C.

Chas. Rowe President
J. A. Gallivan Secretary

314 Main Street

AN ATTEMPT AT "BUTTON, BUTTON, WHO HAS THE BUTTON?"

It looked so easy, it seemed so easy, it appealed as worth a try and—it almost went over, resulting almost in Muncie builders being caught in a mesh that in time undoubtedly would have ensnared considerable of the Indiana building field.

To be exact it all started away back last spring and was engineered by the brick layers, who were loath to accept a lesser scale. The contractors wanted a \$1.15 scale per hour but the brick layers held out for \$1.25 which was finally acceded to. Recently there was some big

work started in Muncie and as outside contractors had secured the work and the local contractors had cleaned up their projects the brick layers, in looking for work, went to one of the outside contractors and upon being accepted, announced they would expect \$1.35 per hour as that was the figure they had been earning.

At this point an investigation was started and it was proved that \$1.25 was the top price that had been paid. Here again was a new development, another outside contractor who had Muncie work but had not started his brick work was informed by the brick layers that the other contractors were paying \$1.40 per hour which, too, was proved a canard.

Now all the Muncie contractors are awake to the situation and have declared they will stand firmly for the present scale of \$1.25 per hour and will keep in touch with each other to keep a close check on the situation to see that no "tilting" is done. Further, several prospective owners and building interests have announced that the contractors can do as they please, but if wage scale advances are made a positive halt will be called upon all future building this season.

The enlightenment that grew out of the investigation was the result of association effort, for when the members learned of the menace they immediately got together and sifted things out and got the true light on the situation.

NOT MUCH MORE BUILDING LOOKED FOR.

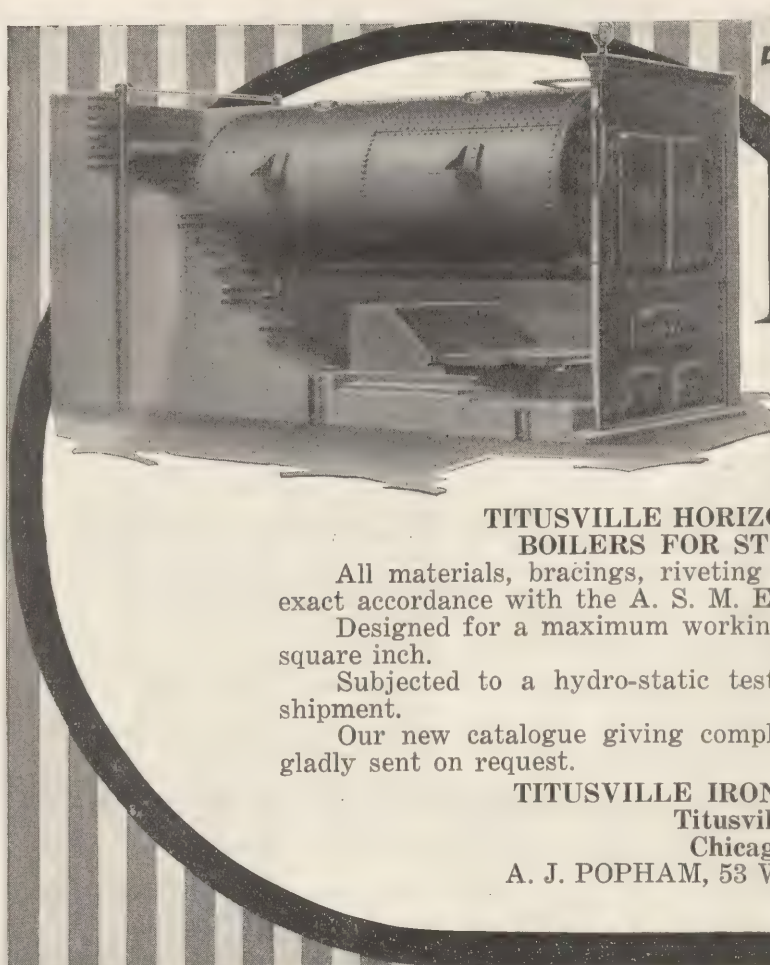
Things in building in Muncie for this season have about run their course. It is probable that the letting of the contracts for the Science Hall at the State Normal, and the Emmerson School for the city will just about mark the last big lettings this year. There is still a big gymnasium contract for the Normal School to be let, but it is whispered about that this matter is to be held over till next spring. The foundation for the new Masonic Temple has been put in but the contract for the superstructure may not be figured till 1923. Bids for the new sheriff's residence and jail remodeling were rejected and it is just possible this work may be refigured in the near future but it does not involve a great amount of money. There is some residence work in progress and a few more dwellings may be built this fall but the bulk of this character of work has been cared for.

TWO BY FOURS.

Contractor Lee Glass is winding things up at the Hebrew Synagogue and should have this project completed early in the fall.

Over at the Elks Temple Albert Glaser and Joe Snyder, contractors, are making speedy progress, now being engaged on the interior work.

General Contractor Charles Rowe is making good headway on the shed work at the Durant plant, and is completing the construction work at the Ball Bros. factory.



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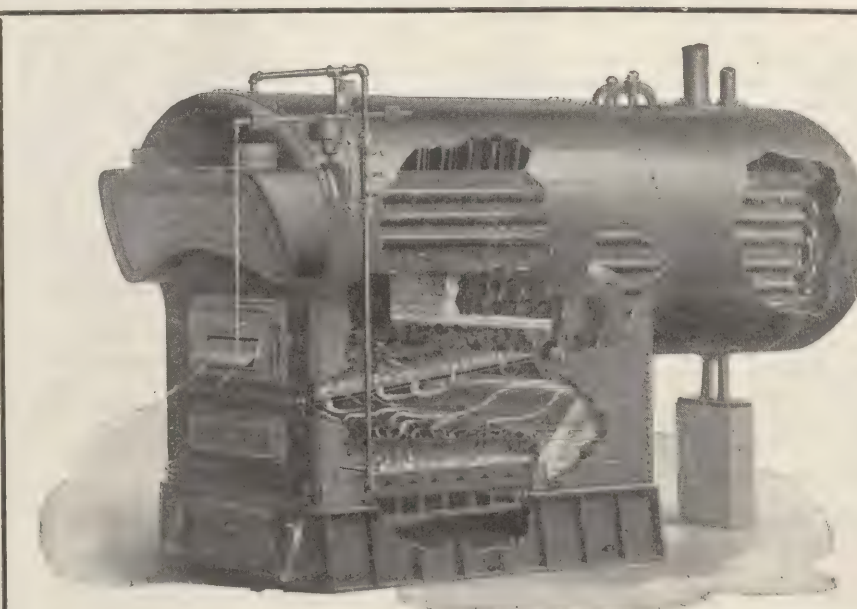
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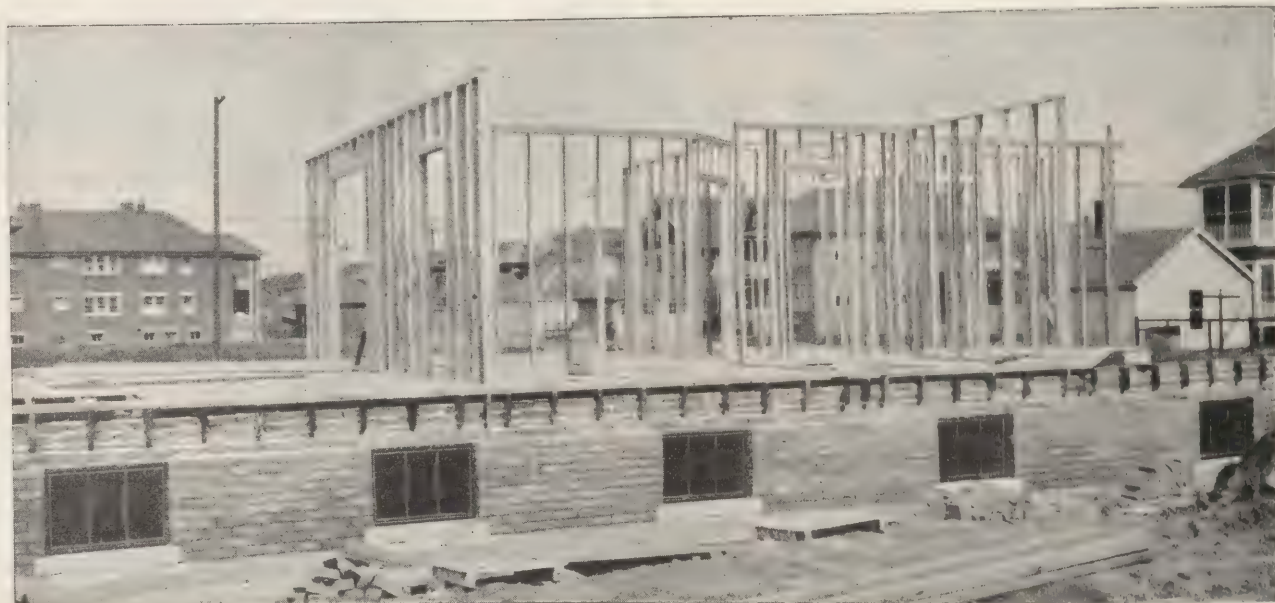
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FOR
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SUPPLYMAN

Vol. IV

INDIANAPOLIS, INDIANA, SEPTEMBER 9, 1922

No. 23

INDIANA CONSTRUCTION RECORDER
Published Every Saturday

DONALD CAMPBELL Publisher
LEIGH FELTON News Manager
JOHN H. OWENS Field Manager

312 E. Market Street,
Indianapolis, Ind.

PHONE—MAIN 5673

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Entered as second class matter August 29, 1919,
at the Post Office at Indianapolis, Indiana, under
the Act of March 3, 1879.

WOLVES.

Once there was a wolf that clad itself in a sheep's skin, and entered the flock, leading them to destruction.

Union men are not sheep, yet they have evidently permitted wolves, in the guise of I. W. W. or anarchists, to enter their ranks, and these same wolves are leading them to destruction, to the complete defeat of all the purposes which honest union men hold dear.

Instances of this have not been lacking in Evansville in the past few weeks. Starting with little "scare" bombs, cast into the yards and working places of the local railroad, more deadly infernal machines are now being used. One was cast upon a porch of a home wherein were sleeping the wife and three children of a "strikebreaker," and another was placed in a stove about which men were working, to act as a further element of destruction when the dynamite was detonated.

The first named above was of four-inch gas pipe, and its force is evidenced by the fact that one section, a foot long, was flattened against the foundation of the little home. The power of the second was proved when the cast-iron stove was shattered into bits by the blast.

Those who know the shopcrafts work of this city, his allegiance to the principles of law and order upon which this nation is founded, cannot believe he was directly responsible, or that the workers, or any considerable body of them, countenanced such atrocity as was planned in the last two instances.

That otherwise law-abiding citizens may be led to unbelievable extent in reversion to primordial killing instincts has been proved time and again, but the crime of the night, the stealthy, cowardly assassination, has never been a mass

crime of any except secret organizations of enemies of society, never the work of working men, men of family and substance, as are practically all the shopcraftsmen.

But the onus of the crime, in the mind of the general public, that great element of the population that understands little of trade unionism, and the principles for which the men are striking, is borne by the workers on strike. Sympathy of the public is alienated in great part when violence is invoked, and the lives of innocent people are endangered.

It is up to the workers to purge their ranks, and the ranks of their sympathizers, of those who would make anarchistic capital of the present industrial unrest. One drop of wormwood will embitter the entire cup, and one political malcontent

who will not hesitate to resort to murder and arson to further his ends, will defeat the whole purpose of a law-abiding body of citizenry.—(Evansville Ind., Courier.)

SLIPPED BUT STILL AHEAD.

According to the statistics of the city building inspector's office of Hammond, the first eight months building activity of 1922 is running right along ahead of the same period last year.

Time	Per Est. Val.
First 8 mos., 1922.....	550 \$1,820,850
First 8 mos., 1921.....	420 1,451,785
Gain, 1922	130 \$ 369,065

More permits were granted in August, 1922, than in August, 1921, but the money involved fell \$24,100 short of the same item for the corresponding period a year ago.

AUGUST BUILDING IN INDIANA'S LEADING CITIES GOES OVER FIVE AND A HALF MILLION DOLLARS FOR BIG GAIN OVER AUGUST, 1921.

Once again the monthly building figures for Indiana's eight leading cities as compiled by the various city building inspectors show a big increase over the same period a year ago, both in permits granted and the estimated valuations covering same. In August, 1922, there were issued in Indiana cities not including Evansville, from which a permit total was not received, 2404 building permits as against 1762 permits for the same territory during August, 1921. However, the estimated valuations for building operations in Evansville both for August, 1922 and 1921 were received making the total money involved in new building in the eight Indiana cities read as follows: August, 1922, \$5,616,260 as against \$3,756,046 for August, 1921, a gain of 49.52% for August, 1922.

As compared with July building there were more permits issued in August, but the total estimated valuation, despite this increased activity, was \$402,409 below the July total.

Seven of the cities, or all who returned permit figures, showed more permits issued in each city than were recorded for the same communities for the corresponding period a year ago. Five of the cities showed gains in the matter of estimated valuations while three showed losses. Ft. Wayne, with over a million and three-fifths dollars worth of building in August showed a gain of 187.7% over August, 1921 and tops the list in that respect. The other cities in the order of gains shown are: Gary, 94.2%; Indianapolis, 67.9%; Richmond, 1.5%; Evansville, .06%. In the matter of losses Terre Haute showed the greatest, 45.7%; Hammond, 15.5% and South Bend, 6%. The latter city though ranked with the losers for August really turned in a fine month, close to a million dollars worth of permits but was unfortunate in that August building last year reached over a million dollars which made this August's performance pale somewhat.

The building permit figures for August, 1922 and August, 1921, are:

Cities	Per	1922		1921	
		Est. Val.	Per.	Est. Val.	Per.
Evansville		\$ 169,540	---	\$ 168,460	
Ft. Wayne	221	1,634,574	179	570,105	
Gary	90	409,910	69	211,055	
Hammond	63	130,000	55	154,100	
Indianapolis	1291	2,074,941	1061	1,235,260	
Richmond	48	43,770	30	43,075	
South Bend	498	966,075	233	1,028,518	
Terre Haute	193	187,450	135	345,473	
Total	*2404	\$5,616,260	*1762	\$3,756,046	

*Permit total from Evansville not submitted though estimated valuations for same were:

Trust Bldg., Anderson. Owner, William Cunningham, Trustee, Alexandria, Ind. Plans completed. Owner will advertise for bids soon. Brick.

CONNERSVILLE.

Church: \$25,000.00, 2 sty. and bas., 50x72, Milton, Ind. Archt., H. M. Griffin, McFarlan Bldg., Connerville. Owner, Christian Church, Milton, Ind. Plans in progress. Brick and hollow tile, stone trim, built-up-roof, oak interior trim, art glass, steam heat.

Contracts Awarded.

***Schools** (2) \$30,000. Repairs and additions to high school building at Glenwood, Ind. and additions to high school at Gings, Ind., both Union Township, Rush County, Ind. Archt., H. M. Griffin, McFarlan Bldg., Connerville. Mechanical Engineer, Chas. R. Ammerman, Occidental Bldg., Indianapolis. Owner, John

F. Mapes, Trustee, Glenwood, Ind. General contract let to Jones Construction Co., Connerville, Ind. Heating let to R. J. Behringer, Richmond, Ind.; plumbing let to Gantior and Gregg, Rushville; electric wiring let to Sanborn Electric Co., Indianapolis.

ELKHART.

School (Addition and alteration), \$20,000.00. Bristol, Ind., Washington Township, Elkhart Co. Archt., Elwood and Son, Haynes Building, Elkhart. Owner, A. I. Burgil, Trustee, Bristol, Ind. Plans in progress. Brick. 2 sty., 30x32, steam heat, private water system, plumbing.

Residence: \$15,000. 2 sty. & bas., 30x50, Warsaw, Ind. Archt., A. H. Elwood and Son, Haynes Bldg., Elkhart, Ind. Owner, Allan S. Widaman (attorney), Warsaw, Ind. Plans nearing completion. Ready for bids soon. Brick, veneer,

frame, steam heat, slate roof.

Residence: \$150,000, Consentine, Mich. Archt., A. H. Elwood and Son, Haynes Bldg., Elkhart. Owner, J. Arthur Beesley, Consentine, Mich. Plans in progress. Brick veneer, steam heat, slate roof.

Factory: 1 sty., 400x200. Owner, Curtain Supply Co., % Elkhart Real Estate and Housing Corporation. Cement block and steel. Owner builds.

Contracts Awarded.

***Hotel** (rem. and add.) \$100,000, Auburn, Ind. Archt., A. H. Elwood and Son, Haynes Bldg., Elkhart. Owner, Swineford Hotel, Auburn, Ind. General contractor, H. H. Achemeyer Constr. Co.; Heating and plumbing let to Lige Htg. & Plmg. Co., both of Auburn. General contractor taking sub bids. Start work soon.

***Church:** \$50,000. Archt., E. Hill Turnock, 501 Monger Bldg. Owner, Castle United Brethren Church, Rev. H. E.

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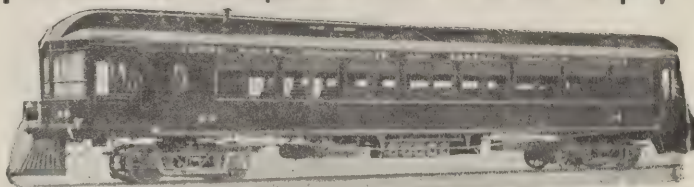
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WRITE FOR QUOTATIONS

Beauchamp, 814 Monroe St. General contract awarded to George Kistner, Elkhart. Excavating.

EVANSVILLE.

*School (Bosse High School) \$300,000. 2 sty. & bas. Archt., J. C. Llewellyn, 38 South Dearborn St., Chicago, Ills. Asso. Archt., Capelle and Troutman, 409 American Trust Bldg., Evansville. Owner, Board of Education, Arthur L. Fisher, Business Director, Evansville. Plans nearing completion. Owner will advertise for bids about October 1st. Brick, fireproof constr., reinf. conc. floor and roof construction.

*Hospital: \$75,000, 4 sty. & bas., Harrisburg, Illinois. Archt., H. E. Boyle and Co., Furniture Bldg., Evansville. Owner, Harrisburg Hospital. Dr. A. J. Butler, Prest.; Dr. W. J. Blackard, Secy., Harrisburg, Ills. Archt. receiving bids. Brick, reinforced concrete.

*Lodge Building (addition) \$30,000. Mt. Carmel, Illinois. Archt., H. E. Boyle & Co., Furniture Bldg., Evansville. Owner, Loyal Order of Moose, Mt. Carmel, Ill. Plans in progress. Brick.

Hospital (addition), 16 rooms and 4 private baths, Henderson, Ky. Archt., Clifford Shopbell & Co. Furniture Bldg., Evansville. Owner, Mosely Hospital, Henderson, Ky. Plans nearing completion. Brick.

Lodge Building (rem. and alteration), Tell City, Ind. Archt., Clifford Shopbell and Co., Furniture Bldg., Evansville. Owner, Knights of Pythias, Tell City, Ind. Plans nearing completion. Ready for bids shortly.

Residence: (Bungalow) 7 rooms, \$10,000, Washington, Ind. Archt., Alfred E. Neucks, 515-16 Woods Building, Evansville. Owner, John Kretz, Washington. Owner will build and award separate contracts. Start work shortly. Brick.

Residence (8 rooms) 1611 Gum St. Archt. and contractor, Anderson and Veatch. Owner, George Brown, 1611 Gum St. Excavating.

Factory (Cigars) 2 sty. & bas. 2nd and Division Sts. Owner, General Cigar Co., George Sigg, Supt. Division & 2nd Sts. Plans in progress. Brick.

FT. WAYNE.

*School: \$48,000. "Wayne Center school Building," Wayne township, Noble

county, Indiana. Archt., Griffith and Goodrich, 211 East Berry St., Ft. Wayne. Owner, Frank Bodenhafer, Trustee, 105 East William St., Kendallville, Indiana. General contract awarded to Zeis, Stone and Smith Construction Co., Harlan, Ind. Will include 4 class rooms, auditorium and gymnasium.

KOKOMO.

*Lodge Building: \$100,000, 2 sty. & bas., 112x45. Archt., Oscar Cook, Citizens Bank Bldg. Owner, B. P. O. E. Lodge, Rolla S. Conradt, Chmn. Bldg. Com.; Ralph Tudor, Sec. Plans nearing completion. Ready for bids shortly. Brick, fireproof constr., marble and tile work, marble stair treads, tile roof, orn. iron stairs. City heat.

LAFAYETTE.

*Masonic Temple: \$100,000, 2 sty. & bas., 83x83, Michigan City, Ind., 6th and Pine Sts. Archt., Nicol, Scholer and Hoffman, Ross Bldg., Lafayette. Owner, Masonic Temple Building Assn., Clyde Taylor, Secy., Michigan City. Low bidder on general contract, Henry Koehn, Michigan City. Will award contracts within the next few days.

*Bank (alteration) \$7,000, West Lafayette. Archt., Nicol, Scholer and Hoffman, Ross Bldg., Lafayette. Owner, Purdue State Bank, West Lafayette. Bids in under advisement.

Parochial School: \$75,000, 2 sty. and bas., (8 class rooms, combination auditorium and gymnasium, library, kitchen, club rooms), Wabash Ave. Archt., Riedel and Zink, Lafayette Life Bldg. Owner, St. Ann's Parochial School, Roman Catholic, Rev. Father McCarty in charge. Plans nearing completion. Brick, stone trim, comp. roof. central heating plant to heat new building and take care of present buildings.

LEBANON.

*Nurses Home and Solarium: \$17,000, "F. J. Witham Memorial Hospital," Archt., Frost and Kellogg, Reporter Bldg. Owner, Board of Trustees of F. J. Witham Memorial Hospital, Chas. M. McClain, Pres.; Arlie E. Lewis, Secy. Bids were rejected. Will revise plans and take new bids about February 1st.

*High School: Archt., Frost and Kellogg, Reporter Bldg. Owner, Board of Edu-

cation. General contractor, J. A. Horn Co., Frankfort, Ind., \$66,647.00. On foundation.

RICHMOND.

*Lodge Building: 3 sty. side addition 48½x66 ft. Archt., Geo. W. Mansfield, 336 Colonial Bldg. Owner, Eagles Lodge No. 666, August Johanning, 600 S. 13th St. (Chmn. Bldg. Com.) Plans in progress. Brick, concrete floors, tile floors, elevator, comp. roof, ext. of present heating system, new boiler. Will contain reading rooms, cafeteria, billiard rooms, gymnasium.

Residence: \$15,000 (8 rooms), 2 sty. & bas., 30x36, Boston, Ind. Archt., Geo. W. Mansfield, 336 Colonial Bldg., Richmond. Owner, Arthur Nelson, (Hardware dealer), Boston, Ind. Plans nearing completion. Owner will build by day labor and buy materials. Brick, asbestos roof, vapor heat, tile and hardwood floors.

Garage, Stores and Apartment Building: \$18,000, 2 sty. & bas., East end. Archt., C. E. Werking and Son, Palladium Bldg. Owner, A. J. Miller and Son, South 9th St. Plans about completed. Brick, comp. roof, copper-set store front, steam heat.

Residence (Colonial), \$20,000, 2 sty. & bas. Archt., C. E. Werking and Son, Palladium Bldg. Owner, Ed. H. Harris, Mgr. Richmond Palladium Publishing Co., 19 So. 9th St. Plans in progress. Brick, tile roof, hot air heat, tile and hardwood floors.

Gymnasium: \$12,000. Archt., C. E. Werking and Son, Palladium Bldg. Owner, St. Paul's Protestant Episcopal Church. Rev. George C. Burbank, Pastor, 203 So. 7th St. General contract let to Frank Greers.

*Bank (add. & rem.), \$50,000, 1 sty. add. to present 4 sty. Bldg., 150x50. Archt., C. E. Werking and Son, Palladium Bldg. Owner, American Trust and Savings Bank. Plans in progress. Project will not mature until early spring.

*Church (rem.), \$15,000, Centerville, Ind. Archt., C. E. Werking and Son, Palladium Bldg., Richmond. Owner, Methodist Congregation, Rev. Chas. W. Chadwick, Pastor, Centerville. Ready for bids. Work will consist of veneering outside of building with brick, art glass, painting, decorating and general alterations.

(Continued on Page 11)

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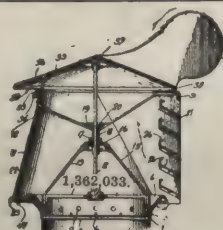
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INDIANAPOLIS

Contracts Awarded.

*Office: 2 sty. 35x70, Cambridge City, Ind. Archt., C. E. Werking and Son, Palladium Bldg., Richmond. Owner, Bertsch & Co., Cambridge City. Owner builds. On foundation. Brick.

Manufacturing Plant (Gears), 1 sty., 24,000 square feet of floor space. South "O" and 8th Sts. Archt., John W. Mueller, Palladium Bldg., Richmond. Owner, The Automotive Gear Co., E. P. Horton, Pres.; C. Edgar Hamilton, V-P., Atlanta, Ga. and John W. Mueller, Richmond. Owner builds and awards separate contracts. Excavating. Brick.

TERRE HAUTE.

*Theatre: 1 sty. & balcony, 64x130. \$50,000. Bloomington, Ind. Archt., Shourds-Stoner Co., 511 Tribune Bldg. Owner, H. L. Vondersmith, Washington, Indiana. General contract let to Bedford Steel and Construction Co., Bedford, Indiana. Brick.

MISCELLANEOUS CITIES.

Madison: Packing Plant, (alterations) 2 sty. Engineer, M. P. Burt, Falls Bldg., Memphis, Tenn. Owner, The Pearl Packing Co., Madison, Indiana. Plans in progress.

Princeton: Creamery Building: 2 sty. & bas. Owner, The Tip Top Creamery Co., F. C. Ball, Mgr., Princeton. John A. Risch, Prest., Vincennes, Ind. Site purchased. Owners will erect a building this fall. Definite data later.

Whiting: Masonic Temple and Theater. 3 sty. & bas., 90x100. \$100,000. Archt., Clarence Hatzfeld, 7 South Dearborn St., Chicago, Ills. Owner, F. & A. M. Lodge No. 613. John Hall, Chmn. Bldg. Comm., Whiting, Indiana. Preliminary plans in progress. Brick, reinf. concrete, terra cotta trim.

*Tampico (school): \$20,000.00, 1 sty. and bas., Grassy Fork Township, Jackson county, Ind. Owner, William H. Russell, Trustee, Crothersville, Ind., R. F. D. No. 1, will receive sealed bids at 1:00 P. M. on Saturday, September 16th, at the High School Building in the town of Tampico, Ind.

Contracts Awarded.

Bloomington: *High School (addition & rem.) \$190,000. Archt., Alfred Grindle, Owner, Board of School Trustees. General contractor, Leslie Colvin, 4140 Ruckle St., Indianapolis. Plumbing to the Quinn Plmg. Co., Bedford, Indiana. Excavating.

*Lafayette: School (Consolidated grade and high) \$65,000. Near Portland, Ind. Archt., Nicol, Scholer and Hoffman, Ross Bldg., Lafayette. Owner, George Carey, Trustee, Portland, Indiana. General contract let to Jesse Poling, Portland; Htg. and plmg. to Tibbetts Heating & Plumbing Co., Union City, Ind. Electric work to Hartford Electric Co., Hartford City.

*Richmond: High School, East Side, Richmond, Ind. Archt., Perkins, Fellows and Hamilton, 813 Tower Court, Chicago, Ills. Owner, Board of Education. J. H. Bentley, Supt. of Schools, Richmond. General contractor, Yeager and Son Construction Co., Danville, Illinois and Richmond, Indiana. Heating and ventilating to Lige Heating & Ventilating Co., Auburn, Ind. Electric wiring let to W. B. Tibbetts Co., Marion, Indiana. Excavating.

*Vincennes: Apartment Building, \$100,000. 3 sty. 100x135. Archt., Clarence Hughes, % Circle City Construction Co., Fletcher Trust Bldg., Indianapolis. Asso. Archt., J. B. Bayard, Vincennes, Ind. Owner, M. T. Johnson, Mgr. of the Buick Sales and Service Co., 103 No. Third St., Vincennes. General contractor, John Keller, roofing let to C. W. Lauby, Painting let to Abernathy Bros. Electric work to Camon and Fields, all of Vincennes. Foundation in.

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Architect's Office Equipment: Two drawing tables, one adjustable, other 7 ft. 6 in. by 4 ft., with drawers for drawings; also six drawing boards. Architect's drawing utensils and T squares. Phone or write Mrs. W. Scott Moore, 2933 North Pennsylvania St., Indianapolis. Phone, Randolph 1520.

Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field. Copy should reach us, at the latest, Wednesday of the week of publication.

ELECTRIC WIRING.**NOTICE TO CONTRACTORS.**

Notice is hereby given that the Board of Trustees of the Batesville Memorial, Batesville, Ind., will until the hour of 3 P. M. on Saturday, the 16th day of September, 1922, receive sealed bids and then to be opened for the Electric Wiring for said Memorial Building, heretofore advertised, and which bids filed with said board on the 31st day of March, 1922, were rejected for the electric wiring of said Batesville Memorial, and that this notice is given to the contractors that sealed proposals will be received under the same conditions, requirements and stipulations as in a notice to contractors, given in this paper during the month of March, 1922. And all persons desiring to bid are required to make a deposit for the plans and specifications, secure a certificate from the Industrial Board of Indiana, file a non-collusion affidavit, and with each bid there shall be accompanied a certified cashier's check, all as required in said notice heretofore given. Copies of plans and specifications may be obtained from the office of the architect, Carl P. Henkel, 108 Heineman Building, Connersville, Ind., or from the Secretary of the Board of Trustees. The board reserves the right to reject any and all bids.

MICHAEL F. BOHLAND,
WILLIAM H. SCHWIER, Jr.,
TORA McCALLUM,
ANTHONY W. ROMWEBER,
HARRY C. CANFIELD,
Board of Trustees of Batesville Memorial, Batesville, Ind.

SCHOOL HOUSE**NOTICE TO CONTRACTORS**

Bids will be received by the Board of School Trustees of the City of Madison, Indiana, at the office of S. J. Bear, president of the Board, at 309 E. Main street, Madison, Indiana, until two o'clock P. M. of September 16, 1922, for the construction of, and the heating, plumbing and electric wiring installations in a new grade two story and basement brick school building, to be erected on the site of the present Lower Seminary School on Main street in said city of Madison, Indiana, in accordance with the plans, drawings and specifications heretofore adopted therefor by the said Board.

Said plans, drawings and specifications will be on file on and after August 21, 1922, in the office of the President of the Board of Madison, Indiana, and releases will be made to bidders from the office of Herbert Poltz, Architect, 843 Lemcke Annex, Indianapolis, Indiana, on and after said date. The estimated cost of the building complete without furnishings and equipment is \$95,000.00.

Proposals to be entitled to consideration shall be made in accordance with the following instructions:

(a) Proposals shall be made according to the form attached to the specifications, which is form No. 96, adopted by the State Board of Accounts, with all blank spaces properly filled in, and each shall be delivered in a sealed envelope addressed to the Board of School Trustees, Marked "PROPOSAL," bearing the title of the work and the name of the bidder.

(b) Proposals will be considered singly, or in any combination on the following branches of work: 1. General construction. 2. Steam Heating and Ventilation. 3. Electric Wiring and Fixtures. 4. Plumbing, Water Supply and Sewage Disposal.

(c) Each proposal must be accompanied by a certified check, payable to the School City of Madison, Indiana, in a sum equal to three per cent (3%) of the amount of the proposal, in accordance with conditions included in the Proposal Form, which check shall be forfeited as liquidated, fixed and agreed damages in case of failure of any bidder to enter into a contract within eight (8) days after notification of acceptance of his proposal in accordance with the plans and specifications on file with sufficient surety to the approval of the Board for the faithful performance thereof. The Board reserves the right to accept any or to reject any or all proposals, and when the contract or contracts are let, checks of unsuccessful bidders will be returned to them.

(d) A deposit of ten dollars (\$10.00) will be required of prospective bidders for drawings and specifications for each branch of work taken from the office of the Architect, which amount will be returned in full in case the following two conditions are complied with, viz: (1) The return of the drawings and specifications within eight (8) days from the date of their release to the bidder, and (2) The delivery to the Board of a bona fide proposal at the time and place fixed for receiving bids. Should the bidder fail in the observance of either of these conditions, he shall be entitled to a refund of five dollars (\$5.00); should he fail in the observance of both conditions, he shall forfeit the full amount of his deposit. All refunds shall be conditioned upon the return of the drawings and specifications complete and in good order to the office of the Architect.

(e) Requests from sub-contractors for drawings and specifications should be made to bidders on the major contracts.

(f) Each bidder shall either stamp or mark his name on the back of the drawings and the cover of the specifications used by him in preparing his proposal.

Dated at Madison, Indiana,
this 21st day of August, 1922.

SCHOOL CITY OF MADISON, IND.

By

S. J. BEAR, Pres.,

J. E. REED, Secy.,

W. C. ROTH, Treas.,

Board of School Trustees.

August 26-Sept. 2-9.

ELECTRIC LIGHT FIXTURES.**NOTICE TO CONTRACTORS.**

Sealed bids will be received by the Board of School Commissioners of the City of Indianapolis at the office of the Business Director, 150 N. Meridian St., until 8 o'clock P. M., September 26, 1922, for the furnishing and installation of Lighting Fixtures in the shops and power house building of the Arsenal Technical High School, located at 1500 East Michigan street, Indianapolis, according to the plans and specifications prepared by Snider & Rotz, engineers.

All proposals must be made on blank form No. 96 prescribed by the State Board of Accounts, which may be secured at the office of the board, and shall be accompanied by a certified check for not less than 3% of the bid.

The estimated cost of the proposed work is \$3,000. Plans and specifications are on file at the office of the board and the office of the engineers, 703 Merchants bank building.

Checks must be made payable to the Board of School Commissioners of the City of Indianapolis, and must be certified good by a bank or trust company in Indianapolis, and in case the bidder whose bid shall be accepted shall not within five days after notice of acceptance enter into a written contract with the Board to perform the bid and secure the contract by a bond in the form and with sureties to the approval of the board, this certified check and the proceeds shall be and remain the absolute property of the Board as liquidated damages for such failure and the bidder shall be liable for nothing beyond the proceeds of the check for the failure. It being impossible to anticipate the exact amount of damages such failure would occasion to the Board.

The right is reserved to reject any or all bids, and to refrain from accepting or rejecting bids for not more than six days.

WALTER J. TWINAME,

Business Director.

Sept. 9-16-23, 1922.



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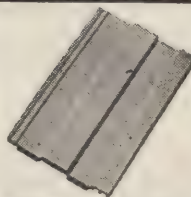
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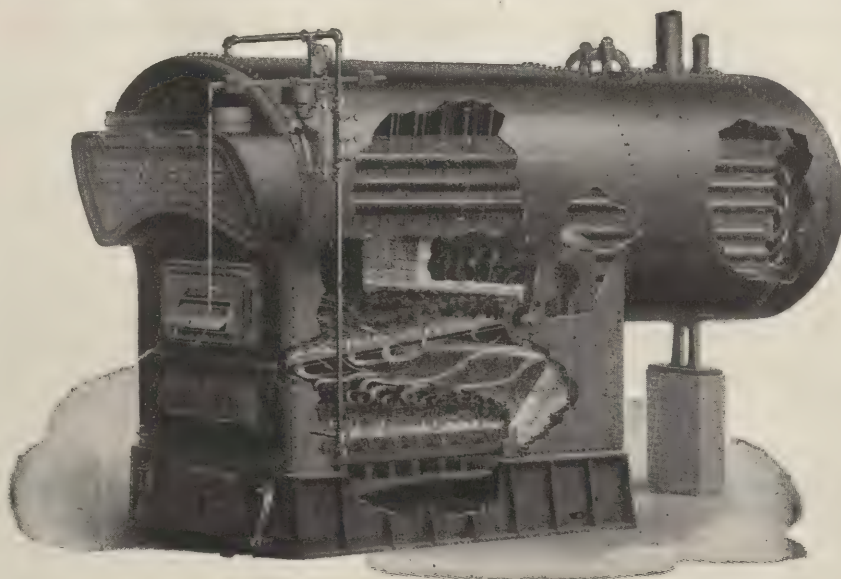
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ZONING AT CHICAGO JOLTED BY
SUPREME COURT DECISION.

Indiana architects are more or less interested in zoning schemes as being worked out at Indianapolis, Evansville, Elkhart and other cities that are contemplating such moves. Such action is the result of a law passed by the last legislature making it possible for cities to establish city plan commissioners.

Chicago has had a zoning ordinance for some time and has done considerable work in that direction. Then came litigation over the zoning proposition which was carried clear through to the State Supreme Court, the decision being adverse to the zoning provisions.

With reference to the case the Bulletin of the Illinois Society of Architects says:—

"A recent decision of the State Supreme Court in the case of Roos vs. Forest Park, according to many attorneys has made many of the provisions of the existing Building code of the City of Chicago illegal and will probably result in preventing the enforcement of any zoning ordinance. The Supreme Court in its opinion stated:

'An ordinance is void which prohibits one citizen from conducting a particular kind of business in a certain locality and permits another to engage in the same character of business in the same locality merely because the latter had established his business before the ordinance was passed.'

The legal advisor of the Chicago Zoning Commission in commenting on the decision stated:

'In view of the decision it seems a waste of time to go forward with zoning ordinances.'

The opinion if literally invoked would invalidate not only the Chicago Theatre Ordinance, but the ordinances governing the construction of apartments and many other classes of buildings.

It is seldom that a higher court renders a decision containing such potential possibilities as the decision above referred to."

BOARD MEMBERS MEETING AT
INDIANAPOLIS TODAY.

Directors of the Indiana Society of Architects are in session today, Sat., it being the occasion of the regular monthly board meeting. President Mahurin had several matters up his sleeve to spring on the members of the board with a view to creating more interest among the individual members of the Society so that more might be accomplished by the organization.

Among other things up for discussion was the State Building Code proposition and the steps that are being taken in that direction. Attention was also to be directed to the mid-winter Architectural Exhibit and the members of the Society are to be reminded to keep this affair in mind and not put off till the last moment the preparation of their exhibits.

The meeting today was opened with a 12:30 p. m. luncheon at the Lincoln Hotel where the monthly session was held.

NEW MEMBERS COMING IN.

The membership committee is at work. Chairman George W. Allen, Laporte, has shown considerable activity with regard to his new charge and has started a campaign to enroll among the members those architects who are still on the outside. As a starter there are two new applications for membership to be acted upon by the Board of Directors. Every member of the Society can aid in this enlargement of the organization by a little personal solicitation in the various sections of the state among the members of the profession who are not already enrolled on the books of the Society. With 78% of the architects of Indiana now members of the State Society a little effort ought to land a large percentage, if not all, of the remaining 22% still without the fold.

MOVING ABOUT.

Architects Bass-Knowlton & Co., Indianapolis for years located at 801 Hume-Mansur Bldg., have removed their offices to 312 North Meridian St.

Architect Merritt Harrison, 500 Board of Trade Bld., Indianapolis, has returned from a business trip to Chicago.

Architect Alfred E. Neucks, Evansville is back at his drawing tables 510 Peoples Bank Bldg., after a business mission to New York City.

Gilbert Karges, Architect, 305 Furniture Bldg., Evansville, was in Indianapolis this week.

Architect Clifford Shopbell, 707 Furniture Bldg., Evansville, has been down in Kentucky the past week taking care of some awarding of contracts, and incidentally lining up some new work.

Architect E. F. Miller, Anderson, called at the office of the secretary of the Society at Indianapolis several days ago.

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The adjective 'cozy' is the one word that always should be associated with that of bungalow, but how easy it is to omit it in the design. And this is the point. The coziness must be built into the design for it won't get there without thought.

A passageway in a bungalow is as superfluous as a leak in a ship. It is a place where draughts gather and from which they make themselves felt.

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ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller.....President
Ralph E. Seiffer.....Secretary

Office of Secretary, 411 Sycamore St.

NOT BIG BUT DOES INVOLVE INCREASES OVER PREVIOUS BUILDING FIGURES.

August with a \$169,540 total estimated valuation for the building permits granted in Evansville during that month made it possible for the local building figures to top those of the corresponding period last year. The margin of gain though small tacks on another increase to the total valuations for the 8 months of 1922 over the same time for 1921.

The August total also exceeds the July, 1922 total by \$14,500. None of the individual projects were large, most of them being modern medium priced residences, in fact, this has been an off year for large building projects and home building activity has carried the burden in holding up the local building activity.

During the first eight months of 1922 there have been building permits issued in Evansville involving a total estimated investment of \$1,490,714 as against \$878,386 covering the building construction activities for the corresponding span of time in 1921. This is a gain of 69.8% over building operations for the same period last year.

CHIPS AND SHAVINGS.

Main st. is still "dolling up." At the Andres store general contractors J. Bipus and Son, are putting in new entrances to cost approximately \$3,000.

Clean up time is here and the contractors are rapidly bringing their projects around to the finishing stages for early fall occupancy.

There has been a great deal of remodeling of the older residences about town into duplex apartments which, together with the numerous new residences that have been built this season, will offer an easing of and a solution, to some extent, of the housing problem.

General contractors C. Kanzler and Son are putting the finishing touches on the \$13,000 S. J. Eickel residence. This firm

likewise is putting a new store front in the Schultz store at 325 Main st.

Anderson and Veatch, general contractors, are still hitting on six cylinders which is to say they are going right along on their big residence building program.

But the end is not yet, every week new projects are cropping out for bids to keep the contractors busy figuring.

BIG RESERVOIR CONTEMPLATED.

There is a proposition on foot, that if it materializes, will make for a nice concrete job in Evansville. The water company has under contemplation the construction of a 12,000,000 gallon capacity settling reservoir. Negotiations are now on with a Chicago engineer for estimates on the project looking to the issuance of bonds to take care of the proposed work.

FT. WAYNE

BUILDERS' EXCHANGE
Member State A. B. C.

Max Irmscher.....President
Eph Dailey.....Secretary
825 Calhoun St.

Phone 2001

NEW MONTHLY BUILDING RECORD MADE BY AUGUST ACTIVITY.

With the total cost of new construction work started in this city during the month amounting to \$1,634,574, a new building record for Fort Wayne was established during August. By the wide margin of more than \$400,000, the month's building expenditures shattered the previous high record set in November, 1921, when permits were obtained for construction work costing \$1,178,760.

During the month ending today, a total of 221 building permits were issued. A large percentage of them, nearly half of the total granted, went for the erection of new residences. The biggest single piece of construction started during the month was the new office building of the Lincoln Life Insurance company, the estimated cost of which is \$975,000.

Including the work begun during August, the total cost of new building in Fort Wayne so far this year is \$5,437,504. The record of each month is as follows:

January, \$136,660.
February, \$191,035.

March, \$573,375.
April, \$581,385.
May, \$701,285.
June, \$903,455.
July, \$715,735.
August, \$1,634,574.

Another record month is expected in September, when it is predicted a permit will be granted for the new First National bank building, approximately a million dollar structure.

CONTRACTORS HAVE PROVED IT.

That it pays to stick to one's knitting is proved by Ft. Wayne's building experience this year. The contractors, especially the members of the local Builders' Exchange, were confronted with some most disagreeable conditions, but, instead of quitting, they set about to meet them, battled tenaciously and have been able to keep things moving until the local building business for 1922, so far has assumed record proportions. The big projects that have gone ahead, and practically every one of those that were contemplated for this season have gone ahead, have meant nice business for the various general and sub-contractors, while the medium sized projects and new residences have taken up what ever slack there might have been in the local situation.

Summing up things as they pertain to Ft. Wayne building construction, the city has dressed up considerably this year, and everybody connected with the industry has been busy.

WOULD LOOK GOOD AS TICKED OFF

If building news was conveyed by "ticker" service the announcement from Ft. Wayne for August, 1922, on the tape as it unwound, would read: Permits, 221; estimated valuation, \$1,634,574.

THIS, TOO, REFLECTS REASON FOR SO MUCH BUILDING.

Often times, in fact most all the time, building activity is greatly encouraged and made possible by the trend of things in the realty market. That being the case, it is not hard to understand why building construction has been one of Ft. Wayne's business leaders in 1922. During the first six months of this year there was \$6,671,451 worth of property sold. A considerable part of this consisted of lots for new home sites and another part was made up of new residences built this year that were bought up by those who became imbued with the idea of "Own Your Own Home."

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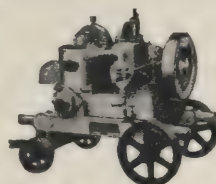
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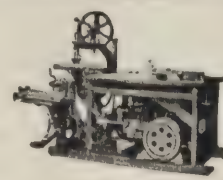
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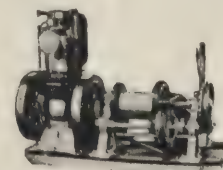
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INDIANAPOLIS

Building Contractor's Association
Member State A. B. C.

F. W. Junglaus.....President
C. C. Pierson.....Secretary
320 Peoples Bank Building

MEETINGS.

Executive Committee meets second Tuesday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

Mason Contractors Association meets every Thursday—1 P. M.

General Contractors meet second Friday each month.

PLANS ON FILE.

At 320 Peoples Bank Building,
Indianapolis.
None this week.

WAIVER OF LIEN.

None filed with Marion County Recorder this week.

RECORD BUILDING ACTIVITY OF 1921 ALMOST EQUALED.

Though building construction in Indianapolis during August, according to the figures of the city building inspector, was considerably less than that of July, in fact the total estimated valuations were \$1,274,407 under those for the previous month, the volume of business was good and was away ahead of the amount turned in in August, 1921. There were actually 128 more permits granted in August than in July and 230 more than in August a year ago.

Last months' building volume in the matter of the amount of money involved ranked fifth in the monthly totals. August was one of the six months of the eight so far this year that have recorded estimated new building construction valuations of over \$2,000,000. Last year during the first eight months there were but two of them that turned in estimated valuations of \$2,000,000 or over for the permits granted, this as against six for the corresponding period of 1922.

To gain some idea of the large volume of building construction operations in Indianapolis during this season one has but to ponder these facts; for the entire year 1921 the estimated valuation of the projects for which permits were issued amounted to \$18,328,965; for the same item, the first eight months of 1922 show \$17,717,621. In other words the building activities in Indianapolis for two thirds of this year lack just \$611,344 of equaling the total building operations for the entire year of 1921, which means that only a miracle can prevent the building record of 1922 exceeding Indianapolis building construction figures for 1921, which year set the greatest building record ever recorded in Indianapolis.

GREETINGS FROM THE WEST.

Of late the absence of General Counselor Harry A. Fenton of the Associated Building Contractors of Indiana at the various conferences of that body has made itself felt and here is the answer to that oft repeated question, "Where is Harry?"

Portland, Ore., Aug. 28, 1922.

Indiana Construction Recorder,
Indianapolis, Ind.

Dear Friends:—Am having a delightful time. This is the land of beautiful scenery, homes, buildings, flowers, etc. Am seeing and learning a lot in the various cities from our contractor friends, how they build and their methods.

Best wishes to all,

HARRY A. FENTON.

His friends in the State A. B. C's., will be pleased to know that he has successfully negotiated the first lap of his western trip. It was several years ago that Mr. Fenton started for the West to get as far as Denver where he was stricken severely with sickness and had to be brought home where he was laid up for months.

Now that he has gained his goal the A. B. C's., can look forward to some interesting talks on Western contracting next winter when Counselor Fenton returns.

WHAT THE CONTRACTORS ARE DOING.

In addition to the several large downtown projects that will run close to \$1,500,000, the Wm. P. Junglaus Co., is starting work on N. Meridian street for the \$150,000 auto sales building for the Olin Sales Co. This contracting company also has the contract for a \$118,000 power building at the Sewage Disposal Plant twelve miles south of the city.

General Contractors Conder and Culbertson are working on the \$115,000 Knights of Columbus Club House addition on N. Delaware street and are excavating for the \$60,000 gymnasium addition to the Central Avenue M. E. Church.

A \$40,000 fire rebuilding job at the Gem Laundry and a \$30,000 store and flat building at 38th and College avenue are among the new projects that are holding the attention of General Contractor J. G. Karstedt.

Up near Pendleton, Ind., where general contractors Latham and Walters, Indianapolis, are erecting the new \$3,000,000 State Reformatory, construction activity is at its height, things swinging along at a rapid pace. Considerable progress has been made on two new industrial buildings and the big power house is under way. Latham and Walters are also now engaged in completing the big warehouse for the Central Public Warehouse Co., at Kentucky avenue and Sand streets.

BUILDING PERMITS.

(\$4,500 and Over)

(Week of August 31st to Sept. 7th)

Apartment Building: \$60,000, 3601 Washington Blvd. Owner, Jose-Balz Co., 742 Lemcke Annex. Owner builds

and awards separate contracts. Brick.

Residences (3 doubles), \$13,000 total. 33-35, 37-39, 41-43 South Colorado. Owner, Walter E. Smith. Located at site. Frame.

Church: \$10,000, 227 Good St. Archt. and contractor, Walter T. Lents, 5733 Oak St. Owner, First Baptist Church, 227 Good St.

Residence (double), \$10,000, 2947-49 Central Ave. Owner, C. B. Spann, 217 E. Fall Creek Blvd. Owner builds.

Residence (double), \$9,500, 3938-40 Ruckle St. Archt., Geo. Bedell, Aetna Trust Bldg. Owner, Francis M. Ohleyer, %Fletcher Trust Co. General contract let to Raymond M. Green, %Owner. Frame.

Planing Mill: \$9,000, 1423 Commerce St. Owner, Jas. H. Galloway, Pres. Brookside Lumber Co., 1423 Commerce St. Day work.

Residences (2), \$9,000, total. 634 N. Emerson and 5075 E. Walnut St. Owner, George M. Clegg, 4958 Grace-land.

Residence: (double), \$8,500, 937-39 N. Bancroft. Owner, Realty Finance and Building Co.

Residence (double) \$7,500, 4212-14 E. Washington St. Owner, George Hitz, 28 S. Delaware t.

Residence (double), \$7,500, 3110-12 Bellefontaine. Owner, Milfred Johnston, 3107 Bellefontaine.

Residence: \$6,500, 517 Berkley Road. Owner, Louise Powell, 6190 Cornell.

Residence: (double), \$5,800, 1819-21 Koehne. Owner, W. J. Jones, % Contractor. Contract let to Chas. Van Sant, 1825 Dexter.

Residence: \$5,500, 5132 Norway. Owner, Edwin Popp, 919 English Ave. General contract let to Unversaw and Son, 1155 Shelby St.

Residence (double), \$5,500, 901-03 Iowa St. Owner, Fred Brandt, 829 Wright St.

Residence: \$5,000, 55 N. Brookville. Owner, J. F. Breedlove, at site.

Residence: \$5,000, 14 N. Hawthorne Lane. Owner, General Finance and Investment Co., 907 Merchants Bank Bldg.

Residence: \$5,000, 3710 Salem St. Owner, Madge D. Woods, %Contractor. Contract let to John T. Metzger and Son, 3041 N. Capitol.

Residence: \$4,750, 5120 E. Michigan. Owner, Service Building Co. Contract let to J. C. McDonald, 802 Shelby St.

Residence: \$4,500, 543 N. Dearborn. Owner, S. C. Kirkpatrick, 2307 East 38th St.

SEPTEMBER CONFERENCE DATE NOT YET OFFICIALLY SET.

The date for the next A. B. C's. conference, scheduled for incennes this month has not been set to date. The Vincennes A. B. C's. extended an invitation to the contractors gathered at Terre Haute several weeks ago to hold the next conference at Vincennes. This proposition was accepted, the time for the meeting being left to the convenience of the Vincennes contractors. Since the contractors' association down in Knox County meets the first Monday of each month, and Labor Day interfered this week it is possible that definite conference action will be taken next Monday night with an official announcement to follow on Saturday, Sept. 16.

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J. Wesley Reed ----- President
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Hammond, Indiana**MEETING NIGHTS**General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.**A REAL ISSUE.**

The man who stops to think for a moment is inclined to form the opinion that the time is coming soon when some action will have to be taken to determine whether the ruling power of this country is to be a government of the people and for the people, or a government controlled by Organized Labor leaders. After studying the moves and concessions that have been made in the last few years it appears that the leaders of labor organizations were getting to the point where they considered it their sole right to dictate to the commercial life of the Nation and dominate the policy of the Government.

If the perpetrators of such acts as were pulled off at Herrin, Ill., while the coal strike was on, and at Gary, Ind., in the present rail strike, not to mention scores of other lawless acts, are not promptly punished it will not be long before the country is to be controlled by the fear of the moves that Organized Labor will resort to as means of reprisal against any action that may be taken to hold the radical element of Labor in check.

The time has arrived for our officials and legislators to arise like HE men and give the lawless elements, that are seeking to sway labor, to understand that criminal lawlessness is not to be tolerated in the United States, that a certain class may carry its selfish aims regardless of the vast majority of the citizenry. If law and order is to rule there must be a general understanding among all citizens, irregardless of their paths of life, that swift and proper punishment will be handed out to the lawless without fear or favor, and that the time is past for subservient efforts to placate disgruntled factions.

NOTHING ELSE TO DO.

When the interests of the vast majority of the citizens are given into the protection of the Government, and the minority of the citizenship so far disregards the great interest of the whole people there is but one thing for the Government, through its representatives, to do. That is what the action taken by Attorney General Daugherty at Chicago amounts to. The injunction asked for and granted temporarily was simply a means to keep the commercial and industrial life of the country alive.

It seems strange that Mr. Gompers and some of his lieutenants do not awaken to the position they now occupy in the estimation of the people at large.

The outcome of this latest move will be watched with interest by the whole country, for, it should bring matters to a show down as to whether the minority is to rule, or, whether it is to fall in line and act in conjunction with the great majority.

CALUMET BUILDING PROGRESS.

The Great Lakes Dredge & Dock Co., which is putting in the filtering well and the foundations for the new water works, has the well about finished and has started on the foundations for the buildings. It has taken considerable more time than was expected and it will be impossible to get the new plant ready before early spring.

English Bros. of Champaign, Ill., who are building the new high school at Whiting have the first story about completed.

The Great Lakes Construction Co., has the foundation and swimming pool completed and are well along on the first story of the \$460,000 Community Building at Whiting.

Danner, Gohman & Meyers have the brick work about completed and several rooms plastered on the Lincoln School on the North Side. They have been delayed because of the shortage of bricklayers.

E. E. COLE.

MUNCIEAssociated Building Contractors
Member State A. B. C.Chas. Rowe ----- President
J. A. Gallivan ----- Secretary

314 Main Street

**HAS HURDLED MANY OBSTACLES
TO ESTABLISHMENT OF
RECORDS.**

No better evidence of the strength and stamina of the building industry is needed than the performance of that industry in the past few years even up to and including this season. It is only the grit and vitality of the building construction business and its essentialness that made it possible to continue, not only that but to gain in volume month after month and year after year piling up record figures right along despite the handicaps that were placed in the way.

A solar plexus blow was directed its way when the war came on, and while other lines of industry rode along on an abnormal tide that was directed their way, the great building industry wallowed helplessly in the troughs of the waves that were carrying prosperity on their crests. Building, however, weathered the storm and adverse currents to ride forth staunch and firm, though strained, when the calm came. Given a chance, building gained headway at the jump only to run into more impediments, such as high prices and wages that caused costs that frightened prospective

builders. On top of this came strikes among the building trades crafts, but little by little these obstacles were removed and building construction has moved ahead.

Such has been the experience in Muncie, just as it has been in other cities not only in Indiana but all over the country. Nevertheless, Muncie this year has had one of its best building seasons, the building trades mechanics, railroad shopmen's and coal miner's strikes notwithstanding. However, the coal shortage is beginning to make itself felt in certain material production lines and shipments are somewhat uncertain. Coming as it does at the end of the active building season these influences will not affect local building to any great extent as the big work has been cleaned up or is well under way and most of the material is on the ground.

It was a good year for the local contractors all of whom have been very busy all season with the result that the city has been greatly improved in the way of some nice sized projects not to mention the numerous dwellings that have made their appearance this season. Next year the contractors are expecting even more active building operations.

**MUCH RESIDENCE BUILDING DONE
IN SMALLER INDIANA CITIES.**

While Muncie was building along at a good rate so were her sister cities in this section, according to the information that has come to members of the local A. B. C.'s. Anderson, Kokomo and Marion have leaned more to residence construction than other types and are in a position now to better care for the housing of the citizens both as regards to those who live in or may be attracted to these cities. Anderson and Kokomo, especially, so the word goes, have built many new dwellings.

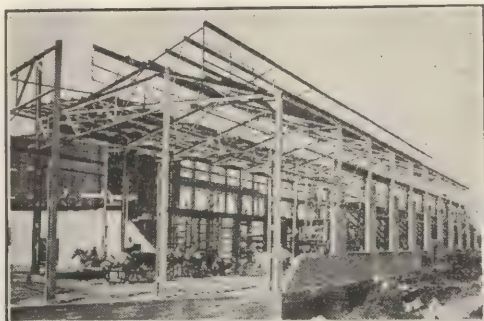
**ANOTHER INSTANCE OF RULE
OR RUIN.**

Just how much regard certain building crafts have for their allied tradesmen is exemplified by the action of the plasterers at Lafayette. Over there the shortage of plasterers and wage rumors from other localities seemed to sound the signal for a demand for more wages. This demand was forth coming without warning to the contractors many of whom had figured projects last spring at the current labor wage scales at that time. Then, in July, when the various jobs had reached, or, were nearing the plastering stage the plasterers demanded an advance in wages. Many owners immediately announced they would postpone their contemplated projects, while the general contractors refusing to be taken advantage of closed down their work. The outgrowth of the plasterers' action promises non-employment for many of the other building trades mechanics who, had no cessation of building arisen, would have been assured of employment into the late fall and some even through the winter. The most serious blow dealt to the Lafayette building activities fell over at Purdue where the Board of Trustees called an absolute halt on an extensive building program that was to have run into hundreds of thousands of dollars.

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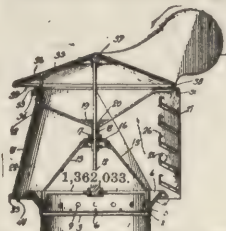
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INDIANA CONSTRUCTION RECORDER

FOR
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ENGINEER

Devoted to the
Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

VOL. IV

INDIANAPOLIS, INDIANA, SEPTEMBER 16, 1922

No. 24

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CRASH!—GREAT BUILDING RECORD FOR INDIANA IN 1921 FALLS BEFORE ACTIVITY OF FIRST EIGHT MONTHS OF 1922.

It has been done.

The great building total rolled up by the construction operations in Indiana's eight leading cities during the year of 1921 for an unheard of record for 12 months, up to that time has been topped, not only that but smashed with a crash, for those self same cities, by their 1922 building construction activities, have piled up figures in the first eight months of this year that exceed by \$761,020 or 2.1% the combined total estimated valuations for the entire operations of 1921. Since there are still four more months of building construction to be recorded in 1922 it can readily be seen that this year's building total in these eight leading cities will unquestionably set a most enviable record and one that it is going to be hard to beat in the next few years to come.

As compared with the entire 1920 building figures of these eight cities, the total for the first eight months of 1922 is \$5,999,984, or 19.5%, ahead of the 1920 totals.

Reviewing the building activities of the eight individual cities, the figures, for the first eight months, show that six of these cities have turned in totals considerably ahead of those for the corresponding period a year ago, while one of them, Terre Haute, is only 1.9% behind. Gary alone trailed badly, being 22% in arrears of the figures for the first eight months of 1921.

The most remarkable building performance in 1922 has been staged by South Bend, whose \$6,339,694 is a gain of 117.9% over the first eight months of 1921 and is 52.8% ahead of that city's entire 1921 building total. Ft. Wayne with \$5,441,374 from January 1 to September 1, 1922, shows a gain of 109% over the same period a year ago and is 13.3% in excess of her building activity for 1921. Evansville for the eight months of 1922 shows a gain of 69.8% over the same figures last year, and 24% gain over her entire 1921 building operations. Richmond for the eight months in 1922 as compared with the same period in 1921 gained 74.4% and has \$15,414 to go to match the total for 1922. In like manner Indianapolis gained 43.6% with still over half a million to go to reach the 1922 total. Hammond gained 24% with \$121,760 needed to top her entire 1922 figures. Terre Haute with a slight loss on her operations for the first eight months of 1922 still has to do \$489,667 worth of building between September 1st and January 1st to equal her 1921 building record. Gary, 22% behind for the eight months of 1922, has \$925,767 more building operations before her for the balance of the year to break even with last year's building record.

The totals still to be met by the five Indiana cities are not a handicap by any means and it will not be surprising if every one of the eight cities surpasses their entire 1921 totals before the first of the year, in fact, the big surprise will be occasioned by a failure to accomplish this task.

Building permit records as they stack up to September 1st are:

Cities	First 8 Mos. 1922	First 8 Mos. 1921	Entire Year 1921
Evansville	\$ 1 490,714	\$ 877,600	\$ 1,198,937
Ft. Wayne	5,441,374	2,603,518	4,799,756
Gary	1,954,326	2,493,740	2,880,093
Hammond	1,820,850	1,451,785	1,942,610
Indianapolis	17,517,621	12,194,225	18,328,965
Richmond	460,644	264,133	476,058
South Bend	6,339,694	2,908,281	4,148,117
Terre Haute	1,724,348	1,757,928	2,214,015
Total	\$36,749,571	\$24,551,210	\$35,988,551

WARNS AGAINST NEW INFLATION.

President Franklin D. Roosevelt, of the American Construction Council writes a note of warning against present evidences of a new era of inflation. Here is the text of his letter addressed to National President Klie of the Building Trades Employers' Association.

The extraordinary postwar era of prosperity which came to a peak in 1920 and was characterized by mounting prices, advancing wages and increasing volume of business, went so far that the slump which followed it in 1921 was inevitable. Again, the great demand for products and especially construction has started us on an era of higher prices and higher wages. Inflation seems imminent; will reaction follow?

Railroad ton mileage in 1920 reached a point 5 per cent higher than the record figure of 1918 caused by war-time exertions. Construction undertaken in 1920 exceeded any records previously set. From the spring of 1919 to the peak in 1920, wholesale prices based on 1913 as a level increased from 193 to 247 and building materials from 169 to 300. "The Buyers' Strike" followed, business entered upon an extreme depression, and wholesale prices dropped back to 138 and building materials to 155.

The present revival of business activity is just cause for rejoicing. Carloadings, exclusive of coal, for 1922 have so far broken the records in 1920, but the revival is accompanied by disquieting symptoms. Wholesale prices have risen again from 138 to 150, building materials from 155 to 167. Wages did not go up as fast as prices in 1919 and 1920, but they gathered momentum as they went and continued upward after prices began to come down. Some reductions from the peak have been made, but again there is a tendency to advance.

Expressed in simple terms this means:

If we are to keep construction activity steady and stable for the next five years, in view of the volume of work which should be done, we must consciously avoid periods of skyrocketing either in prices and wages. While the demand for the moment may make possible unusual prices and wages, it will only prove a boomerang if the public decides to stop buying again. Isn't it better

to forego temporary advantage if by so doing industry is kept moving at a steady, stable, healthy pace continuously?

I urge your thoughtful consideration of these suggestions and request your co-operation in helping to maintain stability in the construction industry.—Monthly Bulletin, Building Trades Employers' Association.

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News of the Week

The asterick (*) prefix to an item indicates additional information to report published in previous issue.

INDIANAPOLIS.

Electric Light & Power Plant (addition and equipment), \$200,000, 1 sty., 28 ft. extension to present building, Crawfordsville, Ind. Consulting engineer, Harry C. Carroll, 511 Traction Terminal Bldg., Indianapolis. Owner, City of Crawfordsville, c/o City Clerk, City Hall, Crawfordsville. Plans in progress. Owner will advertise for bids this fall. Brick, comp. roof, 200 ft. radial brick stack, 1 3,000 K.W. turbine, 1 service condenser and Aux., 750 H.P. water tube boiler, mechanical stoker, 35 K.W. exiter, 5,000 H.P. heater, coal way larry, piping, switchboard wiring.

***Power Plant (Equipment)**, New Indiana State Reformatory, Pendleton, Indiana. Archt., Herbert Foltz, 845 Lemcke Annex, Indianapolis. Owner, Indiana Reformatory, J. H. O'Neill, Purchasing Agent, Pendleton, Ind. Owner receiving sealed bids to close October 4th at 2:00 P. M. for the following equipment: 4 horizontal type water tube boilers, 400 H.P. each; 5 steam driven outside packed duplex boiler feed pumps, 1 steam driven and 1 electric driven vacuum pumps, 1 hot water heater and storage tank, 12,000 gal. per hour capacity, 1 receiving tank, water softener, 3 engine generators, hot and cold water circulating pumps (steam driven), 2 1 deep well pump (motor driven) air compressor, fire line pumps, 2 open type feed water heaters.

City Hall (rem.) Greensburg, Ind. Archt., C. R. Yater, St. Paul, Ind. Engineer, Snider and Rotz, Merchants Bk. Bldg., Indianapolis. Owner, City of Greensburg, c/o City Clerk, Greensburg. Plans completed. General alterations, cast iron boiler, breeching, radiation, fixtures, piping, fan, ventilating.

Gas Plant (improvements), \$40,000, Prospect St. Plant. Owner, Citizens Gas Co., Majestic Bldg. Taking bids. Concrete.

Contracts Awarded.

Garage and Service Station: 1 sty., 60x200, 1136 N. Meridian St. Archt., Fernor S. Cannon, 21 Virginia Ave. Owner, Indiana Battery Service Co., Henry C. Churchman, Pres.; George Taylor, Secy., 1007 N. Meridian St. General contract let on cost plus basis to the Hall Construction Co., 406 Board of Trade Building. Plans in progress. Brick, steel, comp. roof, steam heat, steel sash.

Machine Shop (rem. from foundry, 100

x200) and an addition 1 sty., 75x100. Archt., Mothershead and Fitton, 540 N. Meridian St. Owner, The Rockwood Manufacturing Co., George O. Rockwood, Pres., 1801 English Ave. General contract awarded to The Builders Construction Co., 540 N. Meridian St. Brick, heavy mill construction, wood block floors, steel sash, gravel roof, sprinkler system, traveling crane, heating, plumbing, wiring.

Hotel (rem. from 3 sty. building), N. W. corner of Illinois and North Sts. Archt., Mothershead and Fitton, 540 N. Meridian St. Owner, Prudential Realty Co., c/o Archt. General contract awarded to the Builders Construction Co., 540 N. Meridian St. Work will consist of new heating plant, new plumbing, metal lath in channel partitions, plastering, tile and marble work and general alterations.

Residence: \$22,000, Pennsylvania near 16th. Owner, Miss Grace Alexander, 520 N. Audubon Road. General contract awarded to W. C. Brydon, 5135 Norway. Work not started. Brick.

***Hotel (addition), \$200,000, 6 sty. & bas., 44x90, Springfield, Mo.** Archt., H. Ziegler Dietz, State Savings and Trust Bldg., Indianapolis. Owner, Colonial Hotel Co., John Landers, Colonial Hotel, Springfield, Mo. General contract let to Caldwell and Son, State Savings and Trust Bldg., Indianapolis. Heating and plumbing to J. D. Manley Plmg. Co., Springfield. Brick.

***Church:** \$36,000, 1 sty. and bas., 40x70, 1129 N. Sheffield St. Private plans. Owner, St. Paul Baptist Church, Rev. James P. Holmes, Pastor, 1145 N. Sheffield. General contract let to Olive A. Day, 220 West 30th St. Brick.

***Residence:** \$40,000, 2 sty. and bas., 41x62, 4936 N. Meridian St. Archt., Frederick Wallick Hume Mansur Bldg. Owner, Dr. Goethe Link, 608 Indiana Pythian Bldg. General contract let to Albert Fuller, 438 N. Emerson Ave. Brk. tile and stucco.

***Telephone Exchange (addition), 3 sty. and bas., 32x32, \$30,000, 30th and New Jersey.** Private plans. Owner, American Telephone and Telegraph Co., C. W. Hadlock, Dist. Mgr., 3001 N. New Jersey St. General contract awarded to Schlegel and Roehm, 6th floor, Lombard Bldg. Brick.

***Stores:** \$10,000, 1 sty., 37x74, 4616 E. Michigan. Archt., Chas. Bacon, Odd Fellows Bldg. Owner, V. M. Concannon, 4612 E. Michigan St. General contract let to J. M. Hall, 423 Wallace St. (Note correct contractor.)

***Store Rooms (5), \$12,000, 40th and Boulevard Place.** Owner and contractor, Fred Mueller, 319 West 40th St., 1 sty., 40x40 and 60x66. Excavating.

BEDFORD.

Contracts Awarded.

Store and Apartment Building (4 stores), \$32,000, 5th St. Owner, Bell Cleaning Co. General contract let to Bedford Steel and Construction Co. Brick.

Store (addition). Owner, R. T. Beddoe (drugs). General contractor, Bedford Steel and Construction Co. Brick.

Business Block, 2 sty., West 16th St. Owner, Arthur Stripp, c/o Arthur Stripp Battery and Service Station. Brk. and tile. Owner builds.

EVANSVILLE.

***Factory (Cigars), 4 sty. and bas., 75x150, \$75,000, 2nd and Division Sts., Evansville.** Archt., Alfred E. Neucks, 515-16 Peoples Bank Bldg., Evansville. Owner, General Cigar Co., Inc., 119 W. 40th St., New York City, N. Y., Evansville office, No. 2 Upper 2nd St. Plans in progress. Brick, heavy mill construction, maple flooring, steel sash, saw tooth skylights, 8 ft.x110 ft.; new heating plant, plumbing, wiring, elevator. Archt. receiving bids for the wrecking of the old building on the present site. Size 4 Sty., 38x70.

Residence: \$12,000, Akin Drive, Hart Place. Archt., Alfred E. Neucks, 515-16 Peoples Bank Bldg. Owner, L. J. Hubert, 612 First Ave. Plans in progress, 1 sty. and bas., 52x45. Brick over hollow tile, hot water heat, tile porch floor and bath rooms, hardwood floors.

***Automobile Sales and Service Station:** \$60,000. Archt., Clifford Shopbell and Co., Furniture Bldg. Owner, Fellwock Motor Co. Bids are being received at the office of the architect to close September 20th at 2:00 P. M. Brick, steel, concrete, comp roof, steel sash, steam heat.

***Hospital (addition), 16 rooms and 4 private baths, Henderson, Ky.** Archt., Clifford Shopbell and Co., Furniture Bldg., Evansville. Owner, Mosely Hospital, Henderson, Ky. Archt. receiving bids. Brick.

***Lodge Building (rem.), Tell City, Ind.** Archt., Clifford Shopbell & Co., Furniture Bldg., Evansville. Owner, Knights of Pythias, Tell City. Archt. taking bids general alterations.

***Stores and Offices:** \$30,000, 2 sty., 45x100, Central City, Ky. Archt., Capelle and Troutman, 409 American Trust Bldg., Evansville. Owner, R. L. Bennett, Central City, Ky. Bids rejected, will revise plans and take new bids in spring. Brick.

National Home for Aged Widows and Orphans: Dixie Bee Highway, near Evansville. Owner, Order of Lions Lodge. Landscape architect, Edward Kerth, City Hall, Evansville. Will ma-



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ture early spring. Definite data later.
Contracts Awarded.

Garage and Living Quarters: \$6,000.
 Owner, M. D. Helfrich: General contract
 let to M. J. Hoffman Construction Co.,
 1 sty., 30x40.

FT. WAYNE.

Church: 2 sty. and bas., Oliver and
 McKee Sts. Archt. (Chicago Archt.
 name withheld). Owner, Immanuel Bap-
 tist Church, Rev. B. F. Martin, pastor.
 Preliminary plans in progress. Brick
 and stone. Definite data later.

***Hotel (Keenan),** \$900,000. Archt.,
 Chas. Weatherhogg, Citizens Trust
 Bldg. Owner, Keenan Hotel Co., James
 Keenan, Pres. Taking bids.

***Sunday School Building** (addition to
 church), \$45,000. Archt., Griffith and
 Goodrich, 211 E. Berry St. Owner, First
 Evangelical Church, Geo. Gunder, Ohmn.
 Plans in progress. Brick. (Note archi-
 tect.)

***School:** 1 and 2 sty. and bas., 178x
 157, Pierceton, Ind., Washington Twp.,
 Kosciusko County. Archt., Griffith and
 Goodrich, 211 East Berry St., Ft. Wayne.

Owner, Archibald J. Menzie, Trustee,
 Pierceton, Ind. Low bidder on general
 contract, Noah Frantz, Silver Lake, Ind.
 Everything included in general contract,
 will award in a few days.

Residence: (Colonial type), \$15,000, 2
 sty. and bas., 50x26, Lake Ave. Archt.,
 F. G. Fortney, 5th floor, Bass Block.
 Owner, Mrs. Susan Simminger. Plans in
 progress. Brick veneer, furnace heat,
 shingle roof, hardwood floors.

***Y. W. C. A.** (addition), swimming
 pool. Archt., J. F. Wing, 215 W. Creigh-
 ton Ave. Owner, Young Women's Chris-
 tian Assn., Miss Ida L. Jones, Secy.
 Plans in progress. Expect to ask for
 bids soon. Brick.

Residence: \$40,000, 2 sty. and bas., 43x
 42. Archt., A. M. Strauss, 705 Shoaff
 Bldg. Owner, W. K. Noble, 902 Hayden
 St. and 420 East Wayne. Plans in pro-
 gress. Brick veneer and frame, tile roof,
 vapor heat, tile and hardwood floors.

Residence: \$15,000, 2 sty. and bas., 42x
 28, Lake Wawasee, Ind. Archt., A. M.
 Strauss, 705 Shoaff Bldg., Ft. Wayne.
 Owner, Chas. Able, c/o Archt. Plans in
 progress. Frame, water system, shingle
 roof, septic tank.

***Apartment Building** (rem. and add.),
 4 apts. Archt., A. M. Strauss, 705
 Shoaff Bldg. Owner, Louis Novitsky,
 1106 Erie St. Archt. receiving bids.
 Frame, vapor heat, shingle roof, 4 baths.

Residence (Alt.), \$5,000, North Man-
 chester, Ind. Archt., A. M. Strauss, 705
 Shoaff Bldg., Ft. Wayne. Owner, Miss
 Fannie Oppenheim, North Manchester,
 Ind. Plans in progress.

***Store Buildings** (2), alterations.
 Archt., A. M. Strauss, 705 Shoaff Bldg.
 Owner, Eastern Cut Rate Tobacco Co.
 (1) store, taking bids; (1) let to Paul
 Kinder.

Contracts Awarded.

***Orphan's Home:** \$60,000, 2 sty. and
 bas., 68x38, LaGrange, Ind. Archt., A.
 M. Strauss, Shoaff Bldg., Ft. Wayne.
 Owner, Board of County Commrs., La-
 Grange. General contractor, Floyd Peck,
 Topeka, Ind. Excavated.

***Residence and Garage:** \$75,000.
 Archt., Mahurin and Mahurin. Owner,
 Henry Paul, Prest., Ft. Wayne Engineer-
 ing and Mfg. Co. Archt. taking separ-
 ate bids. Brick work let to Max Im-
 scher and Sons, all of Ft. Wayne. (Note
 correction of Archt.)

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*Residence: \$7,000. Archt., Henry Schnorr, Noll Bldg. Owner, Fred H. Schoppman, 1715 California St. General contract let to Heath Bros.

Building Permits.

Residence: \$5,000. Owner, Karl L. Miller.

Residence: \$5,000. Owner, V. E. Nico-demus. (3 residences, \$5,000 each.)

Residence: \$30,000. Owner, F. L. Smock, 527 W. Berry. Contractor, Albert Weinman.

Residence: \$7,000. Owner, Heath Bros., 1115 Delaware St. Owner builds.

Residence: \$5,000. Owner, P. P. Pierce, 1229 Crescent. Owner builds.

Residence: \$6,500. Owner, Hiege-man & Schaff, Noll Bldg. Owner builds.

Residence (2): \$6,500. Owner, Hiege-man & Schaff, Noll Bldg. Owner builds.

Residence: \$5,000. Owner, John Ner-unt, 1524 Franklin St. Owner builds.

Residence: \$5,000. Owner, John B. Wunderlin, 1221 Lynn St. Owner builds.

Residence: \$6,100, 2405 Kensington. Owner, E. F. Roth.

Residence: \$4,800, Lynn Ave. Owner, Monroe Snyder.

Residences (4), \$5,500 each, 1916 Lynn Ave., 1912 Lynn, 2515 Kensington, 2243 Thompson.

Residence: \$5,000. Owner, John Essig, Oak Knoll, Route No. 2. Owner builds.

Residence: \$5,000. Owner, F. W. Ruckel, 1337 State St. Owner builds.

Residence: \$5,500. Owner, E. G. Pfeiffer, Mildred Ave., Route No. 4.

Residence: \$5,000. Owner, A. H. Van Horn, 2501 Chestnut St.

Residence: \$5,000. Owner, Wm. Nos-senstein, 2701 John St.

Residence: \$5,000. Owner, Federal Bldg. Co., 127 E. Berry St.

Residence: \$5,000. Owner, W. Harrod, 2401 Florida Drive.

Residence: \$5,500. Owner, John W. Jessup, 3216 Beaver Ave.

Residence: \$5,700. Owner, Louis F. Mesing, 2817 Hanna St.

Residence: \$5,400. Owner, C. Dries-bach, 526 Shoaff Bldg.

GARY.

*Theatre and Stores: 3 sty. and bas., 75x200. Owner, Vern N. Young, 451 Jef-ferson St. Contemplated, definite data later.

Store Building: \$15,000. Archt., Joe H. Wildermuth, 690 Broadway. Owner, Dr. G. Anthoulis, 66th and Broadway. Plans in progress. Brick.

Apartment Building (12 Apts.), \$45,000. Archt., L. Henry Warriner. (Plans only), 673 Broadway. Owner, John A. Greenberg (contractor), 522 Broadway. Owner will build and award separate contracts. Start work shortly.

GOSHEN.

Lake Cottage: 1 sty. and bas., Lake Wawasee. Owner, Mr. and Mrs. W. W. Forbes, Goshen, Ind. Plans in progress, mature early spring.

Garage: \$12,000, 1 sty., 57x150. Own-er, Chas. F. Montague and Frank Laid-law. Owner builds, work started.

HAMMOND.

Dairy Building: \$100,000, 2 sty., 70x 55x153. Archt., A. C. Berry and Co., Ruff Bldg. Owner, Hammond Dairy Co., 680 Oakley St. Plans in progress. Brick.

Contracts Awarded.

*Offices and Stores: \$50,000, 2 sty. and bas. Archt., Mac Turner. Owner, Don Spragia, Hammond. General contract let to Danner, Gohman and Meyers Con-struction Co. Start work at once.

Stores: \$10,000, 2 sty., 25x100. Own-er, Joe Meyers, c/o Indiana Herb Gar-dens. General contract let to Morris Bros.

Bungalow: \$15,000, Park View. Own-er, Dr. Jones. General contract let to Geo. P. Pearson and Son.

Residence: \$11,000. Owner, Mr. Fred-ericks, c/o contractor. General contract let to Geo. P. Pierson and Son.

PLYMOUTH.

*High School: \$300,000, 2 sty. and bas. 163x170. Archt., Ernest Young, 512 Dean Bldg., South Bend. Asso. Archt., Miller, Fullenwider and Dowling, 6 N. Michigan Ave., Chicago, Ill. Owner, Bd. of School Trustees, Samuel Schlosser, George F. Hitchcock, Harry L. Unger, all of Plymouth. All bids rejected, will

revise plans and readvertise for new bids about January 1.

Residence: 2 sty. and bas. Owner, Wirt Wunderlich. Will build this fall.

Residence: 2 sty. and bas. Owner, Henry Kelter, will build this fall.

RICHMOND.

Gymnasium: 1 sty., Perry Township, Wayne County, Ind. Archt., C. E. Werk-ing & Son, Palladium Bldg., Richmond. Owner, C. J. Atkinson, Trustee, Econ-omy, Ind. Plans completed. Owner will advertise for bids soon.

Residence: \$12,000, 2 sty. and bas., 30x 40, Campbellstown, O. Archt., Geo. W. Mansfield, 336 Colonial Bldg., Rich-mond. Owner, Otto Cooper, Campbells-town, O. Plans in progress. Brick ve-neer.

Residence: \$15,000, 2 sty. and bas., Eaton, O. Archt., Geo. W. Mansfield, Colonial Bldg., Richmond. Owner, E. G. Shield, Eaton, O. Plans in progress. Brick.

SOUTH BEND.

Apartment Bldg.: \$350,000, 4 sty. and bas., 235x165, "Elbel-Parkway Apts.", N. Michigan St., between Bartlett and Leeper Park. Owner, Robert Elbel, John G. Yeagley, Frank J. Cosgrove, all of South Bend. Preparing sketches, defi-nite data later.

Refinery: \$200,000. Owner, The Con-sumers Service Co., W. H. Woolums, Sec. C. V. Morse, V. P.; A. E. Patchen, Pres. Owners are financing, expect to build plant this fall for refining of crude pe-troleum into gasoline, kerosine, naptha, distillate, coke, parafin, etc. Will re-quire 5 tanks of 100,000 gallon cap. Defi-nite data later.

*Hotel (200 room addition), \$600,000, 65x125, 7 sty. and bas. Archt., H. H. Green, 30 N. Michigan Ave., Chicago, Ill. Struct. Engineer, Milton Hartman, 30 N. Michigan Ave., Chicago, Ill. Owner, The Oliver Hotel, South Bend. Receiving bids.

*Power Plant (extension), \$130,000. Archt., Albert Kahn, 1000 Marquette Bldg., Detroit, Mich. Owner, Studebaker Corporation, South Bend. General con-tractor, Christman Constr. Co., South Bend. On foundation.

(Continued on Page 11)

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Trunk Sewer: \$117,000, "River Park Trunk Sewer Dist. No. 2. Owner, Board of Public Works. V. C. Sweeney, Clerk, City Hall, receiving bids to close September 26th, at 10:00 A. M. Approx. 34,000 lin. ft. of pipe.

MISCELLANEOUS CITIES.

Anderson: Bungalow, Noble St. Owner, Mrs. Allie B. Perry. Plans in progress. Frame.

Bloomington: Duplex Apartment, 2 sty. and bas. Owner, A. S. Harn, c/o Hoadley and Sons Stone Co. Will build this fall.

Bluffton: School, \$80,000, Roanoke, Ind. Archt., Everitt I. Brown, Studebaker Bank Bldg., Bluffton. Owner, N. W. Van Arsdale, Trustee, Roanoke, Ind. All bids rejected, will probably revise plans and readvertise for new bids late fall.

Brookville: Church, \$50,000, 1 sty., 60x90. Archt., R. G. Gotwald, Gotwald Bldg., Springfield, Ohio. Owner, St. Thomas Lutheran Congregation, Rev. Jacob F. Flegler, pastor, 1139 John St., Brookville. Ready for bids on foundation work. Superstructure will be built in the spring. Brick.

Elkhart: Club House and Auditorium. Owner, Ma-Ha-Di-Grotto. Harvey Wambaugh, Chmn. Bldg. Com. Contemplated.

French Lick: Public school, 2 sty. & bas., 50x70, Harbison Township, Dubois County, Ind. Archt., Henry Lutes, French Lick, Ind. Owner, James G. Lansford, Trustee, R. F. D. No. 3, Jasper, Ind. Plans completed. Owner will advertise for bids soon. Face brick, 4 ply asbestos roof, 1 pipe gravity system of heating; D. I. radiation, cast iron sect. boiler, pump.

Hanover: Gymnasium, \$10,000. Owner, Hanover College, Hanover, Ind. Plans in progress. Brick.

Kokomo: Artificial Gas Plant, \$500,000. Owner, National Gas and Oil Co. and Kokomo Gas Light and Fuel Co., Kokomo, subsidiaries of the Peoples Gas and Coke Co., Chicago, Ill. Meeting of the Kokomo City Council will be held September 23, at which remonstrances will be heard. Definite data after the meeting.

Lake Wawasee: Dance Pavilion, "Waco." Owner, The Waco Dance Pavilion, H. Ross Franklin, in charge, P. O. address, Syracuse, Ind.

Linton: Residence (rem.), 1 sty. and bas., Bloomfield, Ind. Archt., John T. Fritz, Linton. Owner, H. C. Knox, Bloomfield. Owner will build and award separate contracts. Frame, asphalt shingle roof, warm air furnace, septic tank.

Mt. Vernon: Bungalow, College and 7th Sts. Owner, John Keck. Owner will build and award separate contracts. Frame.

Napaneer: Residence, \$15,000. Owner, Arthur L. Miller, Napaneer, Ind. Archt., C. E. Frazier, 30 N. Dearborn St., Chicago, Ill. Owner builds. Starting work. Brick.

Newport: Poor Asylum, 2 sty. & bas., 60x32. Archt., H. L. Fillinger, Dana, Ind. Owner, Board of County Commrs., Mortimer Lewis, Auditor, Newport. Plans completed. Owner will advertise for bids soon. Face brick, combination reinf. concrete and tile floor and roof Constr., struc. steel and Iron, composition floors, 1 pipe low pressure gravity steam heating system.

Noblesville: Residence, \$8,000. Owner, Noel Neal (attorney), Noblesville. Plans in progress. Frame.

Rochester: Furniture Store, 6th and Main Sts., 2 sty. and bas. Owner, John B. Hoover. Private plans. Plans in progress. Brick, mature soon.

Union City: School, Jackson Township, Randolph County, Ind. Archt., C. E. Lesch, Union City. Owner, C. E. Kemp, Trustee, Union City, Ind. Plans completed. Owner will advertise for bids soon.

Contracts Awarded.

Marengo: School (addition), \$8,000. 2 sty. and bas., 24x35. Archt., L. H. Osterhage and Byron Sutton, Citizens Trust Bldg., Vincennes. Owner, School Board, Marengo, Ind. General contract let to N. S. Ikerd, Bedford, Indiana.

Monon: Residence, \$10,000. Archt., True Brookie. Owner, William Richter, Monon. General contractor, C. V. Kindig, c/o Rich Pharmacy, Rochester, Ind.

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Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field. Copy should reach us, at the latest, Wednesday of the week of publication.

ELECTRIC LIGHT FIXTURES. NOTICE TO CONTRACTORS.

Sealed bids will be received by the Board of School Commissioners of the City of Indianapolis at the office of the Business Director, 150 N. Meridian St., until 8 o'clock P. M., September 26, 1922, for the furnishing and installation of Lighting Fixtures in the shops and power house building of the Arsenal Technical High School, located at 1500 East Michigan street, Indianapolis, according to the plans and specifications prepared by Snider & Rotz, engineers.

All proposals must be made on blank form No. 96 prescribed by the State Board of Accounts, which may be secured at the office of the board, and shall be accompanied by a certified check for not less than 3% of the bid.

The estimated cost of the proposed work is \$3,000. Plans and specifications are on file at the office of the board and the office of the engineers, 703 Merchants bank building.

Checks must be made payable to the Board of School Commissioners of the City of Indianapolis, and must be certified good by a bank or trust company in Indianapolis, and in case the bidder whose bid shall be accepted shall not within five days after notice of acceptance enter into a written contract with the Board to perform the bid and secure the contract by a bond in the form and with sureties to the approval of the board, this certified check and the proceeds shall be and remain the absolute property of the Board as liquidated damages for such failure and the bidder shall be liable for nothing beyond the proceeds of the check for the failure, it being impossible to anticipate the exact amount of damages such failure would occasion to the Board.

The right is reserved to reject any or all bids, and to refrain from accepting or rejecting bids for not more than six days.

WALTER J. TWNAME,
Business Director.

Sept. 9-16-23, 1922.

FREIGHT

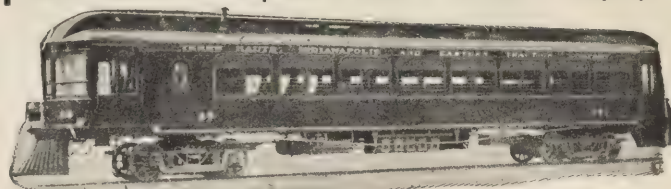
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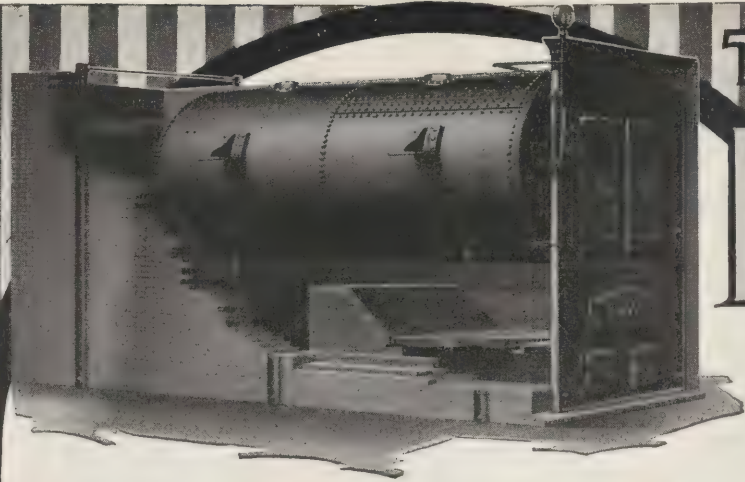


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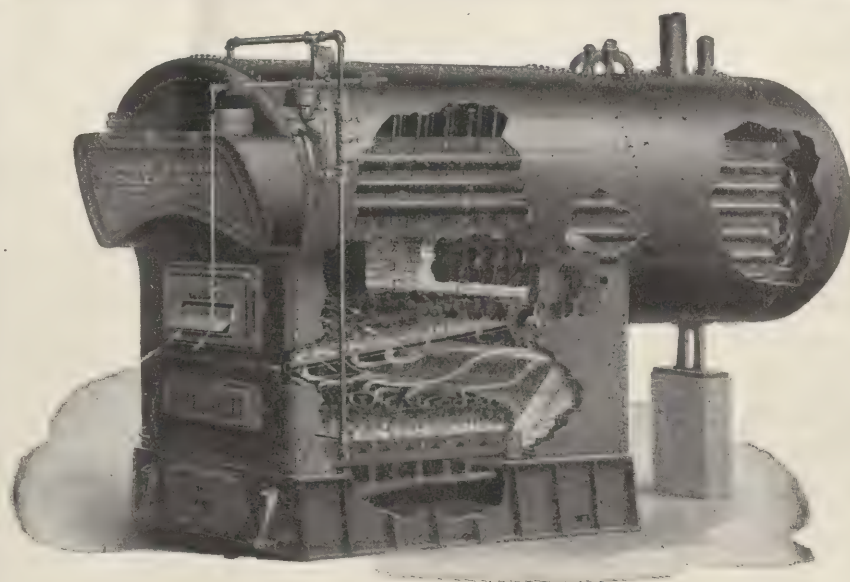
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SATURDAY OCTOBER 14.

Plans have been launched for a real meeting of architects at Ft. Wayne, Saturday, October 14th, with the view to making it the largest gathering of the members of the Indiana architectural profession ever held in the northern end of the State.

The occasion will be the regular monthly meeting of the Board of Directors of the Indiana Society of Architects to which every architect in the State is cordially invited. Because of their proximity to the scene of action the northern Indiana architects are especially urged to avail themselves of this opportunity to gather with their colleagues of the profession, become acquainted, and take an active part in the proposed "gathering of the clan." It is the first time in years that there has been a meeting of the architects in the northern part of the State, and is a part of the plan of the new administration of the Society to carry the organization to the profession throughout the State, acquaint the individual members with each other and with the function of the Society. By such action the members will more than belong to the Society, they will become an integral part of it.

The preliminary plans for the October meeting propose the following program: Registration of visitors at the Ft. Wayne Chamber of Commerce, where a 12:30 p. m. luncheon will be served, to be followed by an open business meeting at 2 p. m. At the conclusion of the meeting a motor trip about the city is planned to view places of interest.

In the evening the architects will reassemble at a 6:30 p. m. dinner at which time an architect of national reputation will address those present.

Everything is to be done to make this meeting one long to be remembered and the architect who fails to attend will miss a real treat.

Your Society officers are doing their part. Ft. Wayne architects can be counted on to hold up their end, you other

fellows can contribute to the success of the afternoon and evening by taking off a few hours on October 14, journeying to Ft. Wayne, and lending your presence, your voice, your smile to this affair designed for your interest.

ACTIVE SESSION HELD BY BOARD OF DIRECTORS.

One of the best, most interesting and busiest meetings ever held by the Board of Directors of the Society took place at Indianapolis, Saturday, September 9, at the Lincoln Hotel. There was nothing draggy about the affair which, after a 12:30 p. m., luncheon was called to order in good time by President Guy Mahurin, Ft. Wayne. Despite the intense heat under which the directors labored there was a lot of snap to the meeting and the evident desire of the members to do something to get the Society moving in a still more progressive direction made itself felt upon the visiting architects who enhanced the discussion by some valuable and potent suggestions.

The intent of the directors to arouse a keener interest in the organization led to further consideration of the advisability of holding alternate board meetings outside of Indianapolis in various districts about the State making them regional affairs at which the architects in the contiguous cities and region be especially urged to attend. This discussion resulted in the decision to hold the next monthly meeting in October at Ft. Wayne, announcement of which has been made in the foregoing article.

When the matter of membership came up, Mr. Geo. W. Allen, Laporte, chairman of that committee, announced he is working on a plan for new members and made a plea for greater co-operation of the members in his drive. He said he had taken it upon himself to send out some twenty letters to architects about the State asking for suggestions and leads as to non members who were eligible to membership in the Society but had been disappointed in that he had received but three replies to his inquiries. Mr. Allen was commended for his interest and activity and it was regretted by the directors that the members addressed had not shown more interest in aiding the chair-

man in his laudable effort. It is recommended that the individual members give more thought to this matter and advise and aid Mr. Allen in his effort to increase the Society roster. The application of Architect E. R. Miller, Anderson, for membership was approved and he was elected.

Instructions are to be given to the Pageants and Exhibits Committee to arrange for a competition at once for the selection of a design of an official seal for the Society that can be used by I. S. of A. members as a lapel button, stamped on plans, or on stationery.

So many inquiries have been made of the officers of the Society relative to the securing of data on building materials that the directors have recommended that the Indiana Construction Recorder investigate this matter and print the result of such investigation on the Architects' Page in the near future for the benefit of the Indiana architects.

Since the Indiana Construction Recorder is the official organ of the Indiana Society of Architects, has been approved as a medium for the insertion of legal advertising for bids for public building construction work and, because of its general circulation throughout the State, comes within the law covering such advertising, the directors approved that the architects, where so empowered, place the advertising for bids on public work with the Recorder, as it will assure good competitive bids from the building industry of Indiana.

Announcement was made that the Society Hand Book is now being compiled and the directors moved that the publishers be instructed to include in it a codification of the school house construction rules, regulations and laws, also laws pertaining to industrial construction and the fire escape law, together with the interpretations of the public officials relative to the various parts of the above laws, rules and regulations.

The board then adjourned to meet at Ft. Wayne October 14.

Those present were: Prest. Guy Mahurin, Ft. Wayne; A. F. Wickes, Gary; Geo. W. Allen, Laporte; W. D. Miller, Terre Haute, Secy. Merritt Harrison, Indianapolis and visitors, Past President Fernor S. Cannon, A. A. Honeywell and Wilson B. Parker, all of Indianapolis.

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ORGANIZATION AND CURRENT NEWS

EVANSVILLE

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Office, 411 Sycamore St.

SECRETARY RESIGNS.

Secretary Ralph E. Seiffer of the Evansville A. B. C.'s has tendered his resignation to take effect immediately as he has prepared to enter college this fall.

All correspondence with the Evansville A. B. C.'s should be directed to Prest. George L. Miller, 1301 Blackford avenue, for the present as a successor to Mr. Seiffer has not been appointed.

GOOD SEASON EXPERIENCED, ALL THINGS CONSIDERED.

Though Evansville building the present season has not run to large projects, in fact they have been conspicuous by their absence, nevertheless, the volume of residential building assumed such proportions that the city has been able in eight months to surpass her building record for 1921 and is well on her way to exceed her 1920 record.

While other Indiana cities notably Indianapolis, South Bend and Ft. Wayne were engaged in erecting large commercial structures which swelled the estimated valuations, Evansville was building hundreds of homes to meet a long felt want. These were mostly of the moderate priced variety and while the total money involved did not compare with that required for skyscrapers, etc., nevertheless they met the city's great need, created a good market for local building interests, afforded plenty of work for the local building trades mechanics and enabled the contractors to hold their organizations together. There was little labor trouble, in fact almost none at all, wages being adjusted early in the spring with the result that what building there was went right along smoothly.

CHIPS AND SHAVINGS.

C. Kanzler and Son, have brought a number of their projects around to the finishing stages and hope to be able to turn these residences over to the owners in a few weeks. Among these jobs is a \$30,000 residence and another that will cost approximately \$12,000.

The end is not yet. There are quite a few good jobs being figured this week,

with several others to be awarded next week, all of which is keeping the contractors busy estimating.

Speaking of estimating, there has never been more of it than this year in Evansville. The contractors have surely had their share of this feature of building.

HOPE TO GET NEW HIGH SCHOOL STARTED THIS FALL.

One of the best local building projects scheduled for this season, and one toward which a number of our contractors have been looking, is announced as about ready for bids. It is the new \$500,000 Bosse High School for outer Washington avenue, and the latest information from the Chicago architect is that the plans have been completed. The Board of Education contemplates advertising for bids in the immediate future in the hope that the contract can be let soon and much of the preliminary construction work can be gotten out of the way before the winter sets in. Such procedure will assure an early start on the super-structure in the spring with a good chance of having the building ready for occupancy by fall 1923.

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MOST SOMETHING FOR EVERYBODY INTERESTED IN BUILDING.

An interesting feature of last month's local building operations is the fact that of the 221 projects for which permits were issued, 82% of them covered new work while only 18% was for remodeling and alterations.

August had the distinction of developing the largest single permit for the year, that for the Lincoln Life Insurance Co.'s new office building which is to cost \$1,000,000. This issuance made the total estimated valuations for August building projects reach a figure that was \$731,119 more than the total for June of this year which was the highest monthly record until August came along. The gain for the past month was about twice as large as the gain of any other single month of the current year over the corresponding period in 1921.

That residence building is still an im-

portant factor in Ft. Wayne building circles is evidenced by the fact that during August close to 100 permits, or nearly fifty per cent of the entire number of permits granted, were for new homes. The effect of the automobile on building is revealed by the granting of 65 garage permits last month, or close to 30 per cent of those issued.

As for the other permits they covered a number of miscellaneous jobs such as five stores, two school house additions, two office buildings, two filling stations and one oil station; also one boiler stack and one barn.

DIMENSION STUFF.

General Contractors Max Irmscher & Sons, were awarded the contract for the brick work on a \$75,000 residence for Henry Paul of the Ft. Wayne Engineering & Manufacturing Co. This is the best residential project that has been started in Ft. Wayne this season.

It now seems certain that the new \$500,000 Masonic Temple for the local Blue Lodges will mature within the next few months. The prospect is that preliminary work, that of cleaning the site on E. Washington street, will be started soon.

General Contractor Paul Kinder is busy revamping the building at 628 Calhoun street for the Eastern Tobacco Co. When completed this will be one of the finest cigar stores in the Central West.

A piece of property, 50x150 on South Calhoun street, Ft. Wayne, sold last week for \$18,000, brought forth the information that years ago this site as a part of a large tract sold for \$1.25 an acre.

Another large project, the Keenan Hotel estimated to cost \$900,000, is expected to be started still this season. Bids are now being received on this work.

W. K. Noble is having plans prepared for a \$40,000 residence.

Every week, so far during September has found the city building inspector busy getting out permits for more new residences.

With all the new building, dressing up as it were, that Ft. Wayne has indulged in this season some of our former citizens will hardly know the old home town when they come back for a visit.

Nearly five and a half million dollars for new building construction in eight months seems to say "nothing is the matter with Ft. Wayne." Eh?

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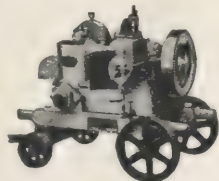
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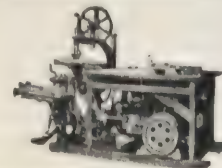


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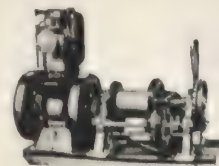
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INDIANAPOLIS

Building Contractor's Association
Member State A. B. C.

F. W. Jungelaus.....President
C. C. Pierson.....Secretary
320 Peoples Bank Building

MEETINGS.

Executive Committee meets second Tuesday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

Mason Contractors Association meets every Thursday—1 P. M.

General Contractors meet second Friday each month.

PLANS ON FILE.

At 320 Peoples Bank Building,
Indianapolis.
None this week.

WAIVER OF LIEN.

The J. W. Jackson & Sons Realty Co. as et al. (Owner), and R. W. Bauman & Co. as (Contractor), to erect a seven-story mfg. bldg. located at n. w. corner of S. Meridian and Merrill streets.

LANDMARKS FALL BEFORE ONWARD MOVE OF NEW CONSTRUCTION.

The march of progress continues to take its toll at Indianapolis. All summer the big building construction wave has been sweeping on and on to engulf old landmarks. Early in the spring the construction tide began rolling in taking out quite a few of the old familiar buildings in the down town district.

No thoroughfare or district has felt the new order like Meridian street, that old aristocratic artery north. Sweeping around the Circle it tore out several old time structures on the southwest section across from the Monument to make room for the Guaranty Office Building. Then on up the street rushed the tide where the Fahnley homestead gave way to be succeeded by the new \$1,000,000 home of the Indianapolis Athletic Club. The Lilly home at St. Joe and Meridian streets will be the site for a new \$150,000 auto building and the old Dean homestead is to be torn away to accommodate a large battery service station.

The latest announcement along the line of "Ring out the old, ring in the new" has to do with the remodeling the old well-known Brenecke Dancing Academy at North and Illinois streets into a hotel.

CHICAGO MAN SUCCEEDS C. C. PIERSON ON NATIONAL JURISDICTIONAL AWARDS BOARD.

At the meeting of the Executive Committee of the National Association of Building Trades Employers held recently, E. M. Craig, Secretary of the Building Construction Employers Association of Chicago was unanimously elected to fill the vacancy on the National Board for Jurisdictional Awards, caused by the resignation of C. C. Pierson of Indianapolis.

ANOTHER STEP TO FAME

This is not a fairy story though it has to do with golden horse shoes, nor does it bear an English atmosphere despite the titles involved, instead, 'tis a mere tale of an Indianapolis affair that shows the versatility of a well known contractor.

If your wonderings are spinning around don't worry, this matter is purely a Rotary event in which Walter Wise, B. L., M. M. C., C. C., and now C. H. P., threw rings around his fellow Rotarians. Lest the initial appendages may cause perplexity allow us to elucidate that all may know these letters mark the steps to fame, glory and golden horse-shoes. In the order of their assemblage the initialed titles read, Brick-layer, Master Mason Contractor, City Councilman, and Champion Horse-shoe Pitcher, quite American after all, rather than English.

Now as to the golden horse-shoes, the pride of the office, that grace Mr. Wise's desk. Early in the summer the Rotary Club of Indianapolis instituted a horse-shoe pitching contest to cover a schedule of fifty games, the contests being held every Friday evening. Came the end, and Mr. Wise missed landing the silver loving cup offered to the man with the highest score, who had played the entire schedule, as he, was absent one Friday night. However, Mr. Wise, when the final tabulation was made was found to have the highest total individual score of all, hence, the golden horse shoes, the added title, and this story.

STILL STALLED.

A. E. Kemmer, Lafayette, 1st Vice Prest. of the A. B. C.'s of Indiana, was a visitor at State Association Headquarters at Indianapolis the past week. He reported the plasterers' stand for higher wages still prevails with the result that the Lafayette building situation is still all askew.

WHAT THE CONTRACTORS ARE DOING.

General Contractors Conder & Culbertson are about to start work on the new \$150,000 Sales and Garage Building for the Conduitt Auto Co., at St. Joe and Meridian streets, the contract for which they secured last week.

The Hall Construction Co., picked off a nice cost plus contract this week when they landed a new building, one story 60x200 for the Indiana Battery Service Co., at 1136 N. Meridian Street.

At North and Illinois streets, the Builders Construction Co. will remodel the building on that site into a hotel. This same company has a contract to erect a machine shop, one story, 75x100 for the Rockwood Manufacturing Co.

A \$30,000 addition to the telephone building at 30th and N. Jersey street, is to be erected by General Contractors Schlegel & Roehm.

Many of the large Indianapolis contractors were busy the past week figuring the new Charles Sommers residence, estimated to cost \$350,000. It is to be erected out north west on Riverside Parkway.

BUILDING PERMITS.

(\$4,500 and Over)
(Week of Sept. 7th to Sept. 14th)

Convent (addition), \$49,000, 111 West Raymond St. Owner, Sisters of the Good Shepherd, 111 West Raymond. General contractor, Chas. J. Wacker, Peoples Bk. Bldg. Foundation in.

*Church: \$36,000, 1 sty., 40x70. Owner, St. Paul Baptist Church, Rev. James P. Holmes, Pastor, 1145 N. Sheffield. General contract let to Olive A. Day, 220 West 30th St. Brick.

Residence: \$31,450, 4936 N. Meridian St. Archt., Frederick Wallick, Hume Mansur Bldg. Owner, Dr. Gothe Link, 608 Indiana Pythian Bldg. Contract let to Albert Fuller, 438 N. Emerson. Brk., tile and stucco.

Telephone Exchange (add.), \$24,800, 30th and New Jersey. Private plans. Owner, American Telephone and Telegraph Co., 3001 N. New Jersey St. General contract let to Schlegel and Roehm, Lombard Bldg. Brick.

Stores (5), \$9,185.00, 40th and Boulevard Place. Private plans. Owner, Fred Mueller, 319 West 40th. Owner builds. Excavating. Brick, 1 sty., 40x40 and 60x66.

Residence (double), \$9,500, 4238-40 Carrollton. Owner, E. S. Perry, c/o Contractor. General contractor, Spiegel-Brown Co., 319 W. 49th St.

Residence: \$8,000, 3170 N. Illinois. Owner, Emory C. Crawford Co., N. Delaware St.

Residence (double, \$8,000, 3545 Winthrop. Owner, Jose-Kuhn Lumber Co., 1160 Fairfield.

Residence: \$6,000, 4851 Guilford, and double at 911-15 E. 49th, \$6,000. Owner, Olive A. Day, 220 W. 30th St. Owner builds.

Residence: \$7,300, 325 East 36th. Owner, W. K. Kopp, 3515 N. Pennsylvania St.

Residence (double), \$6,000, 324-26 N. Oxford. Owner, John T. Ward, 317 N. Oxford.

Residence: \$6,000, 2325 Parkway Blvd. Owner, John Darmody. General contract to William Meredith.

Residence: \$5,200, 4867 Broadway. Owner, William Hegenbarth, 1427 Bellefontaine. Contract let to James Atwood and Son, 856 West 27th St.

Residence: \$5,000, 1914-16 Dexter. Owner, William Bowles, at site.

Residence: \$4,800, 630 N. Emerson. Owner, Mrs. J. O. Lockhart, at site.

Residence: \$4,500, 4431 Winthrop. Owner, Frederick Lawrence, at site.

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OF INDIANA**

CALUMET DISTRICT

CONSISTING OF
HAMMOND INDIANA HARBOR
EAST CHICAGO WHITING

Building Trades Employers'
Association.

Member State A. B. C.'s

J. Wesley Reed ----- President
E. E. Cole ----- Secretary

108 Citizens National Bank Bldg.,
Hammond, Indiana

MEETING NIGHTS

General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.

PUTTING A LITTLE ENGLISH ON THINGS.

It sometimes makes a great deal of difference as to whose foot is pinched by the shoe.

The striking railway shop crafts made an awful howl about the temporary injunction the government secured in an endeavor to keep up the mail schedules and maintain interstate commerce. Then, they turned around and sought to enjoin the government from enforcing the said injunction. Possibly it is that the great objection they had to the injunction was that they had passed up a bet and had not found the way to use the law to their own benefit and advantage. Anyway, after all their howling they themselves resorted to the injunction procedure.

SUCH ACTION SIMPLY MAKES THE LAW SUPREME.

Some folks like to take a rap now and then at the legal machinery and yelp about the country going to the bow-wows. However, such action as was taken by the grand jury in the Herrin investigation convinces one that Law and Order still reigns. The grand jury in this instance did its duty in indicting the alleged participants in that terrible coal strike massacre in southern Illinois, and all that remains to confirm faith in the power of the law is for the courts in that section to do their part and bring to justice those who were responsible for the riot and bloodshed down there, make every guilty party pay the penalty they deserve, that they may ponder on the error of their way.

The country is not crying for the conviction of innocents, or any one class of citizens, but, it is demanding punishment for those who were responsible for this infamous deed. The welfare of the country and the future safety of the citizenry demands this.

WHAT A PRIMARY UNFOLDS.

Glancing over the latest primary returns from Wisconsin one is led to believe that there are a lot of voters up there who are in favor of no courts, no license, no water. As regards the latter, perhaps it don't appeal to them because they have so much of it in the shape of so many lakes all around them.

BEGINNING TO BACK UP.

The advance in building material prices, and the high and uncertain labor

wage is having a retarding effect on building in this section of the State. It is announced that the plant of the Hydrox Ice Cream Co., and several other good sized prospective building projects are to be postponed until more reasonable and stable prices prevail.

WEATHER REPORT.

It probably was hot in other parts of the State, the past few weeks, but in the Calumet District it was more than hot, it was torrid. Even the "skeeters" quit biting and someone has suggested they were so exhausted they didn't have the energy to go out foraging. The gas company made complaint that the Greek lunch shops had resorted to the use of the sun for frying purposes. With this source of revenue cut off we are wondering if the gas company will apply to the Public Service Commission for relief. Some of the section bosses have intimated that the intense heat caused such an expansion of the rails that spikes were being pulled from the ties. So far there has been no complaint registered from the filling stations, probably due to the fact that most of the auto owners were riding around till the wee sma' hours in an endeavor to keep cool as it was too hot to sleep. Maybe things will right themselves now for the rain at the weekend helped a lot.

CALUMET BUILDING PROGRESS.

Style, style, style everywhere. One can't get away from its grip these days. The latest to be affected by this tentacled thing was the Standard Oil Filling Station at Hohman and Russel Sts. The old building did not stack up well with the other stations, so the company has wrecked it and is putting up a modern structure for the convenience of the autoists. It surely is to make a big improvement over the old corner.

Morris Bros. have closed a contract with Joe Meyers, of the Indiana Herb Gardens, to erect a new two story brick building, 25x100 feet. These contractors also have contracts to build a bungalow for Mr. Wrodo on Moss avenue, and a modern cottage for Frank Lesinski on Ames avenue.

George P. Pearson & Son, are to erect a \$15,000 bungalow for Dr. Jones in South Park View, and an \$11,000 residence for Mr. Fredericks.

E. E. COLE.

MUNCIE

Associated Building Contractors
Member State A. B. C.

Chas. Rowe ----- President
J. A. Gallivan ----- Secretary

314 Main Street

REAL ACTION NEEDED NOW IN INDIANA.

Premium wages and bonuses to building trades mechanics seems to have been a malady that gripped much of the country this season due to the enormous volume of building construction that developed this year to create a great shortage of skilled craftsmen in the building trades. The wage tilting microbe ate

its way into Indiana to make itself felt in various sections of the State.

As an outgrowth of the epidemic one has heard a great deal about the argument of the need for more apprentices to save the future. Indiana contractors have seen the danger signal and though nothing definite has been done along this line, there is not a contractor who disputes the fact that some action is needed to cope with a serious situation that the next few years offers in the prosperity of continued building activity.

The builders in quite a few cities have actually seen to it that apprentice schools have been started. The latest from Chicago is to the effect that the contractors of that city are taking active steps to relieve the shortage of mechanics in three trades; plumbers, painters and bricklayers. Apprentice schools have been started in these trades, not however, under the terms of the Smith Hughes law, but under a system which employers believe will give quicker relief to the situation.

In view of these facts isn't it about time for Indiana contractors to do something in the apprenticeship matter? Just sitting around and talking about it and twiddling thumbs won't solve the problem. It is a really serious question that calls for action, co-operation and sacrifice in reaching a solution.

LUMBER MOVING DESPITE THE ANNOYING STRIKE SITUATIONS.

In spite of the fact that the railroad strike is creating and coal strikes did create a very serious transportation problem and that the lumber mills have not had a sufficient supply of cars to move their heavy orders, the weekly reports of the Association of Railway Executives show that an average of more than 850,000 cars are being loaded each week with revenue freight and that the loading of forest products is not far below that of the peak year 1920 and is far above that of 1921 when no such unusual situation prevailed as at present.—(National Lumber Bulletin.)

SOME WIN, YET EVERY BODY LOSES FROM AN ECONOMIC STANDPOINT.

During the six year period from January 1916 to December 1921, there were 20,062 strikes in the United States, an average of 10 per day, distributed as follows:

1916	3681
1917	4324
1918	3248
1919	3452
1920	3193
1921	2164

20,062

Average of 3300 strikes per year—\$4,000,000,000 loss in 1921 to industry and labor.

In 1916 the employers won 30% the employees 31% and 39% compromised.

In 1920 the employers won 38%, employees 21%, compromised 41%.

Causes of strikes in 1920 were: wages, 1511; wages and hours, 306; hours, 71; union matters, 849; miscellaneous and not reported, 372.

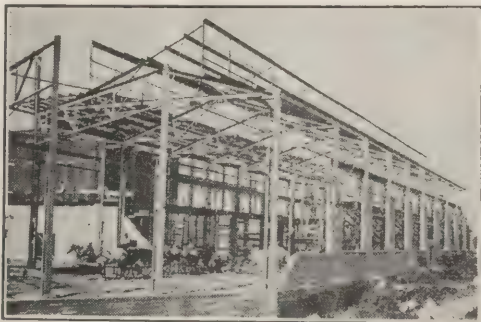
The peak strike year was 1919.

—From U. S. Bureau of Labor.

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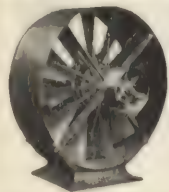
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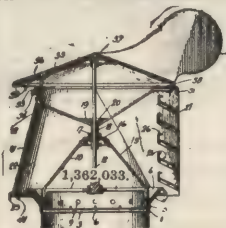
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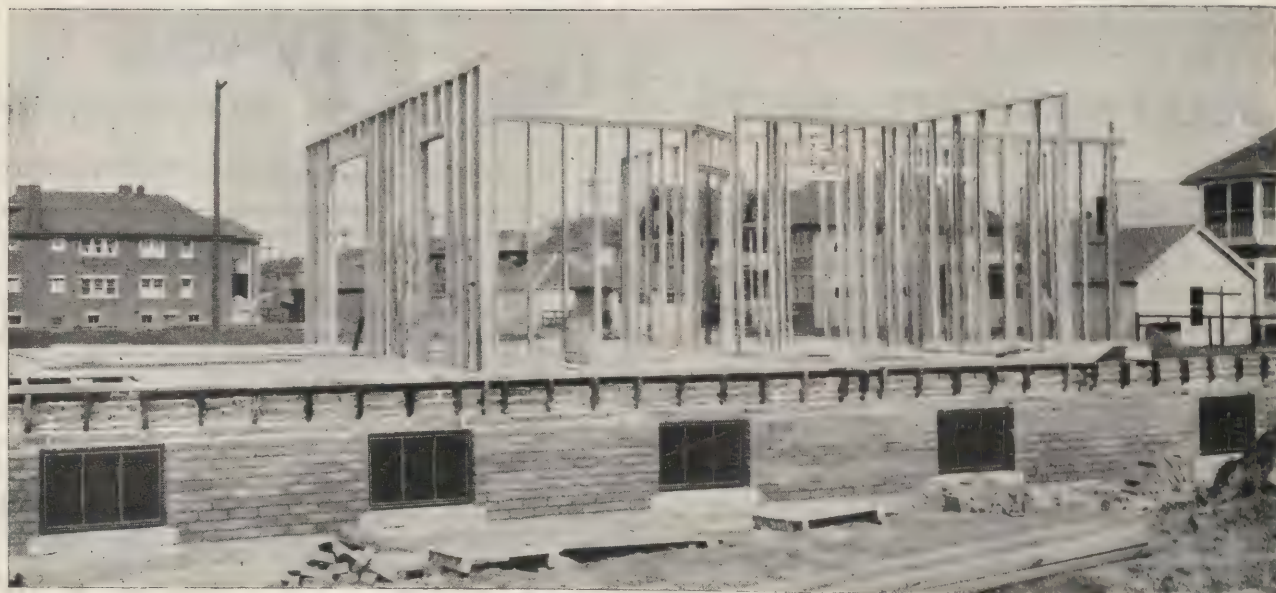
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Truscon Steel Basement Windows give 50 to 80% more daylight than wood. They won't warp, stick or need repairs. They have double overlapping weathering that keeps out wind and rain. The cost is so low that they can be used in any type of building construction, large or small.

Now is the time to get started in this market which is practically unlimited. Nationally advertised, Truscon Steel Basement Windows are arousing the utmost interest among home owners, contractors and architects. Their advantages are so obvious and sales are so easily made, that no dealer can afford to overlook the opportunity of handling them.

Dealers in Indiana can get twenty-four hour service from Truscon Warehouses in Indianapolis, Chicago, Cincinnati and Detroit.

Write today for our liberal dealer plan. Truscon dealers are backed by a national organization with a nationally known name for quality and service.

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604 City Trust Building

Indianapolis, Indiana.

Phone, Main 5368

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INDIANA CONSTRUCTION RECORDER

FOR
ARCHITECT
ENGINEER

Devoted to the
Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

Vol. IV

INDIANAPOLIS, INDIANA, SEPTEMBER 23, 1922

No. 25

INDIANA CONSTRUCTION RECORDER
Published Every Saturday

DONALD CAMPBELL Publisher
LEIGH FELTON News Manager
JOHN H. OWENS Field Manager

312 E. Market Street,
Indianapolis, Ind.

PHONE—MAIN 5673

TERMS OF SUBSCRIPTION

One Year \$6.00
Six Months \$4.00

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ceding date of issue.

Entered as second class matter August 29, 1919,
at the Post Office at Indianapolis, Indiana, under
the Act of March 3, 1879.

News of the Week

The asterisk (*) prefix to an item indicates ad-
ditional information to report published in pre-
vious issue.

INDIANAPOLIS.

Bank and Office Building: 8 sty. and bas., 61x132, Marion, O. Archt., Wm. Earl Russ, Meridian Life Bldg., 307 N. Pennsylvania St., Indianapolis. Owner, Citizens Building and Loan Co., Marion, O. Plans in progress. Brick, reinf. concrete floor and roof construction, comp. roof, steam heat, elevators, tile and marble work, vault and vault doors, bank fixtures.

Y. M. C. A. Building: \$200,000.00, 3 sty. and bas., Newcastle, Ind. Archt., McGuire and Shook, 320 Indiana Pythian Bldg., Indianapolis. Owner, Young Men's Christian Association, Board of Trustees, Morris Goodwin, Pres.; A. P. Zeterburg, Chmn. Bldg. Comm., Newcastle, Ind. Preliminary plans in progress. Brick, fireproof construction.

Hospital (rem. from old Chas. Major Home), Shelbyville, Ind., \$30,000. Archt. A. Bohlen and Son, 1001 Majestic Bldg., Indianapolis. Owner, Hospital Association, J. H. McDougal & Lee Hoop

(Mayor). Plans in progress. Brick.

***Office Building and Clothing Store** (rem. and alt.), \$60,000, "When Bldg.," 36 N. Penn. Archt., Vonnegut, Bohn and Mueller, 610 Indiana Trust Bldg. Owner, When Bldg. Co., 36 N. Penn.; electric elevator, new entrance, marble and tile, revolving doors, suspended metal ceilings and general alt. Archt. taking bids to close shortly.

Church: \$40,000, McKinley and Barth Ave. Archt. not selected. Owner, McClainsville M. E. Church, D. V. Griffith, chmn. Bldg. Comm. Site purchased. Will select an architect this winter and take bids about March 1st. Brick.

Program Bell and Clock System (extension), \$1,800.00, at the Arsenal Technical School, 1500 E. Michigan St. Engineers, Snider and Rotz, 703 Merchants Bank Bldg. Owner, Board of School Trustees, Walter J. Twiname, Business Director, 150 N. Meridian St. Owner receiving sealed bids to close October 10th at 8:00 P. M. (See legal advertising in this issue.)

***Industrial Building:** 2 sty. and bas., 243x51, "Home for the Blind." Archt., Adolph Scherrer, Indiana Trust Bldg. Owner, Board of Industrial Aid for the Blind, 314 Penway Bldg. Low bidder on general contract, J. G. Karstedt Construction Co., Lemcke Bldg., all of Indianapolis. Bids ran a little high, will hold a meeting at once to decide whether or not to award a contract. Face brick, reinf. concrete floor and roof constr.

Misc. Materials: Board of County Comrs., Leo K. Fesler, Auditor, Court House, Indianapolis, is receiving sealed bids to close October 10th at 10:00 A. M., for the following: Tower and tank, generator engine, piping, motor driven pump and well for Julietta Asylum for Insane. Tower and tank and piping for Poor Farm. Boiler for Tuberculosis Hospital at Oaklandon. One car 2½x 16-16 ft.; one car 2x14-16 ft.; 1,000 ft. 4x6x16 No. 1 oak bridge lumber; 10 kegs 40-D nails; 5 kegs 60-D nails; 5 kegs 30-D nails; 2 kegs 8-D nails; 1

keg 7-D box nails; according to plans and specifications on file in the office of the Auditor of Marion County.

Vacuum Pump With Motor Attached: (capacity 26,000 sq. ft. radiation for Court House). Owner, Board of Public Works, City Hall, Indianapolis, is receiving bids to close September 26th, at 10:00 A. M.

Contracts Awarded.

***Grade School:** \$95,000, site of present Lower Seminary School on Main St., Madison, Ind. Archt., Herbert Foltz, 843 Lemcke Annex, Indianapolis. Owner, Board of School Trustees, S. J. Bear, Pres.; J. E. Reed, Secy.; W. C. Roth, Treas., all of Madison. General contract awarded to E. A. Carson, Fink Bldg., Logansport, Ind. Heating and plumbing let to J. H. Coleman, Madison, Ind.; electric wiring let to Hatfield Electric Co., Indianapolis.

***Warehouse:** \$400,000, 6 sty. and bas., 120x195. Archt., Vonnegut, Bohn and Mueller. Owner, Jackson Realty Co., Murphy Bldg. General contractor, R. W. Bauman Constr. Co., 3345 Central Ave.; masonry, A. C. Johnson, 834 Mass. Ave.; Htg. to Hayes Bros.; plmg., Roland Cotton Co.; steel, Central States Bridge Co.; rfg. to H. C. Smithers Rfg. Co.; mill work to Brannum-Keene Lumber Co. Pouring first floor.

***Country Club** (fire rebuild), \$58,000, 38th and Northwestern. Archt., Frederick W. Wallick, 308 Hume Mansur Bldg. Owner, Woodstock Country Club. General contract let to A. H. Unversaw, 1155 Shelby St.; plumbing let to Bert E. Cool, 2220 West Washington St.; heating let to Strong Bros., No. Alabama St.

***Coal Handling and Storage Plant:** (2,000 ton capacity), \$20,000, 14th and Senate. Archt., Bacon and Tislow. Owner, Active Coal Co., Plinny M. Gale, Pres., 614 Board of Trade Bldg. General contract let to Neff and Fryer Constr. Co., Camden, Ohio. Concrete and steel.

(Continued on Page 7)



FANS

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***Printing Establishment** (2 sty. side addition), 313 East Ohio St. Archt. and general contractor, Thompson-Binger Co., Indiana Pythian Bldg. Owner, Enquirer Printing and Publishing Co., 313 E. Ohio St. Start work shortly. Brick, terra cotta front, comp roof, extension to present heating plant.

***Residence and Garage:** \$10,000, 43 Hampton Drive. Archt., Merritt Harrison, 500 Board of Trade Bldg. Owner, Dr. Harry A. Vanosdal, 314 Board of Trade Bldg. General contract awarded to H. L. Burns, 1307 West 34th St.

***Girls' Home** (rem.), 411 N. Delaware. Archt., Fermor S. Cannon, 21 Virginia Ave. Owner, Bertha Ballard Home, 411 N. Delaware. General contract let to Service Construction Co., 419 Castle Hall Bldg. General alterations.

Residence and Garage: \$25,000, 2 sty. and bas., 28x50 and 20x23, 4365 N. Illinois St. Archt., Vonnegut, Bohn and Mueller, 610 Indiana Trust Bldg. Owner, Kurt Vonnegut (Architect), 610 Indiana Trust Bldg. General contract awarded to Frank B. Bremmerman, 1050 West 30th St. Brick veneer.

Garage (6 cars), 1 sty., Broadway and Maple Road Blvd. Archt. and contractor, Walker-Brooks Realty Co., 134 N. Delaware St. Owner, Ardmore Realty Co., 134 N. Delaware St. Start work at once.

EVANSVILLE.

***Automobile Sales and Service Station:** \$60,000. Archt., Clifford Shopbell and Co., Furniture Bldg. Owner, Fellwock Motor Co. Low bidder on general contract, Chris Kanzler and Son, Furniture Bldg., \$43,985. Will award contract shortly. Brick.

***Community Hospital:** \$50,000, 2 sty. and bas., 40x65, Harrisburg, Ill. Archt., Harry E. Bole and Co., Furniture Bldg., Evansville. Owner, Stock Company, Dr. A. J. Butner and Drs. Blackard, Neiberg and Lehman, all of Harrisburg. Archt. revising plans, mature late fall. Brick, stone trim. Accommodations for 20 patients are provided, 2 operating rooms, X-ray, electro-therapeutic laboratories and chemical laboratories.

***Lodge Building** (addition), 2sty. and bas., 45x60, Mt. Carmel, Ill. Archt., Harry E. Boyle and Co., Furniture Bldg., Evansville. Owner, L. O. O. M. Lodge, Mt. Carmel. Plans nearing completion. Ready for bids about October 15th. Brk.

Bowling alleys, billiard rooms, kitchen, dining room, club rooms.

Church: \$40,000, 1 sty. and bas., 40x127, Standard, Ky. Archt., Anderson & Stingle, McCurdy Bldg., Evansville. Owner, St. Peters Roman Catholic Ch., Rev. Father Higgins, Standard, Ky. Plans in progress on superstructure. Owner will put in foundation this fall. Brk., stone trim, tile roof, septic tank, private water system, steel truss roof, art glass.

Residence: \$10,000, Russellville, Ky. Archt., Harry E. Boyle & Co., Furniture Bldg., Evansville. Owner, George L. Briggs, Russellville, Ky. Plans in progress. Brick, 1 sty. and bas.

Contracts Awarded.

***Church:** \$90,000, Mt. Vernon, Ind. Archt., Clifford Shopbell & Co., Furniture Bldg., Evansville. Owner, General Baptist Church, Mt. Vernon. General contractor, Jacob Behrick and Son, Mt. Vernon on foundation. Brick.

FT. WAYNE.

Garage and Warehouse: N. Clinton St. Owner, Home Telephone and Telegraph Co. Site purchased. Definite data later.

Contracts Awarded.

***School:** \$42,000.00, Sidney, Ind. Jackson School Township, Kosciusko County. Archt., Griffith and Goodrich, 211 East Berry St., Ft. Wayne. Owner, Alpheus B. Ulrey, trustee, Sidney Ind. General contract let to Noah Frantz, Silver Lake, Ind., \$41,868.00.

***Church:** \$50,000, Lake Winona, Ind. Archt., Griffith and Goodrich, 211 East Berry St., Ft. Wayne. Owner, Presbyterian Church, Winona, Ind. General contract let to Merle Hodges, Warsaw, Ind. Brick. Excavating.

Tank Shop and Garage: \$30,000.00, 1 sty., 150x150. Owner, General Electric Co., Ft. Wayne. Start work at once. Owner builds. Brick and steel.

***Pumping Station:** Owner, Board of Public Works, City Hall. General contract let to Herman W. Tapp Construction Co., \$9,890.00. Brick.

***School:** \$50,000. Wash. Twp., Allen County. Archt., F. A. Fortney, Bass Block, Ft. Wayne. Owner, Henry J. Kolmerton, Trustee, R. F. D., Ft. Wayne. General contractor, W. A. Sheets, 825 Calhoun St. Steel and iron let to Engineering Co., all of Ft. Wayne. Plastering, painting, reinf. concrete work gen-

eral contractor does. Foundation in. Brick.

Store Rooms (3), \$11,000. State St. Owner, Sam Tagay. Contract let to Mr. Jones, care of owner.

BUILDING PERMITS.

Residence: \$5,200, 3722 Shady Court. Owner, Karl L. Miller, 1105 Wells St.

Residence: \$5,000, 2615 Euclid. Owner, H. C. Hockemeyer, 1217 Summit St.

Residence: \$5,000, 328 Kinsmore. Owner, V. E. Nicodemus, 2523 Miner St.

Residence: \$5,000, 3801 S. Wayne. Owner, Koehler and Young, 2503 Anthony Blvd.

Residence: \$5,000, 4135 St. Wayne. Owner, Isaac Springer, 616 Nuttman Ave.

Residence: \$5,000, 3117 Hoagland. Owner, Karl L. Miller, 1105 Wells St.

GARY.

***Apartment Building** (12 4-room apts.), \$45,000, 5th and Fillmore. Archt., L. Harry Warriner, 673 Broadway. Owner, John A. Greenberg, 522 Broadway. Taking bids. Brick.

***Armory:** \$50,000, 2 sty., 75x150, 11th and Madison. Archt., William Larson, 529 Connecticut Ave. Owner, The Armory Comm., E. C. Simpson, Chmn., 578 Van Buren St. Plans completed. Mature early spring.

***School:** \$40,000, "Ambridge school." Archt., Joe H. Wildermuth and Co., 690 Broadway. Owner, Board of Education; A. R. Archior, Pres., 7th and Harrison. Plans in progress. Brick.

***Settlement House:** \$80,000, 1½ sty. and bas., 60x115. 115th and Fillmore. Archt., Worthmann and Steinback, 155 N. Clark St., Chicago, Ill. Owner, The National Catholic Welfare Council, Rev. John B. DeVille, Supt., 644 Broadway. Owner receiving bids. Brick.

Furniture Store: \$45,000, 3 sty., 37x120, 1714 Broadway. Owner, John Toppa, 16th and Broadway. General contract let to John Wasilewski, 1528 Madison. Brick and hollow tile. Excavated.

Store and Apartment Bldg: \$15,000. 15th and Grant. Owner, Mid City Realty Co., 2201 Broadway. Owner builds. 2 sty., 25x50. Excavated.

HAMMOND.

***Printing Plant and Apartments:** \$25,000. Archt., Mac Turner, 633 Hohman St. Owner, Homer J. Postlewaite, 629

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Store Building (4 store rooms), 1 sty. and bas., \$17,000. Archt., Mac Turner, 633 Hohman St. Owner, Henry Baker, Indiana Harbor, Ind. Bids in under advisement.

Power Plant: \$100,000, 1 sty. Owner, Commonwealth Edison Co., 72 W. Adams St., Chicago, Ill. Contemplated. Brick. Definite data later.

LAFAYETTE.

***School** (Lincoln School alteration): \$25,000. Archt., John Boonstra, Fowler Bank Bldg. Owner, Board of Education. Dr. M. M. Lairy, Pres. Low bidder on general contract, A. E. Kemmer, Lafayette. May reject bids.

School: \$100,000, Fairfield Township, Tippecanoe County, near Lafayette. Archt., Kashner and Gault, Wallace Block, Lafayette. Owner, W. H. Eberhardt, Trustee, Court House, Lafayette. All contracts rescinded. Project in abeyance.

Contracts Awarded.

***Bank** (alt.) \$7,000: West Lafayette. Archt., Nicol, Scholer & Hoffman. Owner, Purdue State Bank. Contract let to Nachtigel Cabinet Co., Grand Rapids, Mich.

***Student Union Building:** \$1,000,000, 3 sty. and bas., "Purdue University." Archt., Pond and Pond, 64 East Van Buren St., Chicago, Ill. Owner, Purdue University. General contractor, A. E. Kemmer, 644 N. 7th St., Lafayette. Excavated. Heating let to Mehring and Hanson, 118 N. Franklin St., Chicago; plumbing to W. G. Cornell Co., 232 East Erie St., Chicago.

MICHIGAN CITY.

***Bank and Offices:** \$125,000, 2 sty. and bas., 28x140. Archt., K. M. Vitzthum and Co., 600 N. Michigan Ave., Chicago, Ill. Owner, Mer. Nat. Bank, R. F. Garretson, V.-P., Michigan City, Ind. Plans nearing completion. Brick and stone, tile floors, marble base, bank fixtures, steam heat, prism glass, comp. roof, concrete vault, vault doors, building is being designed to carry 7 additional sty.

Contracts Awarded.

***Power Plant and Foundry** (rem.), \$400,000. Engineer, Frank D. Chase Co., 545 N. Michigan Ave., Chicago, Ill. Owner, The Pullman Co., Pullman Bldg., Chicago, Ill.

General contractor, Sumner-Sollitt Co., 225 N. Michigan Ave., Chicago. On foundation.

***Masonic Temple:** \$100,000. Archt., Nicol, Scholer and Hoffman, Ross Bldg., Lafayette. Owner, Masonic Temple Assn., Clyde Taylor, Secy. Bldg. Com., Michigan City. General contract let to Henry Koehn; heating and plumbing to Simpson and Adamson; electric wiring to Michigan City Electric Co., all of Michigan City, Ind. Start work at once.

SOUTH BEND.

***Stores (4) and 18 Apartments:** \$75,000, "Oliver Hotel." Archt., H. H. Green, 304 S. Wabash St., Chicago, Ill. Struct. Eng., Milton Hartman, 1510 N. Michigan Ave., Chicago. Owner, Oliver Hotel Co., Andrew Wisberg, Mgr., South Bend. General contract let to Ralph S. Sollitt and Sons, 5 N. LaSalle St., Chicago, Ill. Start work at once.

***Bank and Offices:** 4 sty. and bas., 90x125, South Bend. Archt., K. M. Vitzthum and Co., 605 N. Michigan Ave., Chicago, Ill. Owner, American Trust Co., South Bend. General contractor, Ralph Sollitt and Son, 30 N. LaSalle St., Chicago. Heating and plumbing to Burke Plumbing Co., South Bend. Electric work, Moran Electric Co., South Bend. On first story.

***Residence & Stores:** \$10,000, 1633 Chapin St. Owner, John Barns, 701 W. Indiana Ave. General contractor, Odor Bros. Excavated. Brick.

***Factory** (2 addtl. sty. to bldg. No. 79). Archt., Albert Kahn, 1000 Marquette Bldg., Detroit, Mich. Owner, Studebaker Corp., South Bend. General contractor, H. G. Christman Co., South Bend; heating to Johnson and Larson Co., 693 Monroe Ave., Detroit, Mich.; plumbing to C. M. Oberlin, South Bend; electric wiring to Turner Engineering Co., Detroit, Mich. Start work at once.

TERRE HAUTE.

***High School:** \$700,000.00. Archt., Johnson, Miller and Miller, 30 North 5th St., Terre Haute. Mechanical Engineer, Warren and Lewis, Realty Bldg., Louisville, Ky. Owner, Board of Education, Terre Haute. Plans in progress. Expect to advertise for bids early in the spring. Brick, fireproof constr.

***Church:** \$10,000, Brazil, Ind. Archt., Johnson, Miller and Miller, 30 N. 5th St., Terre Haute. Owner, First Presbyterian

Church, Brazil. Owner taking bids on substructure. Superstructure will mature early spring. Brick and stone.

***Residence:** 2 sty. and bas., Brazil, Ind. Archt., Johnson, Miller and Miller, 30 N. 5th St., Terre Haute. Owner, Dr. D. B. Kreider, Brazil, Ind. Plans about completed. Ready for bids about Oct. 1.

***Residence:** 1½ sty. and bas. Archt., Johnson, Miller and Miller, 30 N. 5th St. Owner, Jos. Moore. Bids in, may award contracts shortly. Brick and stucco.

***Residence:** \$10,000, 2 sty., 32x48. Archt., Shourds-Stoner Co., 511 Tribune Bldg. Owner, Mrs. A. R. Jeswick, % Archt. Bids in, under advisement. Brk. and stucco, tile roof, hardwood floors, steam heat.

***Residence:** \$20,000, Allendale, Terre Haute. Archt., Johnson, Miller & Miller, 30 N. 5th St. Owner, M. Trueheart, Terre Haute. Archt. receiving bids to close October 1st. Stucco over hollow tile.

***Church:** \$30,000, 7th and Morton Sts. Archt., Leonard F. W. Steube Co., Adams Bldg., Danville, Ill. Owner, Braden Memorial U. B. Church, Rev. John A. Bray, pastor, 1908 S. 5th St., Terre Haute. Plans completed. Owners financing. Will not ask for bids before March 1st. Brick, 1 sty. and bas., 67x68.

Residence: \$7,000, 1 sty. and bas., 28x48, Warren and Deming addition. Archt., Thomas and Allen, 25½ South 5th St. Owner, William Asberger. Plans in progress. Frame, asbestos shingle roof, tile floor, hardwood floors, furnace.

Contracts Awarded.

***Residence and Garage:** \$15,000, 2 sty. and bas., 38x53. Archt., Shourds-Stoner Co., 511 Tribune Bldg. Owner, Dr. W. H. Miller, 321 McKeen Bank Bldg. General contract let to L. S. Blackford, 644 N. LaFayette Ave., Terre Haute. Brick and stucco, tile roof, furnace.

***Theater:** \$50,000, Bloomington, Ind. Archt., Shourds-Stoner Co., 511 Tribune Bldg., Terre Haute. Owner, H. L. Vondersmith, Washington, Ind. General contract let to Bedford Steel and Constr. Co., Bedford, Ind. Starting work.

MISCELLANEOUS CITIES.

Anderson: Hotel (rem.) \$60,000. Thomas N. Stillwell. Owner of the Doney Hotel is contemplating the remodeling of the present bldg. Definite data later.

***East Chicago:** Club house, 3 sty. and bas., 57x100, Magoun and Chicago Ave. Archt., Jos. Kraft Co., East Chicago

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*Greenfield: Asphalt mastic flooring over concrete base and one (1) electric lighting plant in the new Westland High School Bldg., located at Westland, Blue River Twp., Hancock county, Ind. Archt., Omer P. Gordon, Thayer Bldg., Greenfield. Owner, Venice R. Davis, trustee. Bids are being received at the office of the architect to October 14th at 10:00 A. M.

Lyons: Church Building, 1 sty. and bas., 54x45, at Lyons, Ind., Greene County. Owner, Methodist Episcopal Church. Bids are being received at the M. E. Parsonage at Lyons, Ind., until 3 o'clock P. M., September 25th. Brick.

Contracts Awarded.

*Elkhart: Factory, \$100,000, 1 sty., 400x172. Archt., Muncie and Jensen, 39 S. LaSalle St., Chicago, Ill. Owner, The Curtain Supply Co. General contract let to Elkhart Realty and Housing Corp., Elkhart, Ind. Start work soon. Concrete block and steel, comp. roof, sprinkler system.

*Ege: Church, \$25,000. Archt., Ferd Nusbaumer, Stone Front Bldg., Bluffton, Ind. Owner, Church of the Immaculate Conception, Rev. Father Robert R. Donnelly, Ege, Ind., Leotto P. O., Noble County. General contract let to Leo Herman, Edgerton, Ind. (Allen County), Heating let to Joe Stuckley, Avilla, Ind.

BRIDGES.

Knox: October 2, 1922, at twelve M., by Commissioners of Starke county at Knox, Ind., for the construction of two bridges in Jackson Twp. Henry Smith, Auditor.

Versailles: October 2, 1922, at one P. M., by Commissioners of Ripley county at Versailles, for the construction and repairs of two bridges. W. D. Robinson, Auditor.

Nashville: October 2, 1922, at one P. M., by Commissioners of Brown county at Nashville, Ind., for the construction of a bridge across Salt Creek in Wash-

ington Twp., known as the Clark bridge. R. S. Moser, Auditor.

Rockport: October 3, 1922, at 2 P. M., by Commissioners of Spencer county at Rockport, Ind., for the repair of 12 bridges. R. W. Richards, Jr., Auditor.

SEWERS.

Chesterton: Sept. 29, 1922, at 2 P. M., by Board of Trustees of the Town of Chesterton, Ind., for the construction of a sewer system, known as Chesterton sewer system No. 2, according to plans and specifications: Carl L. Nelson, Town Clerk.

Indianapolis: September 27, 1922, at two P. M., by Board of Public Works of Indianapolis, for construction of four sewers. According to plans and specifications.

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Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field. Copy should reach us, at the latest, Wednesday of the week of publication.

ELECTRIC LIGHT FIXTURES. NOTICE TO CONTRACTORS.

Sealed bids will be received by the Board of School Commissioners of the City of Indianapolis at the office of the Business Director, 150 N. Meridian St., until 8 o'clock P. M., September 26, 1922, for the furnishing and installation of Lighting Fixtures in the shops and power house building of the Arsenal Technical High School, located at 1500 East Michigan street, Indianapolis, according to the plans and specifications prepared by Snider & Rotz, engineers. All proposals must be made on blank form No.

96 prescribed by the State Board of Accounts, which may be secured at the office of the board, and shall be accompanied by a certified check for not less than 3% of the bid.

The estimated cost of the proposed work is \$3,000. Plans and specifications are on file at the office of the board and the office of the engineers, 703 Merchants bank building.

Checks must be made payable to the Board of School Commissioners of the City of Indianapolis, and must be certified good by a bank or trust company in Indianapolis, and in case the bidder whose bid shall be accepted shall not within five days after notice of acceptance enter into a written contract with the Board to perform the bid and secure the contract by a bond in the form and with sureties to the approval of the board, this certified check and the proceeds shall be and remain the absolute property of the Board as liquidated damages for such failure and the bidder shall be liable for nothing beyond the proceeds of the check for the failure, it being impossible to anticipate the exact amount of damages such failure would occasion to the Board.

The right is reserved to reject any or all bids, and to refrain from accepting or rejecting bids for not more than six days.

WALTER J. TWNAME,
Business Director.

Sept. 9-16-23, 1922.

BELL AND CLOCK SYSTEM EXTENSION. NOTICE TO CONTRACTORS.

Sealed bids will be received by the Board of School Commissioners of the City of Indianapolis, at the office of the Business Director, 150 North Meridian Street, until 8 o'clock p. m., October 10, 1922, for extensions to Program Bell and Clock System at the Arsenal Technical Schools, located at 1500 East Michigan Street, Indianapolis, Indiana, according to the plans and specifications prepared by Snider & Rotz.

All proposals must be made on blank form No. 96 prescribed by the State Board of Accounts, which may be secured at the office of the Board, and shall be accompanied by a certified check for not less than 3% of the bid.

The estimated cost of the proposed work is \$1,800.00. Plans and specifications are on file at the office of the Board, the State Board of Accounts, and the office of the engineers, 703 Merchants Bank Building.

Checks must be made payable to the Board of School Commissioners of the City of Indianapolis, and must be certified good by a bank or trust company in Indianapolis, and in case the bidder whose bid shall be accepted shall not within five days after notice of acceptance enter into a written contract with the Board to perform the bid and secure the contract by a bond in the form and with sureties to the approval of the Board, this certified check and the proceeds shall be and remain the absolute property of the Board as liquidated damages for such failure, and the bidder shall be liable for nothing beyond the proceeds of the check for the failure, it being impossible to anticipate the exact amount of damages such failure would occasion to the Board.

The right is reserved to reject any or all bids, and to refrain from accepting or rejecting bids for not more than seven days.

WALTER J. TWNAME,
Business Director.

September 18, 1922.
Sept. 23-30, Oct. 7.

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DON'T FORGET THE FT WAYNE MEETING OF ARCHITECTS.

Northern Indiana Architects are admonished to take cognizance of the fact that the Indiana Society of Architects will hold a big meeting Saturday, October 14th, to be inaugurated with a 12:30 P. M. luncheon.

While ordinarily this would be the occasion for the regular monthly session of the Board of Directors, the board members have decided to make it an open meeting, and since it is the first affair of its kind to be held in northern Indiana an especial invitation is extended to the architects of that section of the State to attend. This special invitation includes all the territory north of Indianapolis, Lafayette, Logansport, Kokomo, Muncie, Anderson, the Calumet District, South Bend, Elkhart, in fact any city or town in that section. Any other Indiana architect who may desire to attend is welcome to do so as no restrictions are imposed. However, a good northern Indiana architectural representation is especially desired.

Prest. Guy Mahurin, Ft. Wayne, assures the Indiana architects that their Ft. Wayne colleagues are all set to make the approaching meeting a memorable event and are already planning to that end.

ANOTHER EVIDENCE OF DESIRE TO PROMOTE SOCIETY'S INTERESTS.

The new administration of the Indiana Society of Architects is intent upon action this year aiming at new life, new effort that a greater interest may be aroused in the organization which eventually will react to the benefit of the State Architectural Profession. This being the case there is much to be done that will require considerable effort to launch new schemes and put them in effect, this in addition to the routine detail work necessary to the functioning of the Society.

To hold office in the Society is an honor, not without sacrifice, for it takes time, but no architect should begrudge the

time so spent since it is in the interest and promotion of his profession than which there is no nobler. Realizing the effort thus demanded of its officers and directors, the Society has provided to take care of the expenses incurred by attendance at the official meetings of the organization thus hoping to compensate, to some measure, these men for their sacrifice. However, several of the officers and directors have failed to attend board meetings, nor have they sent in any word or excuse.

Attention was called to this feature at the last board meeting and the fact was lamented that the non-attendants seemingly showed so little interest in the welfare of their profession. During the discussion Section 5 of Article 4, of the Constitution was referred to and the directors voted to employ the action therein provided for non-attendance in the future.

The section referred to is to be found on Page 19, Vol. 1, of I. S. A. Handbook and reads as follows:

Section 5. In case any officer shall totally neglect the duties of his office for the space of three months without having been excused by the Board of Directors (upon application made before expiration of the time), and in case any director shall be absent from three successive regular meetings of the board without having been excused in like manner, then the Board of Directors may declare the office of such officer or director thereby vacated. The vacancy so made shall be filled at the next regular meeting of the board in the same manner as provided for in the case by death, resignation or expulsion.

PLANS UNDER WAY FOR SELEC- TION OF INDIANA WAR MEM- ORIAL ARCHITECT.

The progress of selecting an architect to design the Indiana war memorial will be under way very shortly, says Paul Comstock, of Richmond, secretary of the war memorial commission.

The program of instructions for the architects who will compete to obtain the war memorial award has been arranged but will not be made public until it has been submitted to the American

Institute of Architects for final approval.

The commission, Mr. Comstock said, will advise architects who are interested, in the competition to write the commission. The commission will send to the architect, it was said, a letter, containing instructions, and an application blank, on which to make formal entry to the contest.

Jury of Architects.

In order to comply with the law, which requires that only men competent to do the work shall compete; the commission will have an anonymous jury of architects eliminate the entrants who manifestly are not qualified to go into the final stage of the competition.

To the entrants who qualify for the final stage of the competition the commission will send the program of instructions, prepared by Thomas B. Kimball, architectural advisor of the commission. The designs submitted by the competing architects will be placed in the hands of a jury of perhaps five architects, whose names will be known to the contestants and to the public. This jury will determine the architect to design the war memorial.

Time Is Limited.

The process of competition, under the law, must not take less than four months nor more than eight months, Mr. Comstock explained. The commission hopes, it was said, to have an architect selected and a contract signed with him before the close of the next session of the legislature.

WELL KNOWN INDIANAPOLIS ARCHITECTS TO ERECT ARCHITECTURAL STUDIO.

An interesting announcement was made by the Elmer E. Dunlap Company, architects of Indianapolis, who contemplate the erection of an architectural studio at Eleventh and Delaware streets that city. The site with a frontage of seventy-five feet on Delaware street, is one hundred and ninety-five deep. Quite an improvement plan is proposed by the Dunlap Co., who will remodel the residence on the site into an office building, while a four family brick apartment is contemplated for the rear of the lot.



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Indianapolis

ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller.....President

Office, 411 Sycamore St.

KEEPS RIGHT ON.

Building construction activity in Evansville is defying precedent in that it has been the regular order usually for building operations to slack up about this time of the year, but this year it is evidencing an inclination to hold up, in fact last week it showed an increase over the previous week's business. For instance permits calling for an estimated expenditure of \$32,310 were issued as against \$25,529 for the preceding week. While these figures are considerably less than those that prevailed during the spring and early summer, building men say they mean that new construction in Evansville promises to continue later into the fall than has been customary of late years.

The fact that the most of money expended during the past two weeks went for residence building is regarded by architects and material men as encouraging.

Residence building of late is going stronger than several weeks ago. Last week construction of nine residences was licensed. Six such licenses were issued two weeks ago.

HANDICAPS SPURRED TO GREATER ACTION UNDER LASHING WHIP OF DEMAND.

Difficulty in obtaining basic building materials has made a shortage felt in the local market. Shipping conditions, due to the rail strike have imposed quite a handicap on building. Coal shortages at the various plants caused a curtailment of manufacturing operations, while advanced coal prices had the effect of increasing production costs which though slight, nevertheless, are reflected in prevailing building material quotations; especially is this true of cement and clay products.

Everything considered, scarcity of labor, and muddled conditions arising from the coal and rail situations makes the building performance of 1922, not only in Evansville, but, in fact, the whole country, most remarkable.

NEW BUILDING CODE BEING WORKED OUT.

Evansville is to all intents and purposes to have a new building code by next season. City Building Inspector Edward Kerth, who has been giving a great deal of time and thought to this matter announced that he hopes to have the new code compiled by the first of the year.

The new building regulations will contain approximately fifty sections and will represent the best that it was possible to cull from building data gathered together from many of the leading cities of the country. Every attempt is to be made to compile a code that will be elastic enough to rigidly meet current conditions and also those that may arise in the future.

One strong feature of the code is to deal with a lessening of the fire hazard with the view to securing for the city reduced insurance rates.

ESTIMATORS STILL BUSY.

An assorted list of proposed projects was out this week for the attention of the local contractors who wanted to bid. Some of these projects were local affairs, some were located in Illinois and others were in Kentucky. These buildings embraced residential, school, commercial and hospital construction. Little time the local estimators have had to call their own this season. Life to them for months has been just one plan after another.

FT. WAYNE

BUILDERS' EXCHANGE
Member State A. B. C.

Max Irmischer.....President

Eph Dailey.....Secretary
825 Calhoun St.

Phone 2001

BUILDING MATERIAL SHORTAGE BEING OVERCOME.

Material men about the city say that while building construction operations in Ft. Wayne, the greatest ever known locally, put quite a tax on the visible supply, nevertheless by dint of effort they have been able to catch up with demand, and the local market is in fairly good shape.

There was an acute situation some little time back and prices advanced slightly. The chief commodity thus affected was cement, as some of the mills, especially those in Michigan, closed be-

cause of the coal shortage.

The brick situation has eased up but structural steel has been hard to get and good lath is very scarce. There has been considerable delay of rail shipments enroute. Another commodity hard to obtain locally was linseed oil, but a supply of same is expected before long.

BIG ASPIRATIONS ENTERTAINED.

That Fort Wayne will reach second place in building activities for the month of September is the opinion of city officials. Building permits during the first week of the present month are almost equal in number to those issued during the first two weeks of last month. The total for the month promises to be large, the permit for the new First National bank building having been issued a few days ago for the amount of \$900,000. The permit was issued to Max Irmischer

& Sons in addition to a permit for \$25,000 for the erection of a residence for Henry C. Paul at 1820 Forest Park boulevard.

HOUSING SITUATION MUCH IMPROVED.

An investigation by the Ft. Wayne Builders' Exchange of local housing conditions, which a few years ago presented a serious problem shows that housing facilities in this locality have been almost restored to normal.

According to the report issued by the Exchange as a result of the above mentioned investigation, the findings are set forth as follows: "During the inactivity of building construction brought about by the war period, housing accommodations were put to a severe test. However, with the resumption of building activities many citizens turned their attention to the erection of new homes, while realtors and building companies followed suit and started much dwelling construction. The year of 1921 saw much activity along those lines, it being one of the best residence building years Fort Wayne has ever experienced. Then came 1922 with a modification of material prices which added a new impetus to building inclinations resulting in an early start on more new residences."

DIMENSION STUFF.

Every indication points to another new school for Ft. Wayne. The city council has approved a site at Maumee avenue and Wabash streets, to be used for a new 12-room grade school and now the Board of Education is preparing to advertise for bids at once for the construction of this project.

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Member State A. B. C.

F. W. Junglaus.....President
C. C. Pierson.....Secretary
320 Peoples Bank Building

MEETINGS.

Executive Committee meets second Tuesday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

Mason Contractors Association meets every Thursday—1 P. M.

General Contractors meet second Friday each month.

PLANS ON FILE.

At 320 Peoples Bank Building,
Indianapolis.
None this week.

WAIVER OF LIEN.

Temperley, Earl E., et ux., as owner and Realtor Bldg. Co., agrees to finish all work required on double house and garage located on lot 3 McIlvaine's E. Meridian Hgts. 2nd Sec. for \$7,191.00.

New, Katie M., as owner and Realtor Building Co., agrees to finish all work required on two-story frame double and garage located on lot 400 Woodcroft add. for \$11,800.00.

Harding, Henry L., as owner and Realtor Building Co., agrees to finish all work required to erect a double residence and garage on lot 5 Brodleigh add.

THEY'RE OFF!

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Hugh J. Baker & Co.	1	2	.333
Thumbtacks	1	2	.333
Hetherington & Berner	0	3	.000
Wege-Stanford	0	3	.000

Indianapolis building circles are entertaining an institution unique in its make-up and the only one of its kind in the State. It is a bowling league known as the A. C. E. S., in other words, Architects, Contractors, Engineers and Supply Men. As can be seen it embraces practically every branch of the building industry and has been a developer of fine sportsmanship and goodfellowship, affording as it does a common meeting ground for sociability. Oh yes, the competition is there, keen and intense, but it is different from the business competition that rules ordinarily between the members. This league offers play time for the building interests of Indianapolis, a feature that many other businesses have found profitable.

The first evening's battles, enlivened

by much good natured rivalry and frantic rooting showed the above initial standing when the last balls had topped the pins into the pits:

League games are bowled every Friday night, 6 p. m. to 8 p. m., at the Central Alleys, rear of 34 W. Ohio St.

BUILDING PROJECT RUNS AFOUL OF ZONING PROVISIONS.

There was a time when cities in Indiana just sort of grew wild, spreading out, expanding, growing within themselves, regardless of the future, and consistency, resulting more or less in a conglomeration of buildings of wide and varied interests having little or nothing in common. However, to employ the slangy parlance of today, "Them days are gone forever," having passed, so it seems, with the institution of City Plan Commissions.

Just the past week it was demonstrated at Indianapolis that where new buildings are proposed the city and surrounding property owners are to have a voice in the matter as to whether said projects are desirable and whether certain prescribed building regulations and zones are to be observed and respected in the future development of the municipality.

The tentative zoning ordinance prepared by the plan commission designates North Meridian street as an apartment house district as far as Thirty-eighth street, but north of that point the street is to be devoted only to residences.

Several prominent Indianapolis business men proposed to build a \$500,000 apartment building, plans for which were prepared, on Meridian street north of 38th street, just beyond the zone limit. They took the matter up with the park board recently and board members agreed to follow the recommendation of the city plan commission.

When neighboring property owners heard of the proposed building they registered a remonstrance with the City Plan Commissioners, who the past week, after a public hearing, referred the matter to the Park Board with the recommendation that the prospective builders be refused the right to construct the contemplated building.

The contention of the property owners who protested against the building was that there are no apartment buildings north of Thirty-eighth street on Meridian street, which is a high class residence street, and that construction of this one would open the way for encroachment of this kind of building on a purely residential street. It was asserted also that the building would injure property values already established north of Thirty-eighth street.

Members of the plan commission said that they have no authority to prohibit construction of the building because the zoning ordinance has not yet gone into effect, but that the park board might stop it by exercising its authority to determine the kind of buildings erected within 500 feet of a boulevard. The matter was, therefore, referred back to the park commissioners with the project disapproved, but leaving the park commissioners to exercise their own judgment.

PLANS COMPLETED.

All preparations have been made by the Vincennes A. B. C.'s to entertain the Sixth Monthly Conference of the A. B. C.'s of Indiana in that city Thursday, September 28.

To facilitate matters so that all delegates from the North and South can conveniently reach the meeting, it will be called to order at 2:30 P. M. at the Council Chambers at the City Hall. By convening at this hour it is believed that all business can be transacted in time to allow visiting delegates to get away on an early evening train for home, should they so desire.

BUILDING PERMITS

(\$5,000 and Over)

WEEK OF SEPT. 15th TO SEPT. 21st.

Apartment Building: \$25,000 (16 Apts), 2 sty. and bas., 44x149, Birchwood and Fairfield. Owner and builder, Jose-Kuhn Lumber Co., 1160 Fairfield Ave. Brick. Excavating.

Residence and Garage: \$20,000, 4365 N. Ills. Owner, Kurt Vonnegut, 610 Indiana Trust Bldg. General contract let to Frank B. Bremmerman, 1050 West 30th St. Brick veneer. Excavating.

Residence: \$13,000 (double), 502 East 48th St. Owner, A. C. Barbour, 418 E. 15th St. General contract let to W. A. Quillan, 2433 Indianapolis Ave. Excavating.

Residence: \$12,000, 3668 N. Delaware. Owner, American Estates Co., 801 Occidental Bldg. General contract let to Alonzo Jeffers, 3124 Walker St.

Residence: \$10,000, 5152 Kenwood. Owner and builder, William Low Rice, 912 State Life Bldg.

Stores: \$10,000, 1 sty., 40x40 and 16x40, 4402 East Washington St. Owner, McCord and McKinney, 4402 East Washington. General contract let to Wakefield-Patton Constr. Co. Brick veneer.

Residence (double), \$10,000, 4604 Guilford and residence at 802 E. 46th, \$6,000. Owner, W. A. Quillan, 2433 Indianapolis Ave. Owner builds. Frame.

Residence (double), \$9,500, 4101-03 College. Owner, Edw. H. and Pearl C. Niles, 4450 Guilford. General contract let to W. A. Quillan, 2433 Indianapolis Ave. Excavating.

Residence: \$8,500, 3840 N. Pennsylvania. Owner, Taylor C. Power, 730 Indiana Pythian Bldg. Owner builds.

Residence: \$8,200, 43 Hampton Drive. Owner, Dr. H. A. Vancosdal, 314 Board of Trade Bldg. General contract let to H. L. Burns, 1307 West 34th St.

Residence (double), \$8,000. Owner, Jose-Kuhn Lumber Co., 1160 Fairfield.

Residence (double), \$8,000, 406-08 East 49th St. Owner, E. J. Schoobridge, 2117 Gale St. Contract let to Gale Constr. Co., 2117 Gale St.

Residence (double), \$8,000, 402-04 E. 47th St. Owner, W. A. Boltoyer, % contractor. General contract let to Burton Constr. Co., Union Trust Bldg.

Residence: \$8,000, 4007 N. New Jersey. Owner, J. S. Holmes, at site.

Residence: \$7,500, 321 E. 47th. Owner, Louis B. Messang, 922 Roache Ave. Contract let to H. E. Rogers, 322 E. 47th.

Residence (double), \$7,300, 5218-20 College. Owner, Nellie Hosman, 501 N. Bancroft St.

Residence: \$7,000, 26 S. Christian. Owner, Paul L. McCord, 311 Lemcke Bldg.

Residence: \$7,300, 325 East 36th. Owner, W. J. Kopp, 3515 N. Pennsylvania St. Contract let to W. J. Weesner, 12 When Bldg.

Residence: \$6,500, 3950 Winthrop. Owner, Powell Estate Co. Contractor, Louise E. Powell.

Residence: \$6,000, 4016 N. Illinois St. Owner, Fred Beinberg, 2457 N. Talbott. Contract let to Adam Reichel, 4070 Boulevard Place.

Residence: \$5,500, 204 East 47th. Owner, John W. Bowles, 729 Lemcke Bldg. Contract let to J. E. Lineberry, 1630 N. New Jersey St.

Residence: \$5,500, 520 Bancroft. Owner, Jesse Earl. General contract let to J. J. Reith, 550 N. Temple.

Stores: 1 sty., 39x60, \$5,000, 2321 N. Alabama St. Owner, William H. Kilman, 2335 N. New

Stores (3) \$5,000, 1 sty., 44x90, 32 West 10th. Owner, George W. Schneider, at site. General contract let to Moslander and Son, Indianapolis, Securities Bldg.

Residence: \$5,000, 1825 Laughley. Owner, Rose Baney, % contractor. Contract let to Earl Kepper, 1918 Valley Ave.

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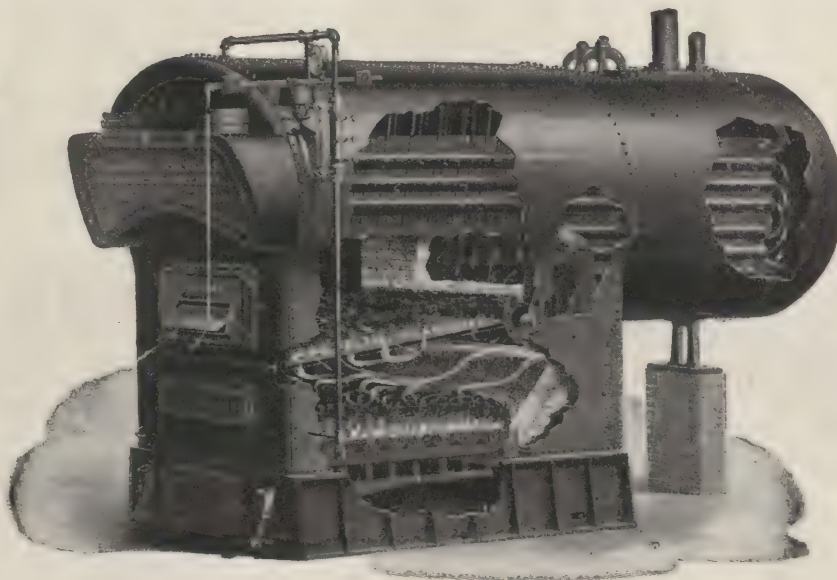
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J. Wesley Reed ----- President
E. E. Cole ----- Secretary108 Citizens National Bank Bldg.,
Hammond, Indiana**MEETING NIGHTS**General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.**CONTRIBUTIONS NOW IN ORDER**

Inventory time has come.

The coal strike has been settled, and it begins to look as if the same action will follow soon in the railway shopmen's recent demonstration of dissatisfaction, in fact, this affair is all but settled and the shopmen on most of the roads are expected to be back on the job shortly.

As a result of these industrial disturbances there is a car shortage with talk of priorities, and the coal shortage is most manifest. Things will straighten themselves out, but not without the help of the Public, who will be expected to "pay the freight" in getting matters back to the main line and moving on toward good times.

Men interested in the coal industry have admitted that coal prices must necessarily be high from now on for a time for there is a big deficit to be made up due to the protracted period of idleness that settled down over the coal fields. The argument is advanced that the people must have the coal, why shouldn't they pay for it?

It was suggested that the Government take a hand in the readjustment of the coal situation, regulate prices and prevent unlicensed profiteering. About as far as that proposition got was the suggestion; somebody gummed up the machinery there and effort in that direction has been stopped. The railroads, too, undoubtedly lost money. How is that to be made up? Is this deficit also to be opened for contributions from the masses?

A persistent rumor continues to be wafted about that there will be a strike in the steel mills in the near future. If so, the lull there will probably be followed by a poverty plea by the poor steel magnates, and once more the Public will be "the fall guy."

This is the day when we are paying for what we get and getting what we pay for.

PENDULUM SWINGING BACK.

Nevertheless, we of the Calumet District have occasion to return thanks. Contractors up here have at last been able to secure all the brick-layers they need, and the premium wages that were in order for a time are being lopped off. It now begins to look as if the wage tide was beginning to ebb toward the regular scale level. Only this week

there were three applications for work from brick-layers and there was no place to put them.

TWO GANGS TO EVERY ASSOCIATION.

No city was built in a day; nothing worth while was achieved without great effort.

No organization can accomplish everything that lies before it at one sweep, only by perseverance, time, sacrifice and devotion can the ultimate aim of an organization be attained.

The B. T. E. A., of the Calumet District is working and building. Members of any association belong to two classes, the construction gang, or the wrecking crew. The fellows on the construction gang are the ones who send in their dues promptly. If you have failed up to this time to remit your check, do it now!

CALUMET BUILDING PROGRESS.

Architect Mac Turner reports that bids are to be opened Monday, Sept. 25, for the construction of a one story building, to contain four store rooms, for Henry Baker, Indiana Harbor.

The three store room building for Sam Tagay to be erected on State street, was awarded to Contractor Jones last week for \$11,000.

The wrecking crew got busy on the old buildings at Hohman and Clinton streets, this week making way for the new Spragia Building that is to adorn that corner.

Ahlbron & Bates, contractors at the new sewage disposal plant have excavated down to the water level, are putting in the cribbing and as soon as the pumps arrive, which were delayed by the railway strike, will get busy in earnest.

The fellow who wrote "The longest way around is the sweetest way home" should come to Hammond to learn the fallacy of his argument. You see they are putting in a big sewer system here and the contractors who are doing the concrete section work have so many street corners blocked with excavations from six to nine feet in diameter that the fellow who tried to drive home after a busy day has one heck of a time, a situation that is not at all conducive to sweetness. It takes some driving now to get home in time for dinner.

E. E. COLE.

MUNCIEAssociated Building Contractors
Member State A. B. C.Chas. Rowe ----- President
J. A. Gallivan ----- Secretary

314 Main Street

WHAT OTHERS HAVE ACHIEVED SO CAN INDIANA BY A LITTLE EFFORT.

So successful have been the building trades apprentice schools fostered by the Industrial Association of San Francisco that announcement has just been made that three more classes are to be

instituted within the next sixty days. The new classes will be for boys wishing to learn bricklaying, painting and paper hanging.

The classes now in operation are, one for plasterers, and the other for plumbers. From the very beginning these classes have been a success in every respect and continue to attract attention right along with the result that applications are continually being received from boys and young men from many distant points.

Apprentice students are showing keen interest in their work and amazing aptitude in acquiring the rudiments and fundamentals of the respective trades that are being taught. As matters are going now there is every indication that by next spring there will be from 200 to 300 new student plasterers and plumbers in San Francisco, a condition that will do much to relieve the acute shortage that has existed in these two branches of the building industry in that city.

Here is a concrete example of how the apprentice problem can be met and a solution reached toward the supplying of skilled building trades mechanics for the future if a determined effort is made in that direction.

Indiana cities such as Indianapolis, Ft. Wayne, Evansville, South Bend, Terre Haute, Muncie and other municipalities know what a shortage of mechanics means to the building industry in each community, it is the same old story year after year for the contractors. One thing is certain it is going to go into repetition right along if some definite action is not taken collectively by the contractors. If they don't care, that is a different matter. However, if they really desire to alleviate the shortage of building trades mechanics they can, by concentrated effort, do it by arousing the interest of the educational authorities to the crying need for the practical educational training of the boys. The tax payers will benefit in the end, for after several years the boys will graduate from the schools not only with an academic education but also equipped with a knowledge fitting them with a trade training that will afford them lucrative employment better than they can secure through clerical sources. As it is now, girls are taught housekeeping, sewing, cooking, essentials to the future home. Why should not the boys be so equipped that they can provide adequately for that same home of which they in time will become the head?

Indiana contractors can not be accused of a selfish motive in agitating or promoting trade apprentice training in the public schools, for such action, if carried to a successful conclusion, will lead to inestimable benefit to those outside the contracting business, first the boys themselves, prospective builders, allied building interests, also other business interests, many and varied, to whom continued building of new homes and other structures means much; further, increased skilled men to handle the building construction operations will mean greater facilities for the upbuilding and onward growth of the various Indiana cities.

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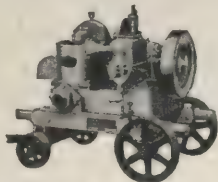
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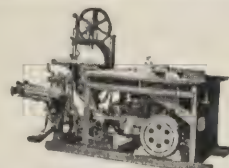
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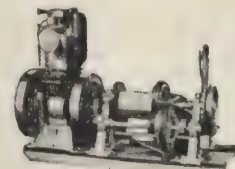
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No. 6 C. H. & E. Saw Rig



No. 3 C. H. & E. Hoist

LATEST BUILDING MATERIAL PRICES AT INDIANAPOLIS, IN MANY INSTANCES, SHOW SLIGHT ADVANCES.

Under a continued heavy demand throughout the summer, due to the steady volume of building construction operations, and with the supply affected more or less by retarding influences imposed by the coal and rail strikes, building material prices in Indiana have shown slight advances over the earlier quotations of the season, and at present are ruling firm to strong.

Clay products, especially brick and hollow tile, felt the months of coal non-production keenly which cut down burning, creating a limited supply which is reflected in prices that are showing advances of from 10% to 25% over figures quoted in June.

Varying changes of prices are to be found in the Indianapolis lumber market with most grades showing 6% to 10% advances. This however, does not apply to finish and hardwood flooring which has held steady at June quotations. Lime and plasters also have gone up approximately 10%, while roofings and metal lath have held steady at former prices.

The prevailing retail building material supply prices at Indianapolis at the present time are listed as follows:

LUMBER.

Framing Lumber.

2x4 in. 8, 16 ft.—No. 2 common.....	\$44.00
2x4 in. 18, 20 ft.—No. 2 common.....	46.00
2x6 in. 8, 16 ft.—No. 2 common.....	42.00
2x6 in. 18, 20 ft.—No. 2 common.....	44.00
2x8 in. 8, 12, 14, 16 ft.—No. 2 common.....	46.00
2x8 in. 18, 20 ft.—No. 2 common.....	44.00
2x10 in. 8, 12, 14, 16 ft.—No. 2 common.....	44.00
2x10 in. 18, 20 ft.—No. 2 common.....	46.00
2x12 in. 8, 12, 14, 16 ft.—No. 2 common.....	44.00
2x12 in. 18, 20 ft.—No. 2 common.....	47.00
Same—No. 1 common, add \$8.00 per M to above quotations.	

Boards.

Yellow Pine, S & S., 1x4 in.—No. 1 common.....	\$50.00
Yellow Pine, S & S., 1x4 in.—No. 2 common.....	37.50
Yellow Pine, S & S., 1x6 in.—No. 1 common.....	44.00
Yellow Pine, S & S., 1x6 in.—No. 2 common.....	44.00
Yellow Pine, S & S., 1x8, & 10 in.—No. 1 common.....	55.00
Yellow Pine, S & S., 1x8, & 10 in.—No. 2 common.....	45.00
Yellow Pine, S & S., 1x12 in.—No. 1 common.....	65.00
Yellow Pine, S & S., 1x12 in.—No. 2 common.....	50.00

Bevel Siding.

6 in. clear redwood.....	\$65.00
6 in. select poplar.....	70.00
8 in. clear cypress.....	75.00

Drop Siding.

Yellow Pine, 1x6 in.—Clear.....	\$70.00
Yellow Pine, 1x6 in.—No. 1 common.....	60.00
Yellow Pine, 1x6 in.—No. 2 common.....	45.00
Yellow Pine, 1x8 in.—No. 1 common.....	60.00
Yellow Pine, 1x8 in.—No. 2 common.....	47.00

Finish.

Yellow Pine, 1x6 in. to 10 in.....	\$ 90.00
Yellow Pine, 1x12 in.....	110.00
Cypress, 1x12 in.....	150.00
Cypress, 1x6 in. to 10 in.....	140.00

Hardwood Flooring.

Oak Flooring.....	\$130.00
Maple Flooring.....	130.00
Edge Grain Flooring.....	110.00
No. 1 Yellow Pine Flooring.....	75.00

Yellow Pine Flooring.

1x4 in. clear flat grain.....	\$85.00
1x4 in.—No. 1 common.....	65.00
1x4 in.—No. 2 common.....	42.00
1x6 in.—No. 1 common.....	55.00
1x6 in.—No. 2 common.....	45.00

Shingles.

Oregon cedar, clear 5-2 in.....	\$8.00
Extra XAX, 6-2 in.....	7.00

Wood Lath.

48 in. No. 1 Cypress Lath.....	\$12.00
48 in. No. 1 Hemlock Lath.....	12.00
48 in. Yellow Pine.....	10.00
32 in. No. 1 Cypress Lath.....	7.00
32 in. No. 1 Hemlock Lath.....	7.00
32 in. Yellow Pine.....	5.50

CLAY PRODUCTS.

BRICK.	
Common, F. O. B. cars, Indianapolis.....	\$15.50 to \$16.50 M.
Face, F. O. B. cars, Indianapolis.....	23.00 to 40.00 M.

HOLLOW CLAY PARTITIONING TILE.

Size (Inches)	Wt. Each	Pcs. to Min C/L	Deld. from Stock M.
3x12x12.....	15 lbs.	3570	\$84.00
4x12x12.....	16 lbs.	3200	95.00
6x12x12.....	22 lbs.	2400	123.80
8x12x12.....	30 lbs.	1800	169.00
10x12x12.....	35 lbs.	1500	192.00
12x12x12.....	42 lbs.	1200	238.90

BAKUP TILE.

Size (Inches)	Wt. Each	Pcs. to Min C/L	Deld. from Stock M.
4x5x12.....	9 lbs.	5000	\$ 45.92
5x8x12 (2-cell).....	15 lbs.	3200	76.50
5x8x12 (3-cell).....	17 lbs.	3200	86.75

GYPSUM BLOCKS.

Size (Inches)	From Warehouse
3x12x30 Hollow.....	\$132.00
4x12x30 Hollow.....	154.00

CEMENT BLOCKS

Plain—8 in.x12 in.x16 in.....	\$0.22 each
Rock Face—8 in.x12 in.x16 in.....	.25 each
For fittings, corners, window blocks, add 25%.	
For Water-Proof Blocks add two cents per block.	

LIME, CEMENT AND PLASTER

LIME.

	Each
Finish, Hydrate, 50 lb. paper sacks.....	\$0.47
Mason's Hydrate, 50 lb. paper sacks.....	.40
Chemical Hydrate, 50 lb. paper sacks.....	.52
Single Bags, any kind.....	.65
Lump Lime, bulk.....	per cwt. .75

CEMENTS.

	Each
Portland, paper bags.....	\$0.90
Portland, cloth bags.....	.95
White Portland, cloth bags.....	2.60
Bricklaying.....	.66 and .75
Cloth sacks included, returnable at 7c each.	

PLASTERS AND FINISHES.

	Each
No. 1, Prepared, 1st coat, cloth sack.....	\$0.60
No. 2 Prepared, 2nd coat cloth sack.....	.60
Special, Prepared Metal Lath, cloth sack.....	.65
Single Sack, any kind.....	.75
Plaster—Unsanded (Neat) 80 lb. paper sacks.....	.78
Plaster—Unsanded (Neat) 100 lb. cloth sacks.....	1.05
Single Sack, paper.....	1.00
Wood Fibre, 100 lb. paper sacks.....	.75
No. 1 Moulding Plaster, 100 lb. cloth.....	1.40
No. 1 Moulding Plaster, 80 lb. paper.....	1.10
Michigan Stucco, 100 lb. cloth.....	1.00
Plaster Paris, satin finish, paper.....	1.00
Superior Plaster Paris, 80 lb. Pa.....	1.00
Keene's Cement, 100 lb. cloth sack.....	2.00
White Trowel, Prepared, 80 lb. cloth sack.....	1.30
White Sandflat, Prepared, 100 lb. cloth sack.....	1.25
Retarder, (at yard).....	pond, .12
Cloth sacks included, returnable at 7c each.	

MORTAR FOR BRICKLAYING.

Carney's cement, cloth, per bag.....	\$0.75
Brixment, paper, per bag.....	.66
Brixment, cloth, per bag.....	.70
Cloth sacks included, returnable at 7c each.	

MORTAR COLORS.

	Pound
Red, 100 lb. sacks.....	.02 1/2
Buff, 100 lb. sacks.....	.03 1/2
Chocolate Brown, 100 lb. sacks.....	.03 1/2
Black, Dble. Str., 100 lb. sacks.....	.05 1/2
Black, Sgl. Str., 100 lb. sacks.....	.03 1/2
Special Chocolate, 100 lb. sacks.....	.04 1/2
In quantities less than 1 sack.....	.06

SAND.

	Ton
White Silica, bulk.....	\$ 8.00
White Silica, cloth sacks.....	10.00
Michigan, bulk.....	5.50
Michigan, cloth sacks.....	7.50
Cloth sacks included, returnable at 7c each.	

ROOFING MATERIALS.

	Square
Slate Surface (8 inx12 3/4 in.).....	\$6.25
Slate Surface, strip shingles.....	6.00
Colors—Red, Green or Blue-Black.	

ROLL ROOFING.

	Roll
Green Slate Surface.....	\$3.00
Red Slate Surface.....	3.00
Blue Black Slate Surface.....	2.40
Class C Heavy, 55 lb. (3 ply).....	2.40
Light (1-Ply) 35 lb.....	1.75
Black Waterproof Paper, 500 sq. ft.....	1.50

ASPHALT AND PITCH.

	Per 100
No. 82 Asphalt.....	\$5.00
Pitch.....	3.00

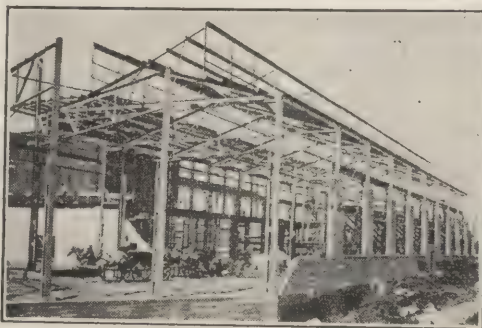
SUNDRIES.

Tins, Gal.....	\$0.10
Cleats, Clinchers, etc., Bdl.....	.25

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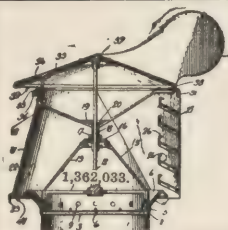
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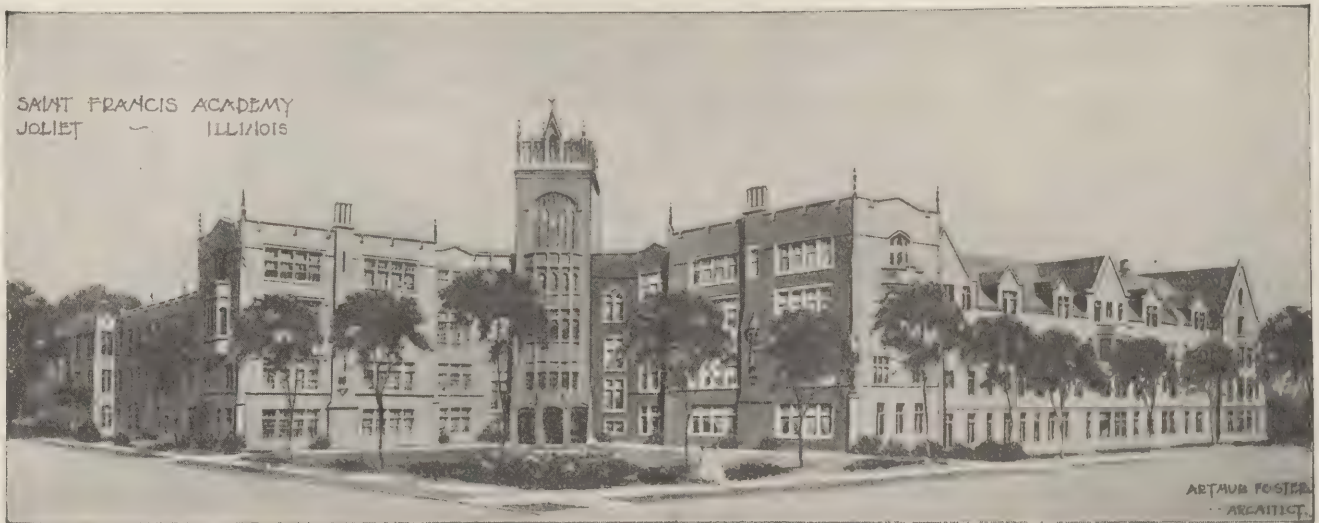
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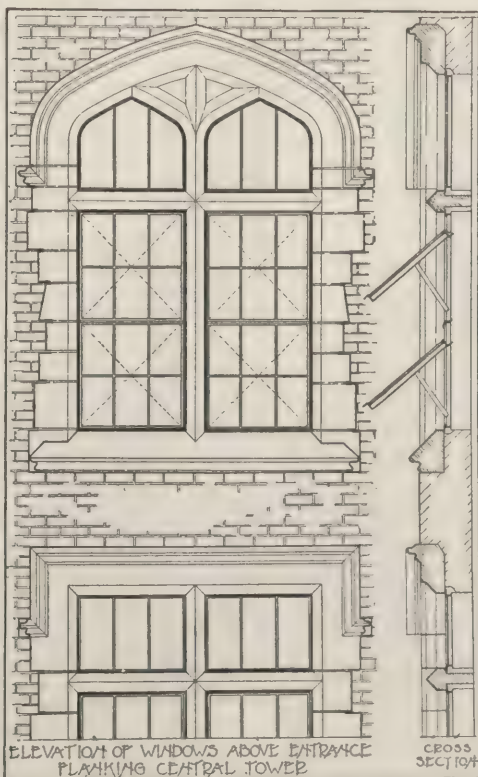
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Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

Vol. IV

INDIANAPOLIS, INDIANA, SEPTEMBER 30, 1922

No. 26

INDIANA CONSTRUCTION RECORDER
Published Every Saturday

DONALD CAMPBELL Publisher
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JOHN H. OWENS Field Manager

312 E. Market Street,
Indianapolis, Ind.

PHONE—MAIN 5673

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Entered as second class matter August 29, 1919,
at the Post Office at Indianapolis, Indiana, under
the Act of March 3, 1879.

News of the Week

The asterisk (*) prefix to an item indicates ad-
ditional information to report published in pre-
vious issue.

INDIANAPOLIS.

City Hospital (additions), \$400,000, Administration Building, 3 sty. and bas., 136x44, with wing 36x40. Nurses Home, 4 sty. and bas., 197x40, with wing 48x38. "City Hospital Grounds." Archt., Adolph Scherrer, 415 Indiana Trust Bldg. Owner, Board of Health and Charities, Dr. E. E. Hodgkin, Pres.; Dr. Goethe Link, V.-P., City Hall, Indpls. Owner receiving bids to close October 11th at 2:00 P. M. Brick, reinf. conc. floor and roof constr., hollow tile partitions, Oolitic limestone, art glass, tile and terrazzo floors, base and wainscot, slate work, copper and tar and gravel roofs, hollow metal doors and frames, frpf. vault door, reinf. conc. swimming pool. Will contain 200 rooms, gymnasium, assembly, class rooms, library, swimming pool, elevators.

Department Store: \$70,000, 3 sty. addition, 17x195 and 2 sty. top addition to present building, 67x137, 311 W. Washington St. Archt., Batchelder and Scales, Board of Trade Bldg. Owner, The Fair

Store, Louis Traugott, Pres., 311-21 W. Washington St. Archt. receiving bids to close October 11th. Work will consist of metal lumber, 2 passenger elevators, heating (radiation), plumbing, terra cotta work, orn. plaster, parquet flooring, struct. steel, frame constr., comp roof.

***Masonic Temple:** \$50,000, 2 sty. and bas., 45x100, Roosevelt Ave. and Adams St. Archt., Donald Graham, 1128 Hume Mansur Bldg. Owner, Veritas Lodge No. 608 F. & A. M., W. E. Reno, Chmn. Bldg. Comm., 3420 Roosevelt Ave. Archt. receiving bids to close Oct. 9.

Residence: 2 sty. and bas., about 45x95, North of 56th St. Archt., Robert Frost Daggett, Lemcke Annex. Owner, John H. Aufderheide, 858-60 Lemcke Annex. Archt. taking bids. Stucco, Spanish tile roof, steam heat, tile and hardwood floors.

Residence (Dutch Colonial type), 10 rooms, 2 baths, Seymour, Ind. Owner, T. H. Montgomery, Seymour, Ind. Archt., Wilson B. Parker, 620 State Life Bldg., Indianapolis. Plans sent to the owner. Owner taking bids. Frame, furnace heat, slate roof, hardwood floors.

***Church:** Anderson, Ind. Archt., Chas. E. Bacon, 605 Odd Fellows Bldg., Indianapolis. Owner, First Baptist Church, Edgar Lavens Hamilton, Pastor, R. B. Tuttle, Chmn., Anderson. Archt. receiving bids to close shortly. Brick. The following contractors are figuring general contract: Babel and Poppenwell, 404 Central Ave.; W. E. Thompson, 120 West 7th St.; Eshelman and Sons, Ben Wright, all of Anderson; L. M. Glass, Muncie; T. E. Setters and Son, Noblesville.

***High School Bldg.** (addition), Winchester, Ind. Archt., The Elmer E. Dunlap Co., 909 State Life Bldg., Indianapolis. Owner, Board of School Trustees, David F. Hardman, Luther M. Kimmel, Edward S. Goodrich, Winchester, all bids rejected. Archt. will probably revise plans and readvertise for new bids later.

***School Building:** \$65,000, Jefferson

School Township, Huntington County, Ind. Archt., The Elmer E. Dunlap Co., State Life Bldg., Indianapolis. Owner, O. N. Lefler, Trustee, Warren, Ind. Bids rejected. Will probably revise plans and readvertise for new bids later.

***School:** Lancaster Township, Jefferson County, Ind. Archt., The Elmer E. Dunlap Co., State Life Bldg., Indianapolis. Owner, Chas. L. Rutledge, Trustee, Dupont, Ind. Revised plans completed and approved. Owner will advertise for new bids in 10 days.

Gymnasium: \$15,000, East 10th and Keystone. Archt., The Elmer E. Dunlap Co., State Life Bldg. Owner, East 10th St. M. E. Church, Rev. George S. Henninger, Pastor, 2323 East 10th St. Plans in progress. Brick veneer.

Amusement Building (dance hall and roller skating rink), 1 sty., 80x100, Douglas Park. Archt., Wilson B. Parker, 620 State Life Bldg. Owner, Sam Hollingsworth, % Archt. Plans in progress. Frame.

Residence and Garage: 8 rooms, 2 sty. and bas., Martinsville, Ind. Archt., Wilson B. Parker, 620 State Life Bldg., Indianapolis. Owner, Edward L. Avery, % First National Bank, Martinsville. Plans sent to owner. Owner will take bids. Brick veneer, furnace.

Installation of 2 hood cases & vents: in the Chemical Laboratory at the Arsenal Technical School, 1500 E. Michigan St. Owner, Board of School Commissioners, Walter J. Twiname, Business Director, 150 No. Meridian St. Owner receiving bids to close October 17th, at 10:00 a. m. (See legal advertising in this issue.)

Contracts Awarded.

***Department Store and Office Bldg.** (rem.), \$60,000, 36 N. Pennsylvania St. Archt., Vonnegut, Born & Mueller, 610 Indiana Trust Bldg. Owner, The When Bldg. Co., 36 N. Penn. St. General contract let to Jos. Sertell, 111 Monument Place. Start work at once; heating and

(Continued on Page 7)



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Indianapolis

plumbing will be let in two weeks.

Residence and Garage: \$20,000, 2 sty. and bas., 4919 N. Meridian St. Owner and builder, Burns Realty Co., Lemcke Annex. Brick veneer. Owner builds and awards separate contracts.

Elevators: The Home Elevator Co., Indianapolis, have signed contracts to install elevators in the following jobs: Parcel Post Bldg., Indpls.; Indiana Naval Stores Co., Indpls.; and The Whitelock Press, Huntington, Ind.

Light Plant: \$10,000. Broad Ripple, (Marion County) Owner, Town Board, Broad Ripple. Contract let to the Hoosier Engineering Co., 41 No. Capitol Ave. Indianapolis. (Contract not signed) awaiting permission from the Public Service Commission to issue bonds to pay for the construction of the plant.

Industrial Building and Warehouse: \$94,000, 2 sty. and bas., 50x165 and 1 story, 62x107, Thirtieth and Ethel Sts. Archt., Adolph Scherrer, 415 Indiana Trust Bldg., Indianapolis. Owner, The Board of Industrial Aid for the Blind, Charles D. Chadwick, Secy., Penway Bldg. General contract awarded to the J. G. Karstedt Construction Co., 429 Lemcke Bldg., \$81,346.00; heating let to Strong Bros., \$9,092.00; plumbing let to Roland M. Cotton Co., \$3,011; electric work let to Hatfield Electric Co., \$815.00, all of Indianapolis. Start work at once. Face brick, reinf. concrete floor and roof construction.

Apartment Building: \$70,000 (20 Apts.), 2 sty. and bas., 48x124, 505-07 E. 32nd St. Private plans. Owner, Grace D. Martin, 3057 Park Ave. General contract let to Jose-Kuhn Lumber Co., 1200 Fairfield Ave.

Office Building: \$12,000, 1 sty., 30x50. Archt., Edw. Pierre, Occidental Bldg., Indianapolis. Owner, Service Spring Co., F. J. Groth, Pres., 735 St. Paul St., Indianapolis. General contract awarded to M. V. Grim, North Manchester, Ind. Brick, stone trim.

INDIANAPOLIS BUILDING PERMITS LISTED ON PAGE 19.

ELKHART.

Apartment Hotel: \$1,500,000 (1,166 rooms), 9 story and basement, 225x225, Wilmette, Ill., Kenelworth Line, Cook county. Archt., R. L. Simmons, Beardsley Block, Elkhart, Ill. Owner, Beach Manor Real Estate Improvement Co., Omar C. Harris, Pres., 189 W. Madison

St., Chicago; E. A. Burrows, V.-P., 189 W. Madison St., Chicago. Owner taking bids on piling, excavating and steel, ready for bids about October 18th on all other sub bids. Brick, hollow tile, conc. and steel, stone and terra cotta trim, high pressure boilers, steel frame construction, marble and tile, private water system.

Bank Building: \$60,000, 2 sty. and bas., 40,000. Public Square, Hartford City, Ind. Archt., E. Hill Turnock, Monger Bldg., Elkhart, Ind. Owner, Citizens State Bank, Hartford City. Plans in progress. Brick, conc. vaults, vault door, tile floors, bronze doors, steam heat, comp. roof, complete new bank fixtures, stone trim. Plans will be ready for bids about January 1st.

Residence (Colonial), \$15,000, Warsaw, Ind. Archt., A. H. Elwood and Son, Haynes Bldg., Elkhart. Owner, Allan S. Widaman (Atty.), Warsaw, Ind. Owner receiving bids. Brick veneer and frame, 2 sty. and bas., 30x50, slate roof, steam heat.

Residence (Alt. and Add.), Goshen, Ind. Archt., E. Hill Turnock, Elkhart. Owner, Mr. Rieth, % Reith-Reily Constr. Co., Goshen. Owner taking bids. General alterations, steam heat.

Contracts Awarded.

School (addn. and rem.), \$20,000, 2 sty., 30x32, Bristol, Ind., Washington Twp. Archt., A. H. Elwood and Son, Elkhart, Ind. Owner, A. I. Burgil, trustee, Bristol, Ind. General contractor, George Moyer, Wakarusa, Ind. Heating let to Leo Beall, Sturgis, Mich. Start work soon. Brick, private water system, slate roof, additional radiation.

Residence: \$15,000, 2 sty. and bas., 72x29, Middlebury. Archt., A. H. Elwood and Son, Elkhart. Owner, A. J. Long-acre (contractor), Elkhart. Plans in progress. Owner will build and buy material. Brick and hollow tile, tile or slate roof, furnace or steam heat, tile and hardwood floors.

Residence: 2 sty. and bas., Elkhart. Archt., Austin and Shambleau, South Bend, Ind. Owner, Bert Houseworth, Elkhart. General contract let to Grant B. Bushnell, Elkhart.

Hotel (rem. and add.), \$100,000, Auburn, Ind., "Swineford Hotel." Archt., A. H. Elwood and Son, Elkhart. Owner, Swineford Hotel Co., Auburn. General contractor, H. H. Achemeier, Auburn. Start work shortly.

Residence (alt.), Goshen, Ind. Archt.,

E. Hill Turnock, Elkhart. Owner, Jas. Reiley, % Reith-Reiley Constr. Co., Goshen.

EVANSVILLE.

High School: \$500,000, "Benjamin Bosse High School," 2 sty. and bas., 175 x290, Washington and Harlan Avenues. Archt., Joseph C. Llewellyn Co., 38 So. Dearborn St., Chicago, Ill., Asso. Archt., Capelle and Troutman, American Trust Bldg., Evansville. Owner, Board of School Trustees, Abe Strouse, C. B. Enlow, Daniel Wertz, Evansville. Owner receiving bids to close October 26th at 2:00 P. M. for the branches of work (separately as listed below or combinations of the several branches: (1) Masonry and carpentry; (2) Cut stone, F. O. B. Evansville; (3) Structural steel; (4) Ornamental iron; (5) Sheet metal and slate or tile roofing; (6) Composition roofing; (7) Plastering; (8) Painting; (9) Glass; (10) Terrazzo or tile floors; (11) Marble work or Alberine stone; (12) Plumbing; (13) Heating; (14) Electric wiring. Estimated cost of work, exclusive of furniture and equipment, is \$500,000. Will contain 23 class rooms, chemical and physics laboratories, social room, auditorium (seating 1,500), stage (49x82), gymnasium (66x99), manual training and domestic science Depts., kindergarten rooms, kitchens. Brick, reinf. concrete and steel radial brick stack, 150 ft. high, comp. slate and tile roofing. Steam heat, steam boilers, tile and marble work.

Hotel (6 sty. top addition to present 5 sty. building) \$300,000, approx. 200 additional rooms, 3rd and Sycamore Sts. Archt., Frank J. Schlotter, 113½ Upper 4th St. Owner, Vendome Hotel Co., Chas. Scholz, Pres., 3rd and Sycamore Sts., Evansville. Owner receiving bids. Brick, frpf. constr.

Factory (addition), 3 sty. and bas., 60x200, Jasper, Ind. Archt., Clifford Shopbell and Co., Furniture Bldg., Evansville. Owner, Hoosier Desk Company, Jasper, Ind. Plans in progress. Brick, mill construction.

Church: \$40,000, 40x127, Stanley, Ky. Archt., Anderson and Stingle, 108 Upper 4th St., Evansville. Owner, St. Peter's Catholic Church, Rev. Father Higgins, Rector, Stanley, Ky. Plans in progress on superstructure. Excavation and foundation work owner does. Brick, stone trim, tile roof, art glass, oak trim.

Residence: \$15,000, 35x65, Lincoln

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and Bennigof Aves. Archt., Capelle and Troutman, 410 American Trust Bldg. Owner, H. J. Bennighof, Evansville. Archt. receiving bids to close Oct. 12th. Brick, asphalt shingle roof, 2 baths; laundry, steel sash (in basement), enamel interior trim on gum, oak floors, tile floor, hot water heat.

Bank (rem.) \$15,000, Eldorado, Ill. Archt., Harry E. Boyle and Co., 405 Furniture Bldg., Evansville. Owner, First State Bank, Eldorado, Ill. Plans in progress, work will consist of new stone front, tile floors, interior decorating, rem. of 4 store rooms and general alterations.

Duplex Residence (rem. from residence), \$8,000, Henderson, Ky. Archt., Harry E. Boyle and Co., 405 Furniture Bldg., Evansville. Owner, Mrs. Mary Dixon, Henderson, Ky. Plans in progress.

Bungalow: \$8,000, Mt. Vernon, Ind. Archt., Harry E. Boyle and Co., 405 Furniture Bldg., Evansville. Owner, John Keck, Mt. Vernon. Plans in progress. Brick, asphalt shingle roof, furnace hardwood floors. (5 rooms and bath).

Duplex Apartment (rem. from residence), \$5,000, 915 S. 1st. Archt., Harry E. Boyle and Co., 405 Furniture Bldg. Owner, Mrs. Ella Waller House, 915 S. 1st St. Plans in progress.

Duplex Apartment (rem. from residence). Archt., Harry E. Boyle and Co., 405 Furniture Bldg. Owner, Louis Mayer, 40 Washington Ave. Archt. taking bids.

Residence (new porch and porte coch-

ere), Mt. Vernon, Ind. Archt., Harry E. Boyle and Co., 405 Furniture Bldg., Evansville. Owner, William Gonnerman, Mt. Vernon, Ind. Ready for bids shortly. Face brick, tile floor on reinf. conc.

Contracts Awarded.

*Auto Salesroom and Garage: \$50,000, 2 sty. and bas., 75x150, 4th St. near Division. Archt., Clifford Shopbell & Co., Furniture Bldg. Owner, Fellwock Motor Co. General contract awarded to the M. J. Hoffman Construction Co., Furniture Bldg. Start work next week.

FT. WAYNE.

Community Building (seating capacity 1,500), \$25,000, Milford, Ind, VanBuren Twp., Kosciusko County. Archt., Griffith and Goodrich, 211 E. Berry St., Ft. Wayne. Owner, Milo Maloy, Trustee, Milford, Ind. Plans in progress. Brk.

Factory (addition), 2 sty. Owner, The American Textile Co., Ft. Wayne. Plans in progress. Brick.

Laundry Equipment: (to be installed in machinery room), Irene Byron Hospt. Owner, Board of County Commrs., Angus C. McCoy, Auditor, Court House. Taking bids to close October 12th, at 10:00 A. M.

*Residence (alt.), \$5,000, North Manchester, Ind. Archt., A. M. Strauss, 705 Shoaff Bldg., Ft. Wayne. Owner, Miss Fannie Oppenheim, North Manchester. Owner taking bids.

Contracts Awarded.

Factory (Paint shop addition), \$40,000, 1 sty., 50x320. Archt. and contractor, The Austin Co., 208 S. LaSalle St., Chi-

cago, Ill., and Euclid Ave., Cleveland, Ohio. Owner, Wayne Tank and Pump Co., Ft. Wayne, Ind. Start work soon. Brick and steel, steel sash.

*Business Building: 2 sty. and bas., 60x120. (3 stores and 15 offices), West Wayne St. Archt., Chas. H. Weatherhogg, Citizens Trust Bldg. Owner, Brown-Cooper Co., Utility Bldg. General contract let to Indiana Engineering and Construction Co., all of Ft. Wayne. Start work at once.

*Community School Building: \$139,589, 1 and 2 sty. and bas., 178x157, Piercetown, Ind., Washington Township, Kosciusko county. Archt., Griffith and Goodrich, 211 East Berry St., Ft. Wayne. Owner, Archibald J. Menzie, Trustee, Piercetown, Ind. General contract awarded to Noah Franz, Silver Lake, Ind. and Claypool, Ind. Start work at once.

*Residence and Garage: \$40,000, 2 sty. and bas., 43x42, Beaver Ave. and Rudisill Blvd. Archt., A. M. Strauss, 705 Shoaff Bldg. Owner, W. K. Noble, 902 Hayden St. General contract awarded to Oscar Springer; heating and plumbing to Henry Leikauf, 1325 Union St.; electric work to Roettling Electric Co.

FRANKFORT.

Plumbing Fixtures and Marble Partitions, \$8,500, for the Clinton County Hospital, now under construction, Frankfort. Archt., Rodney Leonard, 309 Peoples Life Bldg. Owner, Board of Trustees, Clinton County Hospital, Frank E.

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Coulter, Pres., Frankfort. Owner receiving bids to close Monday, October 2, 1922, at 10 A. M. (See legal advertising in this issue).

HAMMOND.

*Ice Cream Plant: \$100,000, Hohman and Hoffman Sts. Archt. and Engineer, The McCormick Co., Century Bldg., Pittsburgh, Pa. Owner, The Hydrox Co. 24th and Lake Park Ave., Chicago, Ill. Plans in progress. Brick.

*Dairy Building: \$100,000, 2 sty., 70x55x153. Archt., A. C. Berry and Co., Ruff Bldg. Owner, Hammond Dairy Co., 680 Oakley Ave. Archt. receiving bids. Brick.

*Hotel and Stores: State and Hohman Sts., Hammond. Archt., C. Howard Crane, American Bond Bldg., Detroit, Mich. Owner, The Hammond Hotel Improvement Co., J. P. Berelos, Mgr., Hammond. Plans in progress, 2 sty. and bas., Foundations and walls for 5 stys. Ready for bids soon.

KOKOMO.

Residence: \$12,000, 2 sty. and bas., 32x40. Archt., Oscar Cook, Citizens Bank Bldg. Owner, Dr. W. R. Morrison, 418 N. Main St. Plans in progress. Brick veneer and frame, asphalt shingle roof, tile and hardwood floors, furnace.

Gymnasium: \$4,000, 1 sty. Archt., Elmer E. Dunlap Co., Harrison Bldg. Owner, Board of Education, Kokomo. Plans in progress. Frame.

Contracts Awarded.

*Lodge Building: \$100,000, 2 sty. and bas., 45x90 (Colonial style). Archt., Oscar Cook, Citizens Bank Bldg. Owner, B. P. O. E., Rolla Conradt, Chmn. Bldg. Com.; R. Tudor. General contract awarded to E. Wolf, 1010 E. Walnut St. Brick, frpf. constr., tile roof, marble and tile work. Will contain kitchen, club room, dining room, billiard room, shower room and lounging rooms.

*Duplex Residence: \$12,000, 2 sty. and bas., 46x53. Archt., Thomas McGaw, Citizens Bank Bldg. Owner, Mrs. George Duke. General contract let to Pierce-Armstrong Constr. Co.; heating and plumbing let to A. P. Rose.

LAFAYETTE.

Pumping Station: "State Soldiers' Home," Lafayette. Engineer, R. W. Noland, Lafayette Life Bldg. Owner, Bd. of Trustees, State Soldiers Home, Secy.

of the Board; Mrs. Caroline B. Morrison, 422 N. 7th St. Sealed bids will be received by the Board of Trustees. Bids close October 12th at 10:00 A. M., complete building, 2 centrifugal pumping units. (See legal advertising in this issue.)

*Lafayette: "Lincoln" School (alteration and addition), \$25,000. Archt., John Boonstra, Fowler National Bank Bldg. Owner, Board of Education, Lafayette. Bids rejected, may revise plans and readvertise for new bids later.

LOGANSPOUT.

Contracts Awarded.

*Store and Offices: 2 sty., 46x66x60. Archt., Carl J. Horn, Citizens Loan & Trust Bldg. Owner, A. J. Jones. Excavating. Owner builds and buys material. Brick, steam heat, comp. roof.

SOUTH BEND.

Hospital (Annex), \$276,000, 5 sty. and bas. Archt., Richard E. Schmidt, % Garden and Martin Co., 104 S. Michigan Ave., Chicago, Ill. Owner, Epworth Hospital, Miss Margaret R. Parker, Supt., 123 West Navare St., South Bend, Ind. Plans about completed. Ready for bids shortly. Brick (will contain private wards, refrigerating plant, kitchens and offices.)

Fire Station (rem.), North Side. Owner, City of South Bend, Board of Safety, City Hall. Plans in progress. Work will consist of new floors, reinforcing of walls and roof, painting and general alterations.

TERRE HAUTE.

*Parochial School: \$85,000, 2 sty. and bas., 14 rooms and auditorium, 19th and Poplar Sts. Archt., Johnson, Miller and Miller, 30 N. 5th St. Owner, St. Patrick's Church, 19th and Poplar. Plans in progress. Brick, conc. and steel, steam heat, tile floors.

MISCELLANEOUS CITIES.

Borden: (Clark county), Factory. Owner, Indiana Borden Cabinet Co. Contemplated.

Auburn: Parsonage, 2 sty. and bas. Owner, Auburn Methodist Church, Board of Trustees, Willis Rhoads, Frank Drago, John Zimmerman. Plans in progress. Probably take bids late this fall.

*Madison: packing plant (alt. and addition), add. 1st 56x129. Archt. and engineer, M. P. Burt & Co., Memphis, Tenn.

Owner, Pearl Packing Co., Madison, Ind. Owner will build by day labor and buy material. Brick, steam heat, plumbing, steel sash, refrigeration, electric work, plumbing, elevator, refrigerator machinery and doors, cork insulation.

Marion: Business building, 2 sty., 33x123, Boots St. Owner, Owie Hatchery, Barclay Overman, Pres., 412 S. Gallatin St. Owner builds.

Syracuse: Power Station, \$25,000, 1 sty. Owner, Town Board, taking bids to close October 3rd. Brick.

Whiting: Stores and apartment, \$30,000, 2 sty. and bas., 30x105. Owner, The Seliger Electric Co., Whiting. Owner receiving bids. Brick.

*Mishawaka: High School, \$600,000. Owner, Board of Education, Mishawaka. Archt. (probably) Perkins, Fellows and Hamilton, Tower Court, Chicago, Ill. Preparing sketches.

Warsaw: Post office, owner, The U. S. Government, Washington, D. C. Contemplated, definite data later.

Contracts Awarded.

Marion: Factory (1 sty. top add.), 40x110. Archt., Hiram Elder. Owner, Osborn Paper Co. Contractor, G. W. Heinzemann and Son Co. Starting work.

*Kentland: School (heating, plumbing and ventilating), \$9,000, near Fowler, Ind. Archt., John Bruck, Kentland. Owner, C. B. Stucker, trustee, Fowler, Ind. General contract let to A. E. Gray, Fowler; heating and plumbing to Damlings and Monroe, Kentland; electric wiring to Interstate Electric Service Co., Monticello.

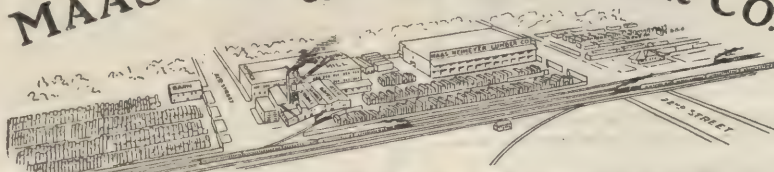
Jeffersonville: Apartment, 2 sty., \$25,000. Owner, Morris Cohen. Contractor, F. Shephard, 442 Spring St. Foundation in.

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Copy should reach us, at the latest, Wednesday of the week of publication.

PLUMBING FIXTURES AND MARBLE PARTITIONS.

NOTICE TO CONTRACTORS.

Notice is hereby given that the Hospital Board of Clinton County, Indiana, will receive sealed bids at the law office of Earl F. Gruber in the Dinwiddie Building, Frankfort, Indiana, until ten o'clock a. m., MONDAY, OCTOBER 2, 1922, at which time and place same will be opened, read and considered, for furnishing the necessary labor and material to install the plumbing fixtures and marble partitions for the Clinton County Hospital all by and according to plans and specifications as provided therefor. Estimated cost, \$8,500.00.

The plans and specifications are on file for the inspection of bidders at the law office of Earl F. Gruber in the Dinwiddie Building, Frankfort, Indiana, and at the office of Rodney W. Leonard, Architect, Room 309 Peoples Life Building, Frankfort, Indiana.

Bidders in submission of bids will submit same as follows:

(1.) For furnishing and installing all plumbing fixtures.

(2.) For furnishing and installing all marble partitions.

(3.) Contractor shall submit unit prices for plumbing fixtures. Unit prices to include installation complete with all piping connections, i. e., a separate price for each separate fixture complete.

(4.) For all the work inclusive and as comprehended complete by plans and specifications.

All bids shall be accompanied by an approved bond of the bidder in sum equal to the full amount of his gross bid or bids, conditioned upon his entering into his written contract, with said board of trustees if he is the successful bidder according to proposal.

All bids and proposals shall be upon the forms prescribed by the State Board of Accounts. Unless bids are accompanied by bond as above and upon forms as above no attention will be given same.

The successful bidder will be required to enter into a written contract with said Board of Trustees, contract as usually conditioned. The successful bidder will be required by the terms of his contract to enter into the active prosecution of his work immediately and complete said work at the time mentioned in general conditions of the building specifications. The Board of Trustees for Clinton County reserve the right to reject any and all bids without giving any reason therefor.

BOARD OF TRUSTEES, CLINTON COUNTY HOSPITAL

Frank E. Coulter, President,
W. W. Rose, Vice President,
Moses Epstein, Secretary,
Joseph Foreman, Trustee.

Sept. 30, 1922.

NOTICE TO CONTRACTORS.

Sealed bids will be received by the Board of School Commissioners of the City of Indianapolis at the office of the Business Director, 150 North Meridian street, until 10 a. m., October 17, 1922, for the construction and installation of two hood cases and vents in the Chemical Laboratory at the Arsenal Technical Schools, located at 1500 East Michigan Street, Indianapolis, according to plans and specifications on file in the office of the Board of School Commissioners.

All proposals must be made on Blank Form No. 96, prescribed by the State Board of Accounts, which may be secured at the office of the Board, and shall be accompanied by a certified check for not less than 3% of the bid.

Checks must be made payable to the Board of School Commissioners of the City of Indianapolis, and must be certified good by a bank or trust company in Indianapolis, and in case the bidder whose bid shall be accepted shall not, within five days after notice of acceptance, enter into a written contract with the Board, to perform the bid and secure the contract by a bond in the form and with sureties to the approval of the Board, this certified check and the proceeds shall be and remain the absolute property of the Board as liquidated damages for such failure, and the bidder shall be liable for nothing beyond the proceeds of the check for the failure, it being impossible to anticipate the exact amount of damages such failure would occasion to the Board.

The right is reserved to reject any or all bids, and to refrain from accepting or rejecting bids for not more than six days.

BOARD OF SCHOOL COMMISSIONERS
OF THE CITY OF INDIANAPOLIS,
Walter J. Twiname, Business Director.
Sept. 30 & Oct. 7, 1922

THE NEW PUMPING STATION.

NOTICE TO CONTRACTORS.

Please note the following instructions governing the filing of proposals and awarding of contracts.

Sealed proposals to the Board of Trustees of the State Soldiers Home for the furnishing of labor and materials for a new Pumping Station in accordance with the plans and specifications prepared by R. W. Noland, consulting engineer, will be received by the Board of Trustees, % of the Secretary of the Board, Mrs. Caroline B. Morrison, at 422 N. 7th St., Lafayette, Ind., up to 10 a. m., Oct 12th, 1922, at which time the bids will be publicly opened in the Board Room in the Commandants Residence at the State Soldiers Home.

Three separate and distinct proposals shall be made and three separate contracts for the work will be executed. The three proposals shall be as follows:

PROPOSAL NO. 1. BUILDING.

This proposal shall include all labor and materials for a complete building as shown on the plans and specified.

PROPOSAL NO. 2. CENTRIFUGAL PUMPING UNITS.

This proposal shall include two pumping units complete as specified, and shall be made directly by the pump manufacturer. This proposal to include the delivery of the units at the Station site.

PROPOSAL NO. 3. INSTALLATION AND GENERAL EQUIPMENT.

This proposal shall include all labor and ma-

terials necessary for a complete Pumping Station in perfect operating condition in accordance with the plans and specifications, with the exception that the Building and Pumping Units are to be under other contracts as covered by Proposals Nos. 1 and 2. It does of course include the setting and connecting up of the Pumping Units covered by proposal No. 2.

The Trustees reserve the right to reject any and all bids.

A Bidders Bond is to accompany each and every bid.

The successful bidders will each be required to execute a contract on a form provided by the Board of Trustees. Each successful contractor will also be required to furnish satisfactory Surety Company's Bond to the amount of the contract price to secure the fulfillment of the contract.

Plans and specifications relating to any of the above work may be consulted daily at Board of Accounts, State House, Indianapolis, or R. W. Noland, Lafayette Life Building, Lafayette, Indiana.

All communications and references to the above proposals or contracts should be addressed to the undersigned:

Board of Trustees, State Soldiers Home,
Secretary of the Board, Mrs. Caroline B. Morrison,
422 N. 7th St., Lafayette, Ind.
Sept. 30—Oct. 7.

BELL AND CLOCK SYSTEM EXTENSION. NOTICE TO CONTRACTORS.

Sealed bids will be received by the Board of School Commissioners of the City of Indianapolis, at the office of the Business Director, 150 North Meridian Street, until 8 o'clock p. m., October 10, 1922, for extensions to Program Bell and Clock System at the Arsenal Technical Schools, located at 1500 East Michigan Street, Indianapolis, Indiana, according to the plans and specifications prepared by Snider & Rotz.

All proposals must be made on blank form No. 96 prescribed by the State Board of Accounts, which may be secured at the office of the Board, and shall be accompanied by a certified check for not less than 3% of the bid.

The estimated cost of the proposed work is \$1,800.00. Plans and specifications are on file at the office of the Board, the State Board of Accounts, and the office of the engineers, 703 Merchants Bank Building.

Checks must be made payable to the Board of School Commissioners of the City of Indianapolis, and must be certified good by a bank or trust company in Indianapolis, and in case the bidder whose bid shall be accepted shall not within five days after notice of acceptance enter into a written contract with the Board to perform the bid and secure the contract by a bond in the form and with sureties to the approval of the Board, this certified check and the proceeds shall be and remain the absolute property of the Board as liquidated damages for such failure, and the bidder shall be liable for nothing beyond the proceeds of the check for the failure, it being impossible to anticipate the exact amount of damages such failure would occasion to the Board.

The right is reserved to reject any or all bids, and to refrain from accepting or rejecting bids for not more than seven days.

WALTER J. TWINAME,
Business Director.

September 18, 1922.

Sept. 23-30, Oct. 7.

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The frames are made of galvanized steel, enameled both inside and outside in any color desired.

They are only 7/16 inch thick and 1 1/8 inches wide, or about half the width and thickness of wood frames.

Owing to the durability of the frames, we use only non-rusting wire cloth woven from commercial bronze wire.

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The screen doors reflect more clearly, perhaps, than any other one thing the quality of a screen installation. Higgin Doors are built to order. In width of rails, finish, and kind of wood used, they match the corresponding house doors.

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INDIANA

Official Paper

Indiana Society of Architects

Office of the Secretary
500 BOARD OF TRADE BUILDING
Indianapolis, Ind.

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ARCHITECT'S OCTOBER MEETING AT FT. WAYNE.

The Board of Directors wish once again to remind Indiana Architects, particularly those of Northern Indiana, that the regular monthly meeting of the I. S. A. Directors, October 14, at Ft. Wayne, is an open one to which they are not only invited, but are urged to make a special effort to attend.

This meeting was arranged for the convenience of the Northern Indiana Architects, many of whom have heretofore been unable to attend I. S. A. meetings at Indianapolis. It is in the nature of an experiment the new administration of the Society being anxious to institute regional meetings this year whereby the architects in adjacent territories may be brought together now and then to become better acquainted, to discuss their problems, which are similar, in an endeavor to reach solutions, to generate amongst the members a greater understanding and appreciation of each other, that the architectural profession of the State may be boosted and advanced by united effort, and greater service rendered the public. If the efforts of the Society are supported and concurred in, both individually and collectively by the architects of Indiana, not only will the professional angle of the state architectural practice be brought to the fore, but the public will come to realize that the architectural profession is possessed of an essential utilitarian function not to be unreckoned with, passed up or ignored.

The start has been made in your interest, in the interest of your profession, in the interest of your neighbors, and in the interest of the future growth and expansion of your community.

Let's have a real turnout at Ft. Wayne, Saturday, October 14. The rail strike is practically over, the trains are running on time, then

there are the interurbans or possibly you may resort to your auto, they all will get you to Ft. Wayne in time for the 12:30 p. m. dinner at the Chamber of Commerce, the 2 p. m. meeting, the late afternoon sight-seeing trip, and the jollification meeting in the evening.

It is a real opportunity, don't let it escape you!

A PLEA.

It ain't no snap, as I can see,
To be head of a committee
E'en when all plug with might and main
To boost, that the effort be not in vain.

Hence, put your shoulders to the wheel,
Think of the names of men you feel
Would fit in well with the I. S. A.,
Then mail them north to G. W. A.

If growth and members we would gain,
This fact I'll stress, I'll make it plain,
Your help is needed, then needed more
To boost our roll a score, or more.

If 100% we attain this year
You men must work on high speed gear.
Throw in the gas, step on her hard,
Think of a prospect, send in a card.

Every man bat, don't miss, but hit.
Why hold back, and let George do it?
He's playing hard, just give a hand,
Back him up strong with grit and sand!

GEORGE W. ALLEN, Chmn.
Membership Committee.

A BABYLONIAN LEGEND ON A PLUMBER OUT OF PLUMB.

The Mugheir Manuscript, published by the American Archaeological Association, containing the so-called Annals of the Ussurbanipal, unearthed by the American Commission early in the present century, reveals the details of commercial transactions, and many of the very documents in use by the Babylonians two thousand to three thousand years before the Christian era.

One of the most interesting records is the Story of the King's Wrath against the Repairer of Pipes, printed in Chapter 16 of Volume IV of the Annals. It reads in part:

Then Neriglissar, the Repairer of Pipes, came into the palace as he had been commanded and bowed him down before Merodach, the King.

And Merodach, the King, made Neriglissar make whole the pipe wherein it had been broken.

"It is a bad pipe," said Neriglissar, "would that I, and not another, had laid it in the palace so it had been better done."

Neriglissar, the Repairer of Pipes, worked upon the pipe where it had been laid in the wall and about the third hour he said unto Ashboka, the Chamberlain of the King: 'Listen, O right hand of the King. I have not the mallet that I need withal,' so he departed and returned to his shop for the mallet.

And he was gone for about two hours and when he came again to the palace he brought with him the youth, Labashi, and Labashi was of the same brotherhood with Neriglissar, the Repairer of Pipes.

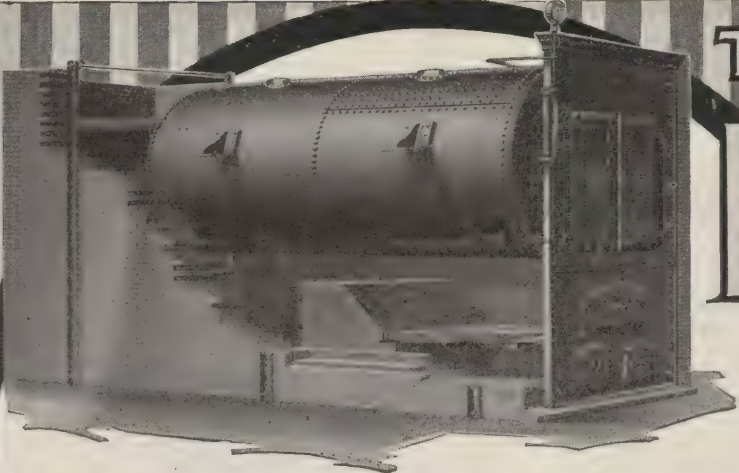
And Ashboka, the Chamberlain, said unto him, "For what purpose is the youth?"

"For to hold the mallet when I am not using it," said Neriglissar.

On the first day of the month there came to the King's household, a writing from Neriglissar, the Repairer of Pipes, and there were writ therein the charges of the Repairer of Pipes, and these are the words of the writing:

	Shekels
Gazing upon pipe	75
Approaching pipe	25
Hammering pipe	50
Changing hammers	25
Going back for mallet	50
Time of Neriglissar the Repairer of Pipes	100
Time of Labashi the youth	50
Not thought of anywhere else	10
	280

When the King read thereon he sent for Neriglissar the Repairer of Pipes, and slew him. So there were no more Repairers of Pipes in Mashobam.—Monthly Bulletin, Illinois Society of Architects.



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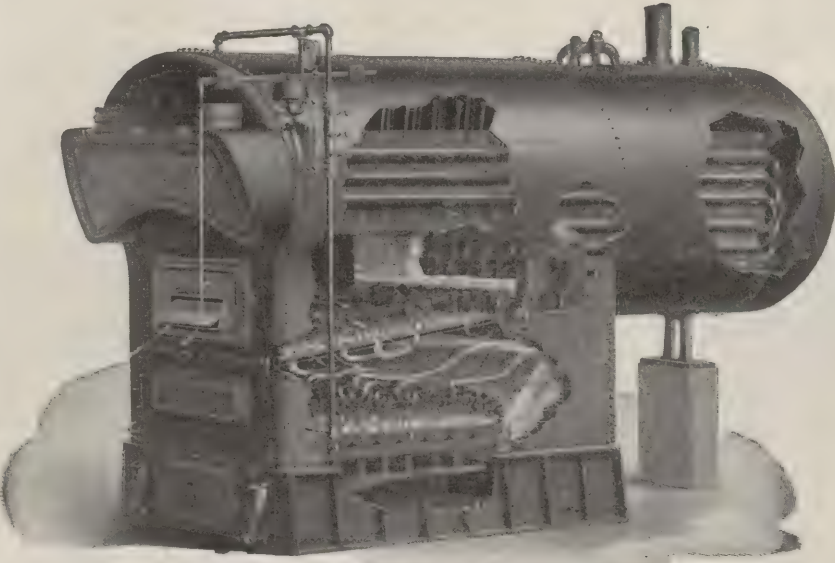
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Official Paper

Associated Building Contractors of Indiana

FRED W. JUNGCLAUS, President
Indianapolis

C. C. PIERSON, Secretary
Indianapolis

ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller-----President

Office, 411 Sycamore St.

CONTINUED ACTIVITY TOWARD HOME BUILDING PREDICTED.

Encouraging, at least.

Those "in on the know," at least, supposed to be, have come forward lately with the assertion that while 1922 has been the biggest home building year Evansville has known in years, nevertheless, much more activity along this same line of construction will, in all probability, ensue next season.

Local people who, by any hook or crook, can so arrange matters have to all intents and purposes reached the conclusion that it is better to own a home than to rent and are working to that end. One company interested in financing new home projects asserts it has made 87 loans this season for such building, has five more in immediate prospect, and other applications pending.

PLAN TO AWARD LARGEST LOCAL PROJECT OF THE YEAR.

Hopes are being entertained that the new \$500,000 Bosse High School planned for the city can be gotten under way before the snow flies. Plans for this project have been delivered by the Chicago architects and the Board of Education has set October 26th as the date for bids to be in at which time contracts will be awarded if the submitted figures come within the appropriation.

The building, of English design, is to be erected at Washington and Harlan avenues, will be two stories high 298 ft. by 280 ft.

STRIKE AFTERMATH APPEARS IN EVANSVILLE.

It was bound to come, according to indications, and it has.

The effect of the coal and rail strikes is beginning to tell in local building operations. Quite a few of the contractors report they are having work delayed because of inability to get shipments through. This is caused by the scramble to replenish depleted coal supplies, the railroads diverting most of their efforts to the haulage of coal.

HOTEL CONTEMPLATING EXTENSIVE IMPROVEMENT SCHEME.

So hopeful of Evansville's future is the management of the Vendome Hotel that the directors are seriously considering the construction of six additional stories, or 200 more rooms, to the present structure. Plans were so prepared in 1913 that such an addition could be taken care of and contractors are now estimating the project, the figures to be considered at the October meeting of the directors.

CHIPS AND SHAVINGS.

General contractors, C. Kanzler and Son, are finishing up the new home for Dr. S. J. Eichels on South First street. This firm is also erecting a fine home in Hart Place for Miss Irma Schmidt.

Griesbacker and Dubber, who had the general contracts for residences for H. Rusche and C. Schu in Kentucky avenue, have completed these two projects.

Local contractors continue busy either building or figuring. All the general contractors have been busy right through the entire season, thus keeping the sub-contractors engaged. While the work has not been of a large nature, yet the big volume kept the local supply of craftsmen employed and rounded out a good building year in the main.

FT. WAYNE

BUILDERS' EXCHANGE
Member State A. B. C.

Max Irmscher-----President

Eph Dailey-----Secretary

825 Calhoun St.

Phone 2001

MANY REASONS FOR FT. WAYNE'S GREAT BUILDING SEASON.

There have been few years if any, that have been so full of activity for the development of a greater Ft. Wayne than the present year of 1922. Building construction operations which have been unusual and have run up a total volume of business surpassing any other like performance that has transpired in the history of the city has received much deserved attention, and yet there are other features barely touched upon that made that great building volume possible, in fact were conducive to it.

During 1922, many attractive and extensive subdivisions were opened in the suburbs that proved enticing to prospective home owners, causing much activity in real estate circles, titles changing hands with the ultimate consummation of the building of hundreds of new

homes. Then, too, this realty activity was made possible through much street improvement construction that was carried on by the city this year.

The healthy growth of the city is reflected in the increased demands that were put on the school facilities necessitating a large new high school, several new grade schools and new additions to some of the present buildings.

Again the industrial interests of the city helped to increase the building activity by their demand for enlarged quarters which brought about new factory building construction.

In the down town district the commercial and mercantile businesses called for increased accommodations which made for the construction of several large bank and office buildings to say nothing of the smaller types of store and business buildings, also additions and alterations.

All in all a growing Ft. Wayne met up with conditions in 1922 that were propitious to a general expansion which in turn have made this the greatest building season the city has ever experienced.

HOUSING CONDITIONS INVESTIGATED BY BIG INDUSTRIAL INTEREST.

The interest that a big corporation takes in its employees, whose welfare is essential to the successful operation of a plant, was evidenced this past week in Ft. Wayne. F. A. Kalgay, representative of the Industrial Relations Department of the International Harvester Co., now erecting a large plant here, was in the city securing data on living and housing conditions. This in an endeavor to determine the facilities available to care for the hundreds of new employees the company will bring to the city when the new plant is put in operation.

There was a time, a few years back, when Ft. Wayne's housing situation was really a serious problem, but the residential building that has consummated in the past few months has gone a long way to alleviate that perplexity.

IN SELECT COMPANY.

A comparison of Ft. Wayne's building operations for the month of August with those of other cities around the country shows her in a favorable light. Her August performance stacks up well with those put on at Dallas, Tex., Portland, Ore., Oakland, Cal., Rochester, N. Y., and Atlanta, Ga. Further, her August record was in excess of those of Louisville, Ky., Memphis, Tenn., Omaha, Neb., Seattle, Wash., and Toledo, O., all much larger than Ft. Wayne.

Remember

You can substantially reduce the cost of your compensation and liability insurance by insuring in the BUILDERS & MANUFACTURERS MUTUAL CASUALTY CO. (a strong company, organized and economically managed by contractors, and devoted exclusively to rendering a particular service and reducing the cost of insurance in building construction.)

SURPLUS OVER \$500,000.00

It will pay you to inquire of its rates and service.
See the secretary of your association or write to

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INDIANAPOLIS

Building Contractor's Association
Member State A. B. C.

F. W. Jungclauss.....President
C. C. Pierson.....Secretary
320 Peoples Bank Building

MEETINGS.

Executive Committee meets second Tuesday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

Mason Contractors Association meets every Thursday—1 P. M.

General Contractors meet second Friday each month.

PLANS ON FILE.

At 320 Peoples Bank Building, Indianapolis.

Store building addition, 3 stories, 17ft. x195, and 2 story top addition, 67x137, fire-proof construction. Owner, Fair Store, 311-321 W. Washington St. Architects, Batchelder and Scales, Board of Trade Bldg.

WAIVER OF LIEN.

J. W. Jackson & Son's Realty Co., as owners, and Hays Bros. Co., Inc., to w. corner of S. Meridian and Merrill sts.; w. encorr of S. Meridian and Merrill sts; no lien to be filed.

J. W. Jackson & Son's Realty Co., as owners, and Roland M. Cotton Co., Inc., as contractors, to erect a 7-story concrete mfg. bldg., on n. w. corner of S. Meridian and Merrill sts; no liens to be filed.

CONTRACTORS DO NEED ORGANIZATION, ARGUMENTS TO THE CONTRARY NOTWITHSTANDING.

Data recently gathered reveals the information that a surprisingly large number of cities throughout the country do not have a Builders' organization.

It was also discovered that in a number of places an association once existed but for various reasons it had been allowed to disintegrate and die. This condition should not be. Others are being benefited by associations, why not the contractors? The time when a contractor could play a lone hand is past and gone. Now when trouble comes it is a wonderful feeling to realize that your competitors and other men in various lines are with you, helping in the fight.

The recent world war taught above all other things Co-operation. Individually France or England would have been defeated; collectively, what was the result? You know the answer.

You can apply the same principle to your business. If you were sick and some one offered a suggestion whereby you could be relieved would you refuse? A solution of the problems which are bothering you is now being offered

through contractors' associations. Every contractor be he big or little should be a member of a local builders' organization or, if there is no such association, he should affiliate with the Associated Building Contractors of Indiana.

RESULT MORE THAN JUSTIFIES THE EFFORT EXPENDED.

Progress has been good on many of the large structures that were started in Indianapolis early in the season with the result that there has been quite a change in the sky-line. Indianapolis has been more fortunate than many other cities about the country in that there has been little or no labor trouble, a feature that has permitted the general contractors to carry their work right through to completion. The favorable conditions that have prevailed account in a large measure for the great building record that has been established by Indianapolis this year.

Nor, in reference to this performance, should the effort of the Building Contractors' Association be overlooked, for, it was only through that effort that Labor was placated and wage scales established that were conducive to contentment and activity amongst the various building trades mechanics. Sensing the great volume of construction work in prospect early in the spring the members of the Association made a determined effort to reach satisfactory conclusions with the representatives of the employers. This move was crowned with success and the resultant building operations prove the truth of that old adage, "An ounce of prevention is worth a pound of cure."

AMONG THE CONTRACTORS.

One of the successful general contractors of Indianapolis to line up new work the past week was The J. G. Karstedt Construction Co., who signed up to build a new Industrial Building and Warehouse for the Board of Industrial Aid for the Blind. The contract price was \$81,345.

Many of the larger contracting operators are busily engaged compiling estimates for the construction of a new Administration Building and Nurses' Home for the City Hospital. The complete construction of the buildings is estimated to cost \$400,000.

A contract was awarded to Joseph Sertell this week for the remodeling of the When Building on North Pennsylvania St., at \$50,000.00. This is one of the old prominent store buildings of the city which is to be thoroughly modernized.

BUILDING PERMITS. (4,500 and Over)

Week of Sept. 22nd to Sept. 28th
Automobile Sales Building, St. Joe and Meridian, \$125,000. Archt., Frank B. Hunter. Owner, Meridian and St. Joe Realty Co., % Conduitt Automobile Co., 322 N. Delaware St. General contractor, Conder and Culbertson, 623 N. Noble St. Starting foundation.

Apartment Bldg.: \$90,000, 611 N. Penn. Archt., Frank B. Hunter. Owner, McKay Realty Co., % Dr. Kearby and Dr. McCaskey, American Central Life Bldg. General contractor, Conder and Culbert-

son, 623 N. Noble St. Foundation in.

Dept. Store and Offices: \$25,000, 36 N. Penn. Archt., Vonnegut, Bohn and Mueller. Owner, When Bldg. Co., 36 N. Penn. Contract to Jos. Sertell, 111 Monument Place.

Apartment Bldg.: \$60,000, 505-07 E. 32nd St. Owner, Grace D. Martin, 3057 Park Ave. General contract let to Joseph Kuhn Lumber Co., 1200 Fairfield.

Residences (2 doubles), \$13,800, total. 5157-59 Carrollton and 809-11 East 52nd. Owner, Nellie Marley, 1210 Lexington Ave. General contract to Christian Prader, 330 Sanders St.

Residence: \$11,000, 3855 Washington Blvd. Owner, William H. Armitage, 2631 N. Illinois St. General contract let to William F. Nelson, 3648 N. Penn.

Residence: \$10,000, 5142 Kenwood. Owner, A. Gelman, 2024 N. Talbott. Contract awarded to William Low Rice, 30 N. Mount St.

Residence: \$10,000, 5141 Kenwood. Owner, Star Publishing Co., Penn. and New York St. Contract let to William Low Rice, 30 N. Mount St.

Residence: \$10,000, 3617 Guilford. Owner, F. D. Staley, 3320 Ruckle. Contract let to Ostrom Realty Co., Peoples Bank Bldg.

Residence: \$9,650, 303 Blue Ridge Road. Owner, Loretta A. Berry. Contract to Robert Bryce.

Residence (double), 120-22 W. Maple Road. Owner, Guy Ross Brooks, 3805 Kenwood. Contract let to J. F. Fulk, 952 East Tabor St.

Residence (double), \$7,300, 534-36 Eastern. Owner, Josephine Harmon, 1530 N. Illinois St. Contract let to John N. Kane, 105 Colorado.

Residence: \$7,000, 433 Barkley Road. Owner, Fred Goza, 217 S. State St. Contract let to Indiana Builders' Corp., 816 Odd Fellows Bldg.

Residence: (double), \$6,000, 38-40 Euclid Ave., North. Owner, Herman B. Greenaum, at site.

Residence: \$5,000, 1025 E. Tabor. Owner, Frank E. Rosberg, 1042 E. Tabor St.

Residence: \$5,400, 4466 Winthrop. Owner, Arch. Hamilton, 2448 Bellefontaine. Contract let to James Atwood and Son, 856 West 27th.

Residence: \$4,500, 1812 Koehne. Owner, R. L. Gaskins, 1718 Rembrandt.

Residence: \$4,500, 4627 Carrollton. Owner, Benjamin M. Cloud, 2237 N. Meridian.

Residence: \$4,000, 4128 Capitol. Owner, William H. Cobb, 229 W. Maple Road.

Residence: \$4,000, 48 N. Webster. Owner, Arthur Broecking, % Vonnegut Hdwe. Co.

Residence (double), \$8,200, 2810-12 Park Ave. Owner, Nora Leary, 2821 Ruckle St. Contract to Theo. Sander, 401 Orange St.

Residence: \$7,000, 543 E. 36th. Owner, Jose-Balz Co., Lemcke Annex.

Residence: \$18,000, 4919 N. Meridian. Owner, Burns Realty Co., Lemcke Annex. Owner builds. Brick veneer.

Residence: \$6,000, 338-40 Audubon Rd. Owner, May E. Weyant, 336 N. Audubon.

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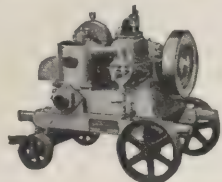
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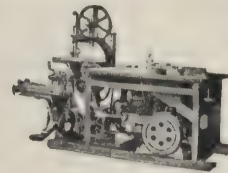
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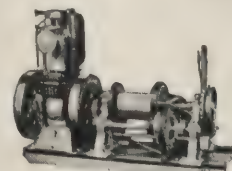
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CALUMET DISTRICT

CONSISTING OF

**HAMMOND INDIANA HARBOR
EAST CHICAGO WHITING****Building Trades Employers'
Association.****Member State A. B. C.'s**J. Wesley Reed ----- President
E. E. Cole ----- Secretary108 Citizens National Bank Bldg.,
Hammond, Indiana**MEETING NIGHTS**General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.**BOND FEATURE OF ASSOCIATION
AT STAKE.**

All members of the B. T. E. A., of the Calumet District are much interested in a case that is to come up for final settlement in court at Valparaiso in October. This decision will have a most important bearing on the future life of the association.

The case at issue is between the Calumet District Association and one of its members, John Androff, a suit having been instituted against him for violation of his membership bond. It all grew out of the Labor difficulties that arose in this territory last year. The court has held that the Association has the right to put its members under bond, binding them to comply with its rules and regulations, and it is now up to the organization to prove at the October term of court at Valparaiso that Mr. Androff violated his bond as is alleged.

**APPRENTICE TRAINING PROPOSAL
MEETS WITH FAVOR.**

Harking back to that oft discussed topic, the encouragement of more apprentices, and the institution of building trades vocational training in the public schools, the Calumet District B. T. E. A., has gone into the matter and has found that school authorities in this section are not adverse to the proposition.

The Association took the matter up for consideration, then finding that the members were in hearty accord with the idea a special committee was appointed to meet with the school authorities. Last Wednesday this committee called on the Superintendent of Schools and the Board of Education of Hammond, went into the proposed training of apprentices, and met with a most encouraging reception, in fact, the school officials endorsed the idea and have given the committee a promise that an attempt will be made at once to work out some system for the establishment of building trades training classes.

THE BUSY SECRETARY.

Though the secretary of the Association has hooked up with the Netherlands Fire Insurance Co., to take care of compensation, fire and tornado insurance and is in a position to make affidavit that you have paid your dog

tax, nevertheless, business was not so pressing that he had to forego a visit with his family to the Lake County Fair at Crown Point last week. While not called upon to award any blue ribbons, he reports that the display of live stock, poultry (both kinds), and farm implements was an imposing one. He managed to negotiate the Midway without losing his pocket-book, but the races held him spell-bound, and when he came to he had to light up the headlights in order to drive back to Hammond. On the way back he set a pace that would have left the trotters and pacers far behind.

CALUMET BUILDING PROGRESS.

The theatre building at Indiana Harbor, for which plans have been worked over three times, and bids asked to no conclusion, has been put away on the shelf again with the hope that by next February prices of material and labor may have declined some.

Architects A. C. Berry & Co., are preparing plans for a \$100,000 addition to the Hammond Dairy Co., bids for which were to be asked the latter part of this week, same to be in in about two weeks.

Plans will be out soon for a new store and hotel building at State, Hohman St. and Plummer Ave. This project was originally intended to be four stories high, but negotiations with the Indiana Harbor Belt Ry., for the third and fourth floors for offices, fell through and the height of the new building will be kept to two stories, though the foundations and walls are to be so constructed that additional stories may be added later if need be.

Morris Bros. have signed up to build a brick addition to the store and flat building of Frank Koznowski in East Hammond.

The Demascus Steel Co. has awarded the contract for its new buildings to the Truseon Steel Co., Youngstown, O. Work on this project is to be started shortly.

E. E. COLE.

MUNCIEAssociated Building Contractors
Member State A. B. C.Chas. Rowe ----- President
J. A. Gallivan ----- Secretary

314 Main Street

AS IN INDIANA, SO ELSEWHERE.

At least Indiana seems to be keeping pace with the rest of the country in building construction operations. Building figures from around the State have continued to swell from month to month with every indication that late fall building will continue active. This is in conformity with conditions reported all over the country.

A summary of business conditions sent out from Washington, following a country-wide survey, has this to say in regard to the building construction situation:

"The building trades still are tearing

ahead and show little signs of a prospective seasonal let-down such as is generally expected at this time of the year. Almost every city or town in the country is building houses at feverish speed and apparently expects to continue doing so, for at least a year to come."

**EXPECT BETTER VOLUME OF
BUILDING IN 1923.**

Watch Muncie next season.

The past year saw the completion of considerable building construction despite the fact that there was somewhat of a tendency to hold back. Several large projects scheduled for this year have been held in abeyance and probably will not be put forward till the spring of 1923. However, if sprung soon after winter breaks they will make nice starters for the new building campaign.

There was quite an addition to Muncie's housing facilities in the way of residential construction the past summer and the prospects are that this type of construction will assume renewed activity in 1923.

VACATIONING.

It kind of seemed like old times the past week with "Jack" Owens bobbing about. The well-known field representative of the Ind. A. B. C., is not strong for the idea of vacationing when the mercury in the thermometer hangs around the 100 degree mark, so he just stuck to his post right through the torrid periods last summer. Came fall, and "Jack", after cleaning up his work, hied for Muncie for a rest, spending considerable time out in the rural district of Delaware county. However, he took out time Thursday to run down to the A. B. C.'s Conference at Vincennes.

ALL BECAUSE OF COMMON SENSE.

Somehow we got through and got through big.

At the start of the building season there were rumors that prices were going to "sky-rocket" and a certain fear gripped prospective builders. Then a Labor cloud appeared relative to wage scales. Building was wanted, it was needed, but rumors, and sinister influences made things rather uncertain.

Despite these handicaps building activity picked up and was kept going by good common horse sense. Labor fell in line, material supply men held prices fairly steady and within reason, contractors figured fair profits and, as the weeks rolled by, confidence was inspired in the building public.

All these elements combined to make 1922, a banner building year in Indiana.

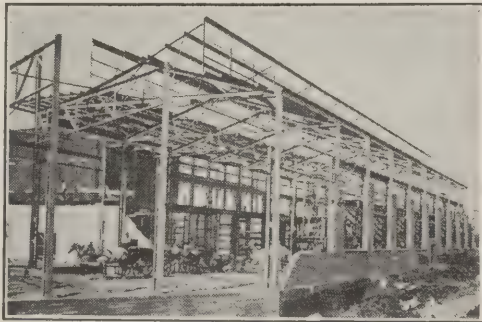
And because common sense ruled the building industry prospered, in turn making business in other lines good, a fact that can not be denied.

While the coal and transportation interests, vital to the commercial life of the nation, were torn with dissension and strife, the great building industry went on building, working out, not only its own salvation, but that of the country also.

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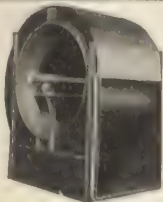
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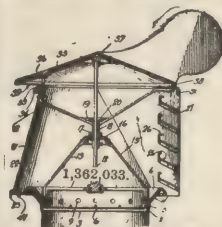
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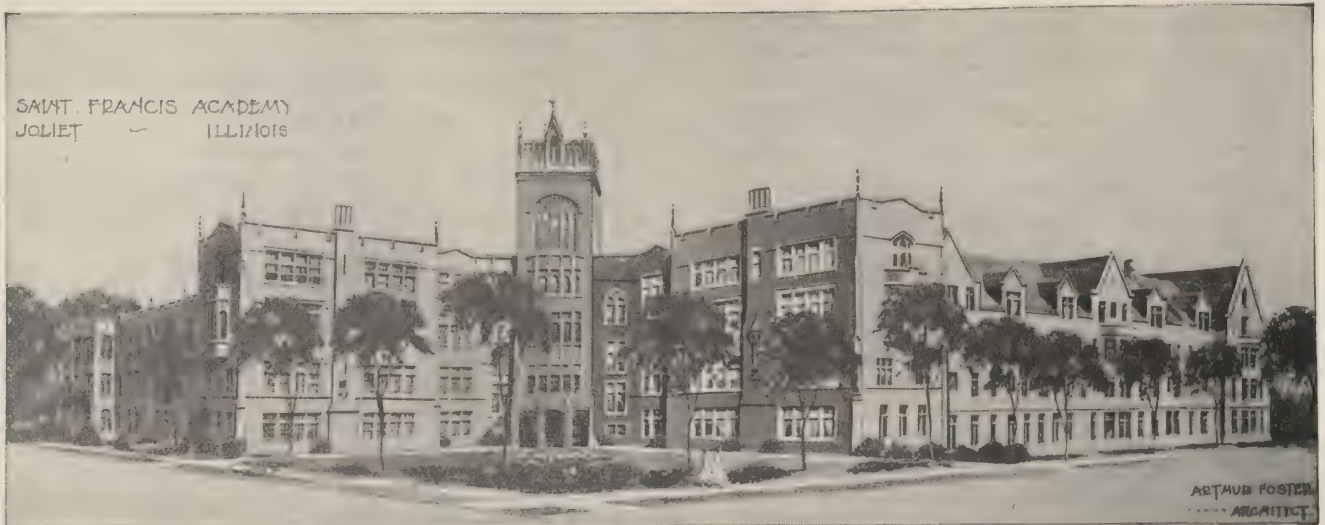
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FOR
CONTRACTOR
SUPPLYMAN

Vol. IV

INDIANAPOLIS, INDIANA, OCTOBER 7, 1922

No. 27

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CONTRACTORS' CONFERENCE BRINGS OUT FACT THAT AN- NOYING FEATURES ARE CROPPING OUT AGAIN.

The sixth monthly conference of contractors, conducted under the auspices of the Associated Building Contractors of Indiana, was held at Vincennes, Thursday, September 28, with representatives from that city, Terre Haute and Lafayette present. There was a note of regret sounded that more of the local city associations had not sent delegates to the conference so that a more comprehensive idea might have been obtained as to ruling conditions in contracting circles throughout the State. The hope was expressed that more cities would be represented at the next conference. It was moved and seconded that all affiliated A. B. C's. associations make an earnest endeavor to have at least one delegate in attendance when the next conference is called. The point was stressed upon that these monthly discussions develop certain features of current information relative to the building business in the various localities, showing trends, conditions and influences that have, or may have, some future effect on the other territories and afford an insight on prevailing affairs that on the whole is bound to prove of benefit to the entire industry if heeded. Often times a local situation, inimical in its nature, if allowed to spread can envelop a wide and far territory, but, the contractors of the various cities, gathered in conference, gaining knowledge of such adverse influence, can set about through their own individual associations and collectively through the State Association, if need be, to counteract that which might otherwise prove harmful if allowed to continue unopposed.

Discussions at the Vincennes confer-

ence revealed the fact that several of the cities are, or have been, having annoying labor conditions to combat. At Lafayette the increased wage demands of the plasterers, instituted several months ago, has retarded building operations considerably. Practically all the contractors, rather than meet the demand of the plasterers have closed down on their operations, in some instances on orders from the owners themselves. Other owners whose work was far advanced agreed to pay the plasterers the advance over the established scale in order to get their projects finished. One contractor, a member of the local A. B. C's. ignored the action taken by the association agreeing not to pay the advanced scale demanded and his case is to be brought to the attention of the association for action at the next meeting.

Affairs relative to plasterers at Terre Haute has been a sort of "fly in the ointment" situation, too, for the contractors. Someone from Chicago invaded Terre Haute with an offer to plasterers of \$12.00 per day if they would go to the former city. Four of the best plasterers in Terre Haute presumably accepted, for they have left. Higher wages offered by outsiders has also cut in heavily on the local supply of lathers many of whom have gone to other cities. Two contractors, compelled to finish a project in a given time, have been forced to pay their lathers \$1.25 per hour. The free plan, save the contractor's percentage" propaganda spread by certain lumber yards about the State was reported to have reached Terre Haute with the result that the house contractors are feeling its effect severely, the lumber yards having

(Continued on Page 7)

SEVERAL RECORDS ESTABLISHED BY SEPTEMBER BUILDING IN INDI- ANA, WHILE MOST CITIES SHOW GAINS.

Clipping along at a surprising sustained gait, well maintaining the pace set earlier in the season, Indiana building constructions operators for September swung into the back stretch of the 1922 season and thundered along to carry the building volume on to further record heights over the business done in the corresponding period last year. The September total from Indiana's eight leading cities went close to the five and a half million dollar mark, the month's performance taking rank with the best building months of the year. Though the season for building construction activity is waning, nevertheless, September showed but a 3% decline from the high figures of August, a remarkable result and one that sets a record in Indiana for September building. The figures this season are 90.26% in excess of the September, 1921, figures, and are good for a gain of 108.91% over the totals for the same period in 1920.

Every one of the larger cities in Indiana where building statistics are recorded shows that more permits were granted this September than last, while six of them show gains in the estimated amounts invested in new building only two of them failing to reach their September, 1921, totals.

The outstanding feature of the month's activity centers at Ft. Wayne, where permits were granted for a total estimated valuation of \$1,774,930, the highest monthly building record known in the city's history. This is a 442% gain over the September, 1921, total. South Bend made a good showing, she also going over the million dollar level for a gain of 142% over the corresponding figures a year ago. Indianapolis did not stack up so well with some of her other monthly totals this season though her new building operations came close to totaling \$2,000,000, a mark good for a gain of 32.4% over her September, 1921, performance. The showing made by the other cities was as follows: Hammond and Terre Haute, both 41.8% gains; Richmond, 21.9% gain; Evansville, 4.3% loss; Gary, 27.4% loss.

The comparative building figures for September are:

Cities	1922—		1921—	
	Per.	Est. Val.	Per.	Est. Val.
Evansville	120	\$ 111,704	111	\$ 116,730
Ft. Wayne	175	1,774,930	133	327,343
Gary	81	171,440	64	236,431
Hammond	74	154,200	49	108,750
Indianapolis	1,163	1,928,956	1,010	1,456,725
Richmond	38	70,417	19	57,750
South Bend	377	1,065,104	274	439,324
Terre Haute	168	169,288	95	119,375
Total	2,196	\$5,446,039	1,755	\$2,862,428

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ing taken to contracting. One lumber yard alone in Terre Haute is reported to have gotten out plans for and built 128 houses this season.

This lumber yard contracting feature is also effecting the builders at Vincennes who find it a serious problem. The yards are advertising to furnish plans and all material and are quoting to the owner the same figures they are giving the contractors which makes it impossible to compete in the house building game. It is a real problem that is confronting the Vincennes contractor and has him guessing.

The conference went on record as heartily favoring a former conference resolution that opposed any member of the State A. B. C.'s operating under the jurisdiction of any other local association, raising the established scale of wages in that territory or the paying of bonuses in order to secure men.

Just previous to adjournment it was voted to hold the next conference at Indianapolis, the date to be announced later.

Those present at Vincennes were: S. H. P. Boyer, Lafayette; G. F. Bull, F. A. Burget, F. J. Kline, O. A. Toelle, Ed Wellman, Terre Haute; H. L. Abernathy, Ed. H. Abernathy, T. J. Edwards, Henry Knauth, Victor Knauth; A. W. Schnuck, Vincennes; J. H. Owens, Indianapolis, Field Representative, Associated Building Contractors of Indiana.

News of the Week

The asterisk (*) prefix to an item indicates additional information to report published in previous issue.

INDIANAPOLIS.

*Club House and Hotel: "Elk's Lodge," \$750,000, 8 sty. and bas. (197 sleeping rooms, lodge meeting rooms, dining room billiard rooms, gymnasium, swimming pool and various other recreation rooms), N. W. corner of Meridian and St. Clair Sts. Archt., Adolph Scherrer, Indiana Trust Bldg. Owner, Elks Realty Co., 13 E. Vermont St. Plans in progress.

*Bank and Office Building: (side addition), \$500,000, 7 sty. and bas., 136 E. Washington St. Archt., Vonnegut, Bohn and Mueller, 610 Indiana Trust Bldg. Owner, Meyer-Kiser Bank, Sol Meyer, Pres.; Julian J. Kiser, V.-P., 136 East Washington St. Plans nearing completion. Brick, reinf. conc. and structural steel, terra cotta front, steam heat, comp. roof, tile and marble work.

*Residence and Garage: \$400,000, 2 sty. & bas., about 100x50, Parkway Blvd.

Archt., Bass, Knowlton and Co., 312 N. Meridian St. Owner, Charles B. Sommers, Pres. of D. Sommers and Co. (Furniture), West Wash. & Capitol Ave. Bids in under advisement.

Family Hotel: \$1,500,000, 10 sty. & bas., (1,000 rooms), N. E. corner of Meridian St. and Fall Creek Blvd. Archt., Vonnegut, Bohn & Mueller, 610 Indiana Trust Bldg. Owner, George J. Marott, 18 E. Washington St. Plans in progress. Brick, reinf. concrete and steel, frpf constr., comp. roof, steam heat, 5 elevators, incinerators, tile and marble work.

*Sewage Disposal Plant (Division No. 3) Consulting Engineer, Charles H. Hurd, 1405 Merchants Bank Bldg. Owner, Board of Sanitary Commissioners, Jay A. Cravens, Prest.; John L. Elliott, V. P.; Lucius B. Swift, Secy., City Hall. Owner receiving bids to close October 31st, at 10:00 a. m., on the following:

1. Activated Sludge Plant:
 - a. Aeration and settling tanks, including pipe gallery and connectoin conduits.
 - b. Air mains, air distribution system, sewage, sludge and drain piping.
 - c. Sluice gates and gate valves.
 - d. Air control and drain valves.
 - e. Diffuser plates.
 - f. Air and sewage meters and recorders.
2. Power plant Auxiliary Equipment.
 - a. Boiler settings and breaching.
 - b. Coal storage bunker.
 - c. Coal handling equipment.
 - d. Power plant piping.
 - e. Boiler feed pumps and regulators.
 - f. Feed water heaters and softening system.

Hebrew Temple: \$350,000. Archt. not selected. Owner, Indianapolis Hebrew Congregation, Adolph Biccand, Secy., 610 Indiana Pythian Bldg. Owners are making arrangements to finance, will probably select an Architect early winter and build next summer.

Home for Aged: \$300,000, "Home for Disabled and Aged Knights of Pythias." Archt. not selected. Owner, Knights of Pythias of Indiana, Ralph W. Gaylor, Grand Chancellor, Mishawaka, Ind. General offices, K. of P. Bldg., Indianapolis. Owners have obtained options on several building sites, will select site soon. Definite data later.

Market Building: \$200,000. Archt., Wm. Earl Russ, Meridian Life Bldg. Owner, Indianapolis Growers' Co-operative Association, % Edward H. Holt, representative, 758 Lemcke Annex, Indianapolis. Archt. preparing sketches, details undecided.

Memorial Building: \$100,000, 2 sty. & bas., Greenfield, Ind. Archt., McGuire

and Shook, 320 Indiana Pythian Bldg., Indianapolis. Owner, Board of Trustees, Ward Fletcher, Pres., % Greenfield Banking Co., Greenfield, and Board of County Commrs., Greenfield. Plans in progress. Brick. Will contain auditorium, gymnasium, billiard rooms, etc.

Church Auditorium: Maple Road Boulevard and Meridian St. Archt. not selected. Owner, North Methodist Episcopal Church, A. M. Glossbrenner, % Levey Printing Co., Fred Hoke, % Holcomb and Hoke Mfg. Co., C. P. Lesh, % The Lesh Paper Co., Building Committee. Owner will select an architect this fall and build about March 1st. (This will be the first unit of a large church program.)

*Church: Anderson, Ind. Archt., Chas. E. Bacon, 605 Odd Fellows Bldg., Indianapolis. Owner, First Baptist Church, Edgar Lavens Hamilton, pastor; R. B. Tuttle, Chmn., Anderson, Ind. Bids close October 16th.

*Sewage Disposal Plant: \$40,000.00. Prospect St. Plant. Private plans. Owner, The Citizens Gas Co., Majestic Bldg. Bids in. Owner will do excavating by day labor, balance of work held up for several weeks. Reinf. conc. settling basin, cooling tower, pump house 14x20 and mixer house 17x20.

Contracts Awarded.

*Residence: \$70,000, 2 sty. and bas., about 45x95, 56th St. Archt., Robert Frost Daggett, Lemcke Annex. Owner, John H. Aufderheide, 858-60 Lemcke Annex. General contract awarded to William P. Junglaus & Co., 825 Massachusetts Ave., approx. \$60,000; heating and plumbing not let. Stucco.

Apartment Building: \$65,000 (24 Apts.) and 16-car garage: 2 sty. and bas., 27x252, 222-26 Audubon Road. Owner, H. A. Barnard, % contractor. General contract let to Robert B. Insley & Co., 705 National City Bank Bldg.

Factory: 2 sty. 25x200. Nevada St. and Belt R. R. Archt. and general contractor, The Thompson-Binger Co., Indiana Pythian Bldg. Owner, Dad's Factories, Homer A. Woods, Mgr. (Mnfrs. of electric lanterns), 19-29 West South St. Plans in progress. Start work soon. Brick.

*Stores (4) and Apartments (6): 2 sty. & bas., 50x80., Cor. 42nd and Boulevard Place. Archt. and Contractor, Walker-Brooks Co., 134 N. Delaware St. Owner, D. G. Campbell, 23rd and Talbott. Start work at once. Brick.

*Church: \$40,000.00. 1 sty. & bas. Archt., The Elmer E. Dunlap & Co., 1050 No. Delaware St., Indianapolis. Owner, Samuel Wertz Memorial United Brethren Church, Columbus, Indiana. Owner awarding contracts. Brick and stone

(Continued on Page 9)



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INDIANAPOLIS



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This sale embraces the dismanteling and removal of the Barracks, Mess Halls, Store Houses, Power Houses and Miscellaneous Buildings, together with their equipment.

These buildings are practically all of wooden construction and were built during 1917, 1918 and 1919 for the housing and training of Naval recruits.

For the convenience of prospective bidders the buildings have been divided into six groups (sections). Bids will be considered on any group or groups, as follows:

Section A. --CAMPS LUCE (18th Rgt.)
Lot G. L. 79 PAUL JONES (12th & 13th Rgts.)

Section B. --CAMP LUCE
Lot G. L. 80 (16th & 17th Rgts.)

Section C. --CAMP FARRAGUT
Lot G. L. 85 (9th Rgt.)

Section D. --AVIATION CAMP
Lot G. L. 86 (15th Rgt.)

Section E. --MISCELLANEOUS
Lot G. L. 100 BUILDINGS.

Section F. --CAMP BARRY.
Lot G. L. 101

Write, phone or wire for Cat. No. 140-B, giving full descriptions and locations of buildings, terms of sale and form of bid, to any of the following:

Naval Training Station, Board of Survey, Appraisal and Sale, Great Lakes, Ill.
Naval Supply Depot, S. Brooklyn, N. Y.

Bids on this sale must be in the form given in the above Cat. No. 140-B. Bids should be plainly marked and addressed to the undersigned, where they will be publicly opened at 2:00 P. M., Tuesday, October 17th, 1922.

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work awarded to Murray Rosenberger, 1220 No. Illinois St., Apt. No. 18, Indianapolis.

***Residence** (double) \$12,000. 4101-03 College Ave. Archt., Bacon and Tislow, 31 West Ohio St., Owner, Edw. H. Niles, 4450 Guilford. General contractor, W. A. Quillan, 2433 Indianapolis Ave. Excavated.

EVANSVILLE.

***Factory:** \$75,000, 4 sty. & bas., 75x150. Archt., Alfred E. Neucks, 515-16 Peoples Bank Bldg., Evansville. Owner, General Cigar Co. (general office, 119 West 40th St., New York City); local office, Evansville. Plans in progress. Brick, mill construction, steel sash, saw tooth roof constr., elevator. Archt. is now receiving bids for the construction of a 1 story top addition to one of the buildings. Brick.

***City Hall** (addition), \$50,000. Archt., Russ & Karges, Furniture Bldg. Owner, City of Evansville. Plans nearing completion. Owner will advertise for bids soon. Brick, steel stairs, terrazzo work, steam heat, comp. roof.

***Church** (addition and remodeling), \$20,000, Mt. Vernon, Ind. Archt., Harry E. Boyle and Co., Furniture Bldg., Evansville. Owner, Methodist Church, Mt. Vernon, Ind. Plans in progress. Brk.

***Residence:** \$12,000, 1 sty. & bas., 52x45. Archt., Alfred E. Neucks, 515-16 Peoples Bank Bldg. Owner, L. J. Hubert, 612 First Ave. Archt. taking bids. Brick over hollow tile, hot water heat, tile porch floor and bath rooms.

Bungalow: Michigan Ave. near Edgar. Archt., Frank J. Schlotter, 113½ Upper 4th St. Owner, Henry Kamman (attorney), 113 Upper 4th St. Plans in progress. 2 sty., 7 rooms.

FT. WAYNE.

Recreational Building: Owner, The General Electric Co. Preliminary plans in progress, will contain swimming pool, 6 bowling alleys, metal lockers, rifle range, horseshoe courts, gymnasium (seating 2,500), stage, billiard room.

***Masonic Temple:** \$400,000. Archt., Chas. Weatherhogg, 405 Citizens Trust Bldg. Owner, Masonic Temple Association. Plans nearing completion. Archt. ready for bids shortly. Brick, frpf. con.

Garage (for taxi cabs), 1 or 2 sty. &

bas., 250x150, Cor. Main and Fulton Sts. Archt., Chas. R. Weatherhogg, Citizens Trust Bldg. Owner, Yellow Cab Line, James E. Ford, Treas., Douglas & Harrison Sts. Plans nearing completion. Brk., reinf. concrete and steel, comp. roof, steam heat, concrete floors, steel sash.

***Residence:** \$75,000, 2 sty. & bas., 100x36. Archt., Clarence Levy, 509 Bass Bldg. Owner, G. Irving Latz, Pres., Wolf and Dessauer Co. Plans completed, ready for bids soon. Frame, vapor heat, tile roof, hardwood and tile floors.

Residence (for physician), 2 sty. and bas., 70x35, New Haven, Ind. Archt., J. M. E. Reidel, Noll Bldg., Ft. Wayne. Owner, Dr. Cowen, New Haven, Ind. Plans in progress, ready for bids soon. Brick, Spanish tile roof, terrazzo floors, vapor heat, hardwood floors, will contain office, operating rooms, laundry, waiting room and 3 car garage.

***Residence and Garage:** \$60,000, 2 sty. and bas., 88x66 and 40x50, Forest Park Addition. Archt., J. M. E. Reidel, 305 Noll Bldg. Owner, G. Max Hofman, 1118 Calhoun St. Plans in progress. Stucco and frame, tile roof, steam htg. plant, marble and tile work, vacuum cleaner, hardwood floors.

***Church:** \$150,000 (Sunday School, auditorium and social rooms), area of site, 150x155, Fairfield and Berry. Archt., Guy Mahurin, 500 Lincoln Life Bldg. Owner, Plymouth Congregation, Rev. Arthur J. Folsom, pastor, 120 E. Tabor St. Plans in progress.

Residence: \$12,000, 2 sty. and bas., (7 rooms), Kinsmore Ave. Archt., Leighton Bowers, 433 Utility Bldg. Owner, H. W. Ginty, 618 E. Jefferson St. Ready for bids shortly. Brick veneer, asphalt shingle roof, furnace heat.

Garage: 1 sty. and bas., 50x130. Archt., Leighton Bowers, 433 Utility Bldg. Owner, name withheld for present. Plans in progress. Brick walls, steel sash, concrete floors.

***Residence and 2-Car Garage:** \$20,000, Harrison Hill Blvd. and Cornell Circle. Archt., Pohlmeier and Pohlmeier, 303 Central Bldg. Owner, Dr. M. B. Thompson, % Ross College of Chiropractic, West Jefferson St. Plans in progress, mature this fall. Pressed brick, tile roof.

Salesroom and Garage: \$80,000, Superior St. Archt., Pohlmeier and Pohlmeier, 303 Central Bldg. Owner, name withheld for present. Plans in progress.

Reinf. concrete floors and roof constr., steel sash, 2 sty. and bas., 90x150.

***Masonic Temple:** 2 sty. and bas., Angola, Indiana. Archt., Guy Mahurin, 500 Lincoln Life Bldg., Ft. Wayne. Owner, Masonic Lodge, Alfonso Wood in charge, Angola, Ind. Plans nearing completion, mature late winter. Brick.

***Mizpah Temple:** \$300,000. Archt., Guy Mahurin, 500 Lincoln Life Bldg. Owner, A. A. O. N. M. S., Mizpah Temple, Chas. A. Miegs, Illustrious Potentate. Plans in progress. Brick, "Arabic design." Financing, mature this fall.

***Church** (Sunday School and Auditorium). 2 sty., 118x66 and 56x97. Archt., Guy Mahurin, 500 Lincoln Life Bldg. Owner, New Congregational Church; Wm. J. Hess, Chmn. Bldg. Comm. Plans in progress. Brick.

Bank (rem.) and 2 apartments: \$25,000, Ligonier, Ind. Archt., A. M. Strauss, 705 Shoaff Bldg., Ft. Wayne. Owner, Citizens Bank, Ligonier, Ind. Plans in progress. Brick, steam heat, bank fixtures, marble work, tile work and general alterations.

Grade School: \$250,000, 1 sty. and bas., "McCullough School." Archt., Guy Mahurin, 500 Lincoln Life Bldg. Owner, Board of School Trustees, Byron H. Somers, Pres.; Henry J. Bowerfind, Secy. Plans in progress. Brick.

***School** (Alt. and Add.), \$60,000, "Nebraska School." Archt., A. M. Strauss, 705 Shoaff Bldg. Owner, Board of School Trustees, Byron H. Somers, Pres.; Henry J. Bowerfind, Secy., Ft. Wayne, revising plans, will probably not ask for bids until about December 1st. Brick.

Contracts Awarded.

***Tank Shop and Garage:** \$25,000. Owner, General Electric Co., general contract let to Henry Wehrenberg and Son. Brick.

Community High and Grade School: \$139,589, 1 and 2 sty. and bas., 178x157, Pierceton, Ind., Washington Twp., Kosciusko county. Archt., Griffith and Goodrich, 211 E. Berry St., Ft. Wayne. Owner, Archibald J. Menzie, trustee, Pierceton, Ind. General contractor, Noah Franz, Silver Lake, Ind. and Burket, Ind. Start work at once. General contractor taking bids on heating, plumbing, wiring, struct. steel, plaster, orn. and misc. iron, stone, roofing and sheet metal work, mill work.

***School:** \$42,000, Jackson Twp., Kosciusko county, Sidney, Ind. Archt., Noah Franz, Silver Lake, Ind. and Burket,

(Continued on Page 11)

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INDIANAPOLIS

Ind. Owner, A. U. Ulrey, trustee, Sidney, Ind. Stone let to Shea and Donnelly, Bedford. Excavating.

Building Permits.

Issued to C. J. Koehler for residence at 319 Florence Ave., \$4,500; to Payton Brothers, for residence at 2201 Wayne Terrace, \$5,000; to Health Brothers for residence at 1719 California Ave., \$5,500; to William Doege for residences at 2413 and 2409 Parnell, \$3,000 each; to J. C. Flickinger for residences at 4410 Indiana Ave., \$6,500; at 717 Edgewater Ave., at cost of \$6,000; at 933 Oakdale Drive, \$7,500.

HAMMOND.

Electrical Power Plant: \$2,000,000, Indiana Boulevard and 106th St. Owner, The Edison Electric Co., New York City, have purchased several acres and will start work late this fall on a power plant.

***Store and Apartment Bldg.:** \$40,000, 2 sty. and bas., 50x100, Hohman St. Archt., Mac Turner, Ruff Bldg. Owner, D. Spragia, 686 Hohman St. General contractor, Danner, Gohman and Meyers Constr. Co. Heating and plumbing let to J. H. McGuire, 911 Calumet Ave.

LAPORTE.

***High School Building:** \$400,000, 2 sty. & bas. Archt., Miller, Fullenwider and Dowling, 646 N. Michigan Ave., Chicago, Ill. Owner, Board of School Trustees, Laporte, Ind. Owner receiving bids at the office of Mrs. Mary Walker, Treas. Bids close October 27th, at 1:00 p. m., on the following trades: (1) Masonry, (2) Cut stone, (3) Structural steel, (4) Ornamental iron, (5) Carpentry, (6) Plastering, (7) Painting, (8) Decoration, (9) Glazing, (10) Sheet metal and roofing, (11) Heating and ventilating, (12) Sewers, plumbing and gas fitting, (13)

Electric wiring and telephone, (14) Program clocks and fire alarms, (15) Terra-razzo work, (16) Metal lockers, (17) Vacuum cleaning system, (18) Blackboards, (19) Window shades, (20) Vault doors, (21) Laboratory fittings, (22) Terra cotta. Bids are desired on the general contract, which includes all branches except items 11, 12, 13, 17 and 21, also on any combination of one or more of the separate trades.

Hotel (24 room annex), \$35,000 (Sheridan Beach Hotel," Michigan City, Ind. Archt., George W. Allen and Son, 721 Lincoln Way, Laporte. Owner, The Sheridan Beach Hotel Co., Sheridan Beach, Michigan City. Plans in progress. Frame and stucco, composition roofing, plumbing, 24 baths, steam heat.

Residence: \$8,000, Sheridan Beach, Michigan City, Ind. Archt., George W. Allen and Son, 721 Lincoln Way, Laporte. Owner, Mrs. Gertrude Spiro, Chicago, Ill. Plans in progress. Frame, stucco, comp. roof, plumbing, furnace.

Residence: \$10,000, Michigan City. Archt., George W. Allen and Son, 721 Lincoln Way, Laporte. Owner, Robert F. Garrettson, cashier of the Merchants Bank, Michigan City, Ind. Plans in progress. Frame, shingle roof, plumbing, furnace, mantel.

Contracts Awarded.

***School:** \$30,000, 2 sty., 43x50, Springfield Twp., Laporte county, Ind. Archt., Geo. W. Allen and Son, Laporte. Owner, Augustus Schumaker, trustee, Laporte, Ind. General contract let to Cook Bros. Heating and plumbing to P. J. Dolan; wiring to Harding Electric Co., all of Laporte.

LEBANON.

***Factory** (warehouse and shop), 2 sty., 160x100. Owner, The Indestructible Wheel Co., Lebanon. Plans completed. Owner will receive bids this fall. Brk.

Assembly Room, Paint Shop and Machine Shop: 1 sty., 60x100, 1 sty., 40x40, 1 sty. 60x40. Owner, Cline and Hicks. Starting work. Owner builds. Cement blocks.

LOGANSPOUT.

Country Estate: (area of site, 25 acres), between Star City, Ind. and Kewanee, Ind. Archt., Allen and Garriott, Masonic Temple, Logansport. Owner, W. H. Graffis (publisher), Chicago, Ill. Preliminary plans in progress, 2 sty. and bas. English style of architecture, Gate Keeper's Lodge, farm buildings, cattle barns, garage, 2 outdoor swimming pools, private water system, private electric light plant, sewage disposal.

PLYMOUTH.

***High School:** \$300,000, "Lincoln High School," 2 sty. and bas., 163x179. Archt., Ernest Young, South Bend, Ind., Asso., Miller, Fullenwider and Dowling, 6 N. Michigan Ave., Chicago, Ill. Owner, Board of School Trustees, Jacob Schlosser, Pres.; L. E. Steinbauch, Supt. of Schools, Plymouth, Ind. Revising plans, will readvertise for new bids soon.

***Egg Storage Bldg. & Ice Cream Plant:** (2 bldgs.) Archt., Ernest W. Young, South Bend, Ind. Engineer, M. R. Carpenter, 72 W. Wash. St. Owner, Schlosser Bros. Creamery Co. Plans nearing completion. Ready for bids soon. Brick, reinf. concrete, steel sash, cork insulation, refrigerating equip.

RICHMOND.

***Lodge Building:** 3 sty., side addition, 48½x66 ft. Archt., Geo. W. Mansfield, 336 Colonial Bldg. Owner, Eagles Lodge No. 666, August Johanning, 600 S. 13th St. (Chmn. Bldg. Com.) Plans in progress. Brick, concrete floors, tile

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floors, elevator, comp. roof, ext. of present heating system, new boiler. Will contain reading rooms, cafeteria, billiard rooms, gymnasium.

Residence: \$15,000 (8 rooms), 2 sty. & bas., 30x36, Boston, Ind. Archt., Geo. W. Mansfield, 336 Colonial Bldg., Richmond. Owner, Arthur Nelson (hardware dealer), Boston, Ind. Owner will build by day labor and buy materials. Brick, asbestos roof, vapor heat, tile and hardwood floors.

***Residence:** \$10,000, 2 sty., 35x40. Archt., Geo. W. Mansfield, 336 Colonial Bldg. Owner, Eddie Mariana. Plans completed, probably mature late fall. Brick.

Garage, Stores and Apartment Building: \$18,000, 2 sty. and bas., East end. Archt., C. E. Werking and Son, Palladium Bldg. Owner, A. J. Miller. Brick, Comp. roof, copper-set store front, steam heat.

Residence (Colonial): \$20,000, 2 sty. & bas. Archt., C. E. Werking and Son, Palladium Bldg. Owner, Ed. H. Harris, Mgr., Richmond Palladium Publishing Co., 19 S. 9th St. Plans in progress. Brick, tile roof, hot air heat, tile and hardwood floors.

SOUTH BEND.

Sheet Metal Manufacturing Plant: A \$30,000,000 sheet metal plant is expected to be built in South Bend as a result of a combination of several minor sheet metal plants in Northern Indiana and Illinois. Chas. E. Potts, Pres. of the Blackstone Theatre Corporation, South Bend, is behind the movement. Definite data later.

Baking Plant (bread bakery), \$1,000,000, 4 sty. & bas., area of site, 600x200. Owner, The Ward Baking Co., represented in South Bend by Anderson, Parker, Crabill and Crumpacker. (Attorneys), 811 J. M. S. Bldg. Site purchased. Definite data later.

Parochial High School: \$500,000. Archt. not selected. Owner, St. Joseph Roman Catholic Church, South Bend. Contemplated, mature spring. Brick, fireproof.

***Lodge Building:** \$250,000, 6 sty. & bas., 99x82. Archt., Austin and Shambleau, 111 N. Lafayette St., and Walter W. Schneider, 120 S. Main St. Plans nearing completion. Archt. taking bids. Brick, reinf. concrete, terra cotta trim, 2 passenger and 1 freight elevators, comp. roof, steam heat.

***Undertaking Establishment and Apt. Bldg.:** 3 sty. and bas., private plans. Owner, A. M. Russell, 218 W. Jefferson. Owner ready for bids about Oct. 15th. Brick.

***Stores (2),** 1 sty. and bas. Archt., Austin and Shambleau, 111 N. Lafayette. Owner, George Sands, Farmers Trust Bldg. Owner ready for bids soon. Brick, copper-set store fronts, comp. roof, steam heat.

***School Buildings (2),** additions, \$50,000 each, Mishawaka, Ind., East Side High School and West Side High School. Archt., Freyermuth and Maurer, 654 Farmers Trust Bldg., South Bend. Owner, Board of Education, Mishawaka, Ind. Plans completed; mature about March 1st. Brick.

Schools (several) additions to grade school at Division and Michigan Sts. and to Lincoln Grade School. Archt. not selected.

Owner, Board of School Trustees, Richard B. Dugdale, Secy. Contemplated, mature early spring. Brick.

Parochial School (addition), \$50,000. Owner, St. Patrick's R. C. Church, Father Maloney. Contemplated.

Parochial School (addition), \$50,000. Owner, St. Mathews R. C. School. Contemplated.

TERRE HAUTE.

Power Plant (Mining) \$75,000. Sullivan County, Indiana. Archt. & Engineer, Shourds-Stoner Co., Tribune Bldg., Terre Haute. Owner, Vigo Mining Co., Terre Haute. Plans in progress. 1 sty. bldg. 50x80. Brick, reinf. conc. & steel, steel truss roof, 2 250 K. W. generators, 4 high pressure boilers, motors, steam mine hoisting machinery. Ready for bids in 30 days.

Residence: \$15,000. 2 sty. & bas. 32x48. Archt., Shourds-Stoner Co., Tribune Bldg. Owner, Mrs. A. J. Jeswick, % Archt. Archt. receiving bids. Brick and stucco, tile roof, steam heat.

Residence: 2 ty. & bas., Brazil, Indiana. Archt., Johnson, Miller, and Miller, 30 No. 5th St., Terre Haute. Owner, Dr. D. B. Kreider, Brazil. Archt. taking bids.

Contracts Awarded.

Apartment Building (27 apts.) \$200,000. 3 sty. & bas., Champaign, Illinois. Archt., George E. Ramey, Champaign, Ills. Owner, Co-Operative Company, % Glenn W. North Co., Terre Haute, contractor, North-Raffin Constr. Co., Terre Haute. Start foundation in 30 days; will build superstructure early in spring. Brick.

Residence: \$12,000. Archt., Shourds-Stoner Co., Tribune Bldg. Owner, C. R. Gambill, general contract let to E. J. Workman, all of Terre Haute. Frame and stucco, contractor taking bids on heating, plumbing and wiring.

***Church:** \$100,000. Brazil, Ind. Archt. Johnson, Miller and Miller, 30 No. 5th St., Terre Haute. Owner, First Presbyterian Church, Brazil, contractor on foundation is Oscar Miller, Brazil, Ind. Will take bids on superstructure early spring.

VALPARAISO.

Store Building: 2 sty. \$25,000. Owner, Sievers Drug Co., Valparaiso. Plans in progress. Ready for bids soon. Brick.

EVANSVILLE.

***High School (Catholic Boys' High School)** \$300,000.00. Lincoln Ave. & Walnut St. Area 13 acres. Archt., Clifford Shopbell and Co., Furniture Bldg. Owner, Catholic Diocese of Evansville, F. X. Unterreitmeier, Chmn. Bldg. Comm. Archt. will start plans at once. Details undecided. Site just purchased.

MISCELLANEOUS CITIES.

Anderson: Lumber plant, (fire, rebuild). Owner, Winters, Mercer and Brannum, Anderson. Start work soon. Brick and frame.

***Burnsville:** Church, \$10,000. Owner, Christian Church, Burnsville, Ind. (Road from Elizabethtown, Bartholomew Co.) Owner will build by day labor.

Columbus: Factory Bldg. Owner, The Reliance Co., R. R. Rader, Treas., will build this fall. Definite data later.

Economy: Gymnasium, 1 sty. Archt., C. E. Werking and Son, Palladium Bldg., Richmond. Owner, J. Atkinson, trustee, Economy. Bids close October 10th at 2:00 P. M.

Hartford City: (2 boilers), W. C. Hughes, Auditor of Blackford County, Court House, Hartford City, is receiving bids to close October 14th at 10:00 A. M., for 2 boilers and the installation of same, to be installed in Court House.

Marietta: Lodge Bldg., \$5,000, 2 sty. and bas. Owner, Marietta Lodge, No. 467, Knights of Pythias, Leonard Bland, Samuel Hupp, Bldg. Com., Marietta, Ind. (Shelby County, Road from Shelbyville). Plans in progress. Will mature about March 1st.

Mishawaka: Water Works (improvements). Engineer, Burns and McDonnell, 402 Interstate Bldg., Kansas City, Mo. Owner, City of Mishawaka, A. R. Klein, Supt. of Water Works. Plans in progress, reinf. conc. reservoir, 1½ million gallons capacity and new pumping equipment.

***Roanoke:** School building, \$80,000, 1 sty. and bas., Jackson School Township, Huntington county, Roanoke, Ind. Archt., Everett I. Brown, Studebaker Bank Bldg., Bluffton, Ind. Owner, N. W. Van Arsdol, Trustee, Roanoke, Ind. Owner receiving new bids to close November 6th at 2:00 P. M. Brick.

Valparaiso: High school, \$300,000. Owner, Board of Education. Contemplated, will select an architect soon, mature spring.

***Whiting:** Masonic Temple, \$100,000, 3 sty. and bas., 50x100. Archt., Clarence Hatzfield, 7 S. Dearborn St., Chicago Ill. Owner, A. F. & M. Lodge No. 613, 438 119th St., Whiting. Plans nearing completion. Brick, Terra Cotta

Union City: School (addition and alterations), \$60,000, Jackson School Twp., Randolph County, Ind. Archt., C. E. Losch, Union City, Ind. Owner, Thomas W. Kemp, trustee, Union City, Ind. Owner receiving bids to close October 24th at 1:30 P. M. (See legal advertising in this issue.)

Contracts Awarded.

Bedford: Stone Mill (fire rebuild), \$400,000. Owner, Indiana Quarries Co., Bedford. Contract let to Indiana Bridge Co., Muncie, Ind.

Burnsville: Church, \$10,000 (Road from Elizabethtown), Bartholomew county, Ind. Owner, Christian Church, Rev. Ira E. Cowling, pastor, Burnsville. Contract let to Moir and Davis, Westpoint, Ind.

East Chicago: Factory (1st unit), \$100,000, 1 sty., 80x120. Owner, The Bates Expanded Steel Truss Co., East Chicago. Start work at once. Brick and steel.

Geneva: Community Bldg. Owner, Town of Geneva, % Town Clerk. Contemplated.

***Jeffersonville:** Hotel (rem. from Commercial Bldg.) Owner, The Clark Building Corp., M. Switow in charge, 641 Fourth St., Louisville, Ky. Low bidder, Plathoff and Bush, Louisville, Ky.

***Mount Vernon:** Armory building, \$27,000. Owner, Mt. Vernon Unit of Battery E., National Guard. General contract awarded to Jacob A. Behrlich and Sons. Brick.

Rochester: (Lake Manitau) Hotel (22 room addition). Owner, Fairview Hotel, Contract let to A. M. Fenstemacher, Rochester, Ind.

***Scipio:** School, \$28,500. Archt., Frank J. Rettig, North Vernon, Ind. Owner, John T. Richardson, Trustee, Scipio, Ind. Contractor, O. D. Sullivan, Camden, Ind. On foundation.

AUTHORITY ON BUILDING LOOKS FOR CONTINUED ACTIVITY.

"Although the peak of building activities for the current season has been passed, construction work is maintaining a volume in accordance with the remarkable record for the year. There is every indication that, barring the usual seasonal interferences, building will continue in unprecedented proportions.

"The season so far has been remarkable in regard to the increase which has been made in homes for the people. Nothing could be of greater benefit to the nation than the home-owning movement. The feature of greatest significance is that 1922 has seen more Americans become home-owners than during any previous year in our history.

"As the season approaches its final stages, there is a tendency toward more industrial construction. It must be borne in mind that the bulk of the nation's construction facilities this year have been made use of in providing residential structures of all types.

As general business develops, there is an increased demand for business structures. This does not mean the demand for new residential types has spent its force, but there is an increasing tendency toward a larger proportion of the nation's construction equipment being needed in providing new industrial and commercial buildings."—S. W. Strauss and Company, Building Financiers.)

FOR SALE.

Architect's Office Equipment: Two drawing tables, one adjustable, other 7 ft. 6 in. by 4 ft., with drawers for drawings; also six drawing boards. Architect's drawing utensils and T squares. Phone or write Mrs. W. Scott Moore, 2933 North Pennsylvania St., Indianapolis. Phone, Randolph 1520.

Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field. Copy should reach us, at the latest, Wednesday of the week of publication.

NOTICE TO CONTRACTORS.

Sealed bids will be received by the Board of School Commissioners of the City of Indianapolis at the office of the Business Director, 150 North Meridian street, until 10 a. m., October 17, 1922, for the construction and installation of two hood cases and vents in the Chemical Laboratory at the Arsenal Technical Schools, located at 1500 East Michigan Street, Indianapolis, according to plans and specifications on file in the office of the Board of School Commissioners.

All proposals must be made on Blank Form No. 96, prescribed by the State Board of Accounts, which may be secured at the office of the Board, and shall be accompanied by a certified check for not less than 8% of the bid.

Checks must be made payable to the Board of School Commissioners of the City of Indianapolis, and must be certified good by a bank or

trust company in Indianapolis, and in case the bidder whose bid shall be accepted shall not, within five days after notice of acceptance, enter into a written contract with the Board, to perform the bid and secure the contract by a bond in the form and with sureties to the approval of the Board, this certified check and the proceeds shall be and remain the absolute property of the Board as liquidated damages for such failure, and the bidder shall be liable for nothing beyond the proceeds of the check for the failure, it being impossible to anticipate the exact amount of damages such failure would occasion to the Board.

The right is reserved to reject any or all bids, and to refrain from accepting or rejecting bids for not more than six days.

BOARD OF SCHOOL COMMISSIONERS OF THE CITY OF INDIANAPOLIS.

Walter J. Twiname, Business Director.

Sept. 30 & Oct. 7, 1922

THE NEW PUMPING STATION. NOTICE TO CONTRACTORS.

Please note the following instructions governing the filing of proposals and awarding of contracts.

Sealed proposals to the Board of Trustees of the State Soldiers Home for the furnishing of labor and materials for a new Pumping Station in accordance with the plans and specifications prepared by R. W. Noland, consulting engineer, will be received by the Board of Trustees, % of the Secretary of the Board, Mrs. Caroline B. Morrison, at 422 N. 7th St., Lafayette, Ind., up to 10 a. m., Oct 12th, 1922, at which time the bids will be publicly opened in the Board Room in the Commandants Residence at the State Soldiers Home.

Three separate and distinct proposals shall be made and three separate contracts for the work will be executed. The three proposals shall be as follows:

PROPOSAL NO. 1. BUILDING.

This proposal shall include all labor and materials for a complete building as shown on the plans and specified.

PROPOSAL NO. 2. CENTRIFUGAL PUMP-ING UNITS.

This proposal shall include two pumping units complete as specified, and shall be made directly by the pump manufacturer. This proposal to include the delivery of the units at the Station site.

PROPOSAL NO. 3. INSTALLATION AND GENERAL EQUIPMENT.

This proposal shall include all labor and materials necessary for a complete Pumping Station in perfect operating condition in accordance with the plans and specifications, with the exception that the Building and Pumping Units are to be under other contracts as covered by Proposals Nos. 1 and 2. It does of course include the setting and connecting up of the Pumping Units covered by proposal No. 2.

The Trustees reserve the right to reject any and all bids.

A Bidders Bond is to accompany each and every bid.

The successful bidders will each be required to execute a contract on a form provided by the Board of Trustees. Each successful contractor will also be required to furnish satisfactory Surety Company's Bond to the amount of the contract price to secure the fulfillment of the contract.

Plans and specifications relating to any of the above work may be consulted daily at Board of Accounts, State House, Indianapolis, or R. W. Noland, Lafayette Life Building, Lafayette, Indiana.

All communications and references to the above proposals or contracts should be addressed to the undersigned:

Board of Trustees, State Soldiers Home, Secretary of the Board, Mrs. Caroline B. Morrison, 422 N. 7th St., Lafayette, Ind.
Sept. 30—Oct. 7.

BELL AND CLOCK SYSTEM EXTENSION. NOTICE TO CONTRACTORS.

Sealed bids will be received by the Board of School Commissioners of the City of Indianapolis, at the office of the Business Director, 150 North Meridian Street, until 8 o'clock p. m., October 10, 1922, for extensions to Program Bell and Clock System at the Arsenal Technical Schools, located at 1500 East Michigan Street, Indianapolis, Indiana, according to the plans and specifications prepared by Snider & Rotz.

All proposals must be made on blank form No. 96 prescribed by the State Board of Accounts, which may be secured at the office of the Board, and shall be accompanied by a certified check for not less than 8% of the bid.

The estimated cost of the proposed work is \$1,800.00. Plans and specifications are on file at the office of the Board, the State Board of Accounts, and the office of the engineers, 703 Merchants Bank Building.

Checks must be made payable to the Board of

School Commissioners of the City of Indianapolis, and must be certified good by a bank or trust company in Indianapolis, and in case the bidder whose bid shall be accepted shall not, within five days after notice of acceptance enter into a written contract with the Board to perform the bid and secure the contract by a bond in the form and with sureties to the approval of the Board, this certified check and the proceeds shall be and remain the absolute property of the Board as liquidated damages for such failure, and the bidder shall be liable for nothing beyond the proceeds of the check for the failure, it being impossible to anticipate the exact amount of damages such failure would occasion to the Board.

The right is reserved to reject any or all bids, and to refrain from accepting or rejecting bids for not more than seven days.

WALTER J. TWINAME,

Business Director.

September 18, 1922.

Sept. 23-30, Oct. 7.

SCHOOL HOUSE NOTICE TO CONTRACTORS.

Bids will be received by the Township Trustee and Advisory Board of Jackson, Township, Randolph County, Indiana, at the office of the Superintendent of Schools, at the Jackson Township School Building in said Jackson Township, Randolph County, Indiana, until 1:30 p. m., Tuesday, October 24, 1922, for the construction of, and the plumbing, electric wiring and installations, in the erection and completion of an addition, and the remodeling of the Jackson High School building, Jackson Township, Randolph County, Indiana, the same to be a two story and basement brick building, to be erected on the site of the present school building in said Jackson Township, in accordance with the plans, drawings and specifications heretofore adopted, therefore by the said Township Trustee and Township Advisory Board, and as prepared by C. E. Losch, Architect, of Union City, Ind.

Said plans, drawings and specifications will be on file on and after September 21, 1922, in the office of the Township Trustee, at his home in Jackson Township, Randolph County, Indiana, and releases will be made to bidders from the office of C. E. Losch, Architect, of Union City, Indiana, on and after said date. The estimated cost of the building complete, without furnishings and equipment, is \$60,000. Work on building to begin in spring of 1923.

Proposals to be entitled to consideration shall be made in accordance with the following instructions:

1. Proposals to be made on the forms adopted and approved by the State Board of Accounts, with all blanks filled in, including non-collusion affidavit. Each shall be delivered in a sealed envelope, addressed to the Township Trustee of said Jackson Township, bearing the title of the work, and the name and address of the bidder.

2. Proposals will be considered singly, or in any combination as set out on page two of the specifications.

3. Each proposal must be accompanied by a certified check, payable to T. W. Kemp, Township Trustee, in a sum equal to three per cent. of the amount of the proposal, in accordance with conditions included in the proposal form which check shall be forfeited as liquidated, fixed and agreed damages in case of failure of any bidder to enter into a contract within ten days after notification of acceptance of his proposal, in accordance with the plans and specifications on file, with sufficient surety to the approval of the Township Trustee and the Advisory Board, for the faithful performance thereof. The Trustee and Board reserves the right to accept any or to reject any or all proposals, and when the contract, or contracts are let, checks of unsuccessful bidders will be returned to them.

4. Successful contractor will be required to take out workmen's compensation insurance.

5. A deposit of \$10.00 will be required of prospective bidders for drawings and specifications taken from the office of the architect, which amount will be returned in full upon the return of said plans and specifications complete and in good order to the office of the architect.

6. Each bidder shall either stamp or mark his name on the back of the drawings and the copy of the specifications used by him in preparing his proposal.

7. All bidders are required to thoroughly examine the plans and specifications before bidding as there will be no variance therefrom except on instructions of architect and trustee, and the advisory board.

Dated at Union City, Indiana, September 20th, 1922.

School Township of Jackson Township, Randolph County, Indiana.

By THOMAS W. KEMP, Trustee

JOHN LALLY,

WM. A. RICKERT,

DANIEL H. GETTINGER,

Advisory Board.

Oct. 7th & 14th, 1922.

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Office of the Secretary
500 BOARD OF TRADE BUILDING
Indianapolis, Ind.

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THE LAST CALL.

Just one more week, then Saturday, October 14, and the big meeting of architects at Ft. Wayne.

Have you Northern Indiana Architects noticed the rapid approach of that date, that event?

The whole affair has been planned for you, even to the selection of the site. Though every Indiana Architect is invited to attend this "gathering of the clan," nevertheless, because of their proximity to the meeting place, it is earnestly hoped that the architectural men in the entire territory north of Indianapolis will have their profession so at heart that they will turn out enmasse at Ft. Wayne to participate in the approaching meeting.

Meet the men whose names you have frequently heard, rub elbows with your fellow architects, renew old acquaintanceships. These things will do you good, they will put spirit, and blood, and cheer into your profession, make it a thing of life, a growing, breathing organism. That is what it should be, what it really is. Be not just of it, be a part of it, the living growing tissue.

And in finality, just one thing more, "Come to Ft. Wayne, Oct. 14."

IMPORTANCE OF CITY PLANNING
AT LAST RECOGNIZED.

The federal government through a committee from the department of commerce, has issued a booklet on city planning and is encouraging the various cities of the country to give serious thought to well defined schemes and plans for future orderly development.

An advisory committee on zoning, which is endeavoring to bring about a change in the hitherto "wasteful jumble" of our city buildings, has been appointed by the department of commerce and through a pamphlet which it has sent out describes the object of zoning, the need of it, the health and property protection afforded, its effect on the cost of living, legal problems entailed, and gives in outline what some cities have already accomplished in this direction. It also contains a constructive program for the establishment of a zoning system.

Few of our American cities have fol-

lowed any definite plan of building. Like the proverbian cowpaths of Boston, which, with the growth of the city developed into streets of the business section, American cities have wandered at will. This lack of plan has long been an eyesore to those interested in city planning and has resulted in an enormous waste when whole sections have been torn away to make room for more artistic and more commodious buildings.

The crowding of stores in a residence section, the placing of noisy factories and ill-swelling garages in sections of cities which are devoted to residences and well-kept retail stores, and the construction of huge office buildings, piled one beside the other, with the result that the lower floors lack proper light and seldom remain tenanted for any length of time, is all too common in most of our American cities and gives evidence of the neglect that comes from lack of proper planning.

The rapid growth of cities all over the world has caused legislators, architects and forward-looking business men to indorse a zoning plan to provide for the proper growth and segregation of the city's activities. Recently the Russell Sage Foundation called a meeting of those interested in New York's future welfare to map out plans for a New York a hundred years in the future. Other cities, like Kansas City and Washington, have long endeavored to make the city a thing of beauty as well as the center of the activities of a large population.

Indianapolis right now is working on a city plan scheme under the direction of a city plan commission and hopes soon to have such procedure in operation. Evansville and Elkhart are other Indiana cities who have adopted the city plan idea, while several other of the municipalities in the state have the matter under consideration.

It is to be hoped that all Indiana cities will give heed to future development along these advanced ideas. It is almost too much to expect that much change can be made in the arrangement of streets and buildings in our older cities which lack of planning have rendered so unsightly, but it is certain at least that proper provision can be made for the direction of their future growth, provided steps be taken in time.

SMALL HOUSE SERVICE BUREAU
ESTABLISHED IN INDIANA.

That much discussed topic, the Small House Service Bureau, has at last departed from the realm of theory to become a reality in Indiana. For years quite a few Indiana Architects have advocated such a bureau for this section of the country, same to be in accordance with the idea as promulgated by the American Institute of Architects.

With the aim of encouraging home building, and especially the prospective home builder with small means, the Small House Service Bureau was established with the approval of the A. I. A., and later the endorsement of the U. S. Department of Commerce. The bureau's work is nation-wide. The country has been divided into thirteen divisions for purposes of administration with headquarters at Minneapolis. The new bureau which was organized and established with headquarters at Indianapolis the past week will cover a territory to be known as the Lakes Division and will include Indiana, Ohio, Kentucky and Tennessee.

Architect Herbert Foltz, president of the new bureau said, "Because it offers at a nominal cost all plans and specifications, estimates, landscape drawings and a general building program, the service is expected to fill a long-felt need in not only Indiana, but the other territory included in the Lakes Division. The systematic methods made possible by the co-operative efforts of the architects makes the service economical and practicable.

"With simplicity and economy as the aim, stimulation of home ownership among persons of small means can not but be the result.

"In addition to the plan service, there will be a home-builders clinic offering help and suggestions to the prospective home builder. The services of local architects always will be recommended to handle the problems of supervision and the letting of contracts. Advice will be given regarding the best methods of interior decorating, beautifying the grounds by landscaping ways and means of financing and many other questions which usually confront the home builder."

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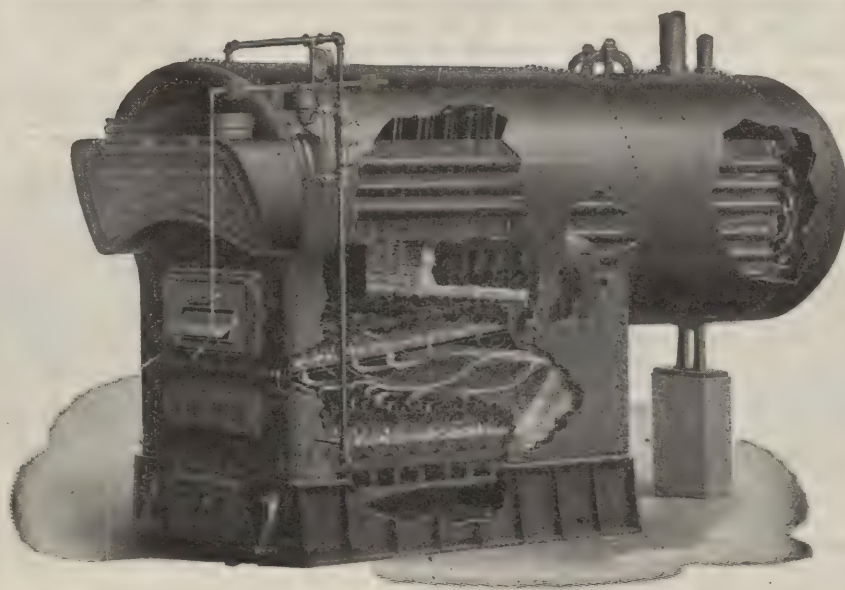
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ORGANIZATION AND CURRENT NEWS

EVANSVILLE

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GAIN HERE FOR A LOSS THERE.

The activity was there but the money involved fell away. That is to say, that in Evansville in September there were more permits issued than in September a year ago, but the estimated valuation of the volume of work did not total up to the figures for the corresponding period a year ago.

Comparative building figures, according to the records of city building inspector Ed Kerth, show this:

Month	Per	Est. Val.
Sept., 1922	120	\$111,704
Sept., 1921	111	116,730

UNFAVORABLE CONDITIONS MAKE THEMSELVES FELT.

A rather general depression seems to have gripped the local building situation for the present, due to several reasons, though labor and material costs are the particular drawbacks. However, another contributing cause that is telling has made its appearance in the freight embargoes that are prevailing, holding up building material shipments and causing delays in construction operations.

Local building men are expecting a renewed boom though if the above difficulties are overcome, or fairly reasonable conditions can be effected.

CHEERING NEWS.

Things may be a little off color but F. O. Weber, Evansville, manager of the International Steel and Iron Co., who has returned home from the East is spreading this sort of optimism:

"The outlook of the steel industry is exceptionally bright. I feel sure that in a few weeks all will be well. Much difficulty has been experienced by the shortage of cars due to the railroad strike and the attendant embargoes, but with the clearing up of these difficulties, the steel industry is entering upon a big boom."

This Evansville company has numerous structural steel contracts for buildings all around the country, so it goes almost without saying, Evansville is getting a share of the big building volume that lies beyond her horizon.

CHIPS AND SHAVINGS.

General contractors Anderson and Veatch are rapidly bringing to completion many new homes upon which they have had their organization actively engaged this season. Since home building has been an outstanding feature of the local building activity this year Anderson and Veatch have been unusually busy.

Home building in Evansville in 1922 surely put the local lumber market to the test. Also the brick consumption has been quite heavy.

Mike Elpers, the well-known general contractor, has finished a new flat building for Wm. Habbe at Adams and Governor streets.

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Eph Dailey.....Secretary
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NEW BUILDING RECORD AGAIN ESTABLISHED AT FT. WAYNE.

Early fall brought no diminution to the great building activity that has been sweeping over Ft. Wayne this season. Contrary to all precedent the late summer and early fall building operations have shown steady improvement and the volume of building construction business transacted far exceeds that of the spring and opening summer months. September operations with an estimated total valuation of close to \$2,000,000 set a mark that broke all city records, being the highest monthly total ever recorded in Ft. Wayne. Just previous to the past month's performance, August, 1922, set the high monthly total for the city. Up to that time November, 1921, with a total of \$1,178,760 had stood forth as the premier building period of the city's history.

Many permits were issued in September for new homes, though the total did not quite reach the number started in August, when 94 such permits were granted. The estimated valuation of the new residences licensed in September ran close to \$350,000.

The remarkable total recorded for the month just past was helped to its unprecedented heights by six big permits. One for \$105,000 for the Zion's Lutheran school hall; \$900,000 for the new First National Bank building; \$25,000 for a new Forest Park residence; \$30,000 for

a new General Electric tank shop; \$135,000 for the Cooper building, and \$125,000 for the addition to the South Wayne school.

PROPOSE TO ERECT LARGE RECREATIONAL BUILDING FOR EMPLOYEES.

An announcement made in Ft. Wayne a few days ago carried interest not only in that it foretells the construction of a large recreational building for industrial workers, but it demonstrates the interest that big concerns are taking in the health and recreational welfare of employees.

The General Electric Co. has under consideration the proposition to erect a recreational structure for the employees. The proposed project is to be located adjacent to the local factory opposite McCulloch Park. The executives of the company have shown a great interest in the proposition. It is stated that the idea is an entirely new venture and that there is nothing of the sort anywhere in the United States in industrial circles—solely operated and controlled by employees for the benefit of men and women in the shop and office.

The proposed building is to be constructed with a basement providing room for a large swimming pool, accompanying lockers, six bowling alleys and rifle range. Horseshoe courts will also be a part of the rifle range—conversion from one to the other being an easy matter.

An ample gymnasium will occupy most of the first or ground floor.

A running track to be the largest in the city will be constructed and seats arranged so that more than 2,500 spectators will be able to witness athletic contests while seated in comfort. A stage will be built for amateur theatricals, band concerts and other forms of entertainment. A silver screen will be a feature and the weekly moving picture shows will be held in the building upon completion. Handball courts and other facilities for indoor games will be a part of the gymnasium. Billiard tables will be installed in another room.

A girls' entrance to the building will open on Swinney avenue. The girls' department will be an exact duplicate of the men's section in physical culture fittings, and in addition a lounging room and reading room will be provided.

DIMENSION STUFF.

The Indiana Engineering Co., general contractors, are pushing the construction of the new \$150,000 Cooper Building on W. Wayne St. For the present the structure will be but three stories high though provision has been made to carry seven additional stories if desired in the future.

Remember

ou can substantially reduce the cost of your compensation and liability insurance by insuring in the BUILDERS & MANUFACTURERS MUTUAL CASUALTY CO. (a strong company, organized and economically managed by contractors, and devoted exclusively to rendering a particular service and reducing the cost of insurance in building construction.)

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Building Contractor's Association
Member State A. B. C.

F. W. Junglaus.....President
C. C. Pierson.....Secretary
320 Peoples Bank Building

MEETINGS.

Executive Committee meets second Tuesday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

Mason Contractors Association meets every Thursday—1 P. M.

General Contractors meet second Friday each month.

PLANS ON FILE.

At 320 Peoples Bank Building, Indianapolis.

None this week.

WAIVER OF LIEN.

Kirk, Tressie O., as owner, and McClure & Stanley as contractors, to remodel house located 2530 N. Station St., for \$4,900.

AT LEAST BETTER THAN A YEAR AGO.

Business at the Indianapolis building inspector's office, during the month of September, though showing an increase over the corresponding period last year, was not quite up to the standard set by several of the summer months. However, for fall building, totals both in permits and the estimated valuation were not bad. September only ran \$145,985 behind that of August.

The figures for this and last year were:

Sept., 1922.....	1163	\$1,928,956
Sept., 1921.....	1010	1,456,725
Gain, Sept., 1922....	153	\$ 472,231

CONTRACT FOR FINE RESIDENCE FEATURE OF WEEK'S BUSINESS.

New building developments in Indianapolis the past week were quiet, few new projects appearing for bids, while the awarding of contracts was unusually slack. The outstanding award of the week was made to the Wm. P. Junglaus Co., who signed up to build a new \$70,000 home for J. H. Aufderheide out beyond 56th street on the north side.

BIG PROJECT FOR NEXT YEAR SCHEDULED BY THE ELKS.

Among the announcements concerning future building operations for Indianapolis that the past week brought forth was one that fortells of another large project for North Meridian street, out in the vicinity of St. Clair street. It seems that the new building wave is destined to sweep right on out Meridian street,

and make the old aristocratic thoroughfare the site for many fine and pretentious new structures.

Right now there are quite a few large buildings in the course of construction along Meridian street, the most elaborate of which is the new million dollar home of the Indianapolis Athletic Club.

Now come the Elks, who are making preparation to erect a \$750,000 club house, plans for which are in progress. This project has been under contemplation for some time and indications now point to active construction operations on this project early next spring.

ANOTHER GOOD SIZED ONE IN PROSPECT FOR 1923.

While the year of 1922 has been a most successful one for Indianapolis building construction interests and some men have expressed the opinion that next year may not develop such a grand total volume of business it seems a little early to venture such an expression in view of indications at this time. The air seems to be full of new building contemplations carrying a wealth of promise for next year.

A most recent development has it that the Indianapolis Hebrew Congregation at 10th and Delaware streets, has found the present temple of worship inadequate to its needs, and has in mind the construction of a new \$350,000 temple farther out north, the exact site not having been definitely decided.

It is hoped to get preliminaries worked out during the winter so that actual construction can be gotten under way in 1923. Not a bad sum in prospect for addition to next year's building volume.

WOULD BUILD CO-OPERATIVE MARKET HOUSE.

Add to the other contemplated projects for Indianapolis the sum of \$200,000 and you will find a neat total promised for future building in the Hoosier Capital City. Not only that, but the project if carried through would have a mission.

The above refers to a new market house to be erected by a co-operative growers' association or company. The project has gone so far that plans are now being prepared with a promise for spring maturity.

MAY STILL BE FIGURED THIS YEAR

There is just the prospect that before the year closes another large bank and office building for Indianapolis will go out to the contractors for figures.

The project in question is the new half million dollar structure for the Meyer-Kiser Bank, to be seven stories high, plans for which are now being completed by Architects Vonnegut, Bohn & Mueller.

WORTH STRIVING FOR.

Another move has been made that bears promise for next season's building campaign. While nothing tangible has been decided upon, the Grand Lodge, Knights of Pythias, has been considering a proposition to erect a \$300,000 home for aged in 1923. The idea of locating this large project in Indianapolis

is being seriously entertained though other Indiana cities are also seeking it.

It would fit in well with Indianapolis' future building program. Let's hope!

NORTHSIDE CHURCH HAS BIG BUILDING PROGRAM UNDER CONSIDERATION.

There is a strong probability that next season will see quite a substantial addition to Indianapolis' north side colony of churches. The neat little frame church of the Mapleton M. E. congregation on Maple Road Boulevard near Illinois street, has grown too small and the congregation is contemplating an extensive building program on the unit system. Though no architect has been selected, it is planned to build an auditorium first with additional units later. It is expected to get this work started in the spring of 1923.

BUILDING PERMITS.

(\$4,500 and Over)

Week of Sept. 28th to October 5th, 1922.

Apartment Building: \$60,000, 2 sty. & bas., 27x252 (24 apts.) and 16-car garage), 222-226 S. Audubon Road. Private plans. Owner, H. A. Barnard, % contractors. General contract let to Robert B. Insley & Co., 705 National City Bank Bldg.

Residence: \$17,000, 3440 Fall Creek Blvd. Owner, Circle City Constr. Co., Fletcher Trust Bldg. Owner builds and buys material.

Residence: \$12,000, 3224 N. Pennsylvania. Owner, Robert C. Winslow, Sec. Realtor Bldg. Co., Lemcke Bldg.

Residence: \$8,900, 3523 Winthrop. Owner, R. L. Pythian, 871 East Drive Woodruff Place; contract to Chas. Cones, 3518 N. Illinois

Residence: \$8,000, 655 N. Rural. Owner, Garrett Kirby, 1138 N. Illinois. Contract to Leonard Jeffers.

Residence: \$8,000, 826 E. 46th St. Owner, Olive A. Day, 220 E. 30th St. Owner builds.

Residence: \$7,500, 4615 Broadway. Owner, Fred W. Jenkins, 4221 Central Ave. Owner builds.

Residence (double), \$7,200, 2825-27 E. Michigan. Owner, Ethel B. Tomlin. Contract let to Ed. Whitaker, 415 N. Gladstone.

Residence: \$6,000, 4603 Carrollton, \$6,000. Owner and builder, Olive A. Day, 220 E. 30th St.

Residence (double), \$6,000, 817-19 N. Beville. Owner, Chas. W. Reynolds, 815 N. Beville. Owner builds.

Residence: \$5,800, 4604 Carrollton. Owner, Olive A. Day, 220 E. 30th St.

Residence: \$5,800, 959 Bradbury. Owner, Carl W. Broeking, 226 N. Randolph.

Residences (2), 5125 E. Michigan St., \$7,000, and 5135 E. Michigan St., \$5,500. Owner, J. T. Smith and Son, at site.

Residence: (double), \$6,800, 914-16 N. Oakland. Owner, Harold W. Ross, at site.

Residence: \$5,100, 5436 Hibben. Owner, O. C. Boyd, Lombard Bldg. Owner builds.

Residence: \$5,000, 549 E. 42nd St. Owner, O. P. McMahan, 3920 Winthrop.

Residence: \$4,500, 4929 N. Capitol. Owner, John K. Ridlen, 525 Holly Ave.

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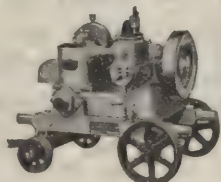
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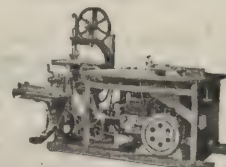
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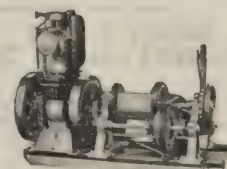
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EAST CHICAGO WHITING
 Building Trades Employers'
 Association.
 Member State A. B. C.'s

J. Wesley Reed ----- President
 E. E. Cole ----- Secretary

108 Citizens National Bank Bldg.,
 Hammond, Indiana

MEETING NIGHTS

General meeting every third Tuesday evening.
 General contractors meet second and fourth
 Monday evening.
 Master plumbers every Thursday evening.

BUSINESS CONTINUED GOOD.

September building in Hammond was not bad. The business transacted by the city building inspector's office the past month ran considerably ahead of that for the same period a year ago. There were 74 building permits issued in September, 1922, as against 45 for September, 1921; the estimated valuation of the projects for which permits were granted in September, 1922 and September, 1921, amounted to \$154,200 and \$108,750 respectively. In September, 1922, the permits covered these classes of work: 33 dwellings, 8 business buildings, and 33 miscellaneous kinds of construction.

JUST SO THEY ARE NOT AS ANNOYING.

Hammond citizens were treated to a little diversion last week. The Ku Klux Klan put on an open meeting at Harrison Park at which a Doctor Brown of Georgia, put across some oratorical broadsides and gave the big crowd something to think about. As one fellow remarked the other day, "Klan members in this district are getting to be more numerous than 'skeeters' on the Kankakee."

MORE LUCK TO HIM.

The constant dropping water wears away the hardest stone,
 The constant gnawing towser masticates the toughest bone,
 The constant burning spark makes the powder fuse to fizzle,
 The constant working Secretary, is the one who gets the "biz."

MOST OF THEM ARE AWAKE.

Anyway, the evident need is being continually expressed.

Contractors' magazines and bulletins from all over the country continue to dwell on the necessity for concerted action on the part of builders to provide a way and means for the creation of more trained and skilled building trades mechanics to meet the ever growing demand.

The question is, what are the contractors willing to do along this line? Will they protect their interests or just go along in the present lackadaisical way and trust to "getting by?"

NOT SO BAD AFTER ALL.

Trouble? We may have some of it over here in the U. S. A., and our difficulties at times may loom large, what with strikes, unrest, commercial worries etc., but when you are down in the depths, just give a thought to Johnny Bull, that English cousin across the water. He and his ilk seem to have their hands pretty full; there were strikes to assail him, unemployment also on a wholesale scale, war in Ireland, and now comes the bloody Turk to stir up trouble around the Dardenelles.

Think it over! Then give thanks that you are in the good old U. S. A. It is a good time to be thankful that we have not a lot of foreign entanglements, for, if we had, Uncle Sam might prove to be a handy man to furnish the sinews of war in the way of money and men in this ticklish situation that has arisen in the Near East.

CALUMET BUILDING PROGRESS.

The rumor persists that the Edison Electric Co. will soon start work on one of the largest electrical power plants in the country, same to be located on the site recently purchased at Indiana Blvd., and 106th St., just across from South Chicago on the Indiana side of the State line.

So great is the demand for more accommodations to care for the increased school enrollment that the Board of Education has been forced to build two temporary buildings, one in Robertsdale in the fourth ward, and the other in Kenwood on the South Side. These it is hoped will take care of the situation until permanent buildings can be erected.

Rowley Bros., general contractors, have completed the West Hammond Community Building and turned it over to the Park Board.

Having completed the first unit of its new plant the New York Car Wheel Co. has started operations. This company expects to erect additional buildings next spring.

The Bates Expanded Steel Truss Co., East Chicago, has started the erection of the first unit of its new plant estimated to cost \$300,000 when entirely completed.

E. E. COLE.

MUNCIE

Associated Building Contractors
 Member State A. B. C.

Chas. Rowe ----- President
 J. A. Gallivan ----- Secretary

314 Main Street

ATTEMPT AT WAGE SCALE TILT FRUSTRATED.

The assault on the brick-layers scale at Muncie was repulsed and it was held steady at \$1.25 after a spirited brush. Everything was riding along smoothly,

everybody seemed to be satisfied, and construction work was making nice progress toward completion.

Came two large projects, schools, that would involve the expenditure of several hundreds of thousands of dollars. Bidding was keen and when awards were made the contracts went to builders from distant cities. Following events betokened a board of strategy meeting with the throwing out of reconnoitering lines.

Preparations for active construction operations went right along and then the excavating was begun to be followed by the pouring of the concrete foundations.

Next in order was the rearing of the brick walls. Brick-layers were needed and the word went out resulting in an influx of applicants. These latter would be glad to go to work; then came the hitch, the men wanted \$1.35 per hour. It had been understood that the brick-layers scale was \$1.25, but the men announced that the local contractors had been paying \$1.35. The matter was taken up with the local association and an investigation showed that nobody had been paying an hourly wage in excess of the established scale. The local association members were a unit in their assertion. The die was cast, the outside contractors, also contractors' association members, announced that they would pay only \$1.25 per hour, and after some hesitation their terms were accepted and the brick-layers went to work at the regular scale.

Another evidence of what association means when members stand and work together. There was no attempt on the part of the contractors to beat down or lower the mechanics' wage, rather, they had figured their brick-work labor on the basis of the announced local scale and simply sought to maintain it and protect themselves for which they could not be condemned.

JUST ABOUT WOUND UP.

Except for the two big school projects now in course of construction, and the finishing touches that are being put on several buildings started early in the summer, local building operations have about run their course for this year. While there are several nice sized projects contemplated, plans for which have been prepared, the probability is that they will not be put out for bids before the first of the year or early spring. Practically all new residence building for this season has been completed and no new work of this nature is expected before next year's building campaign.

TWO-BY-FOURS.

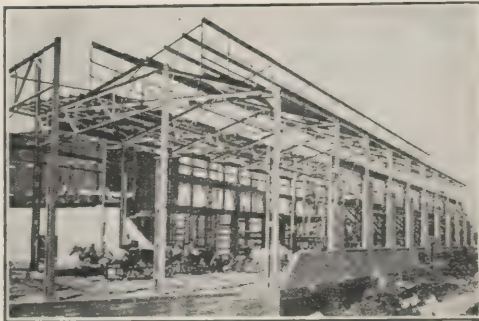
General contractors, Glaser and Snyder, will be through soon over at the new Elks Clubhouse which is most attractive and quite an ornamental addition to the city's architectural display.

The congregation of the Jewish Synagogue expects to be in its new home shortly. Contractor Lee Glass has put this project right across and will be ready soon to turn over the keys to the owners.

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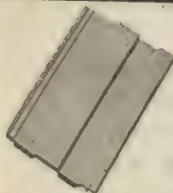


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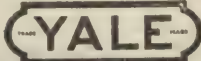
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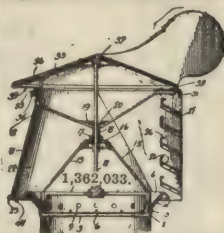
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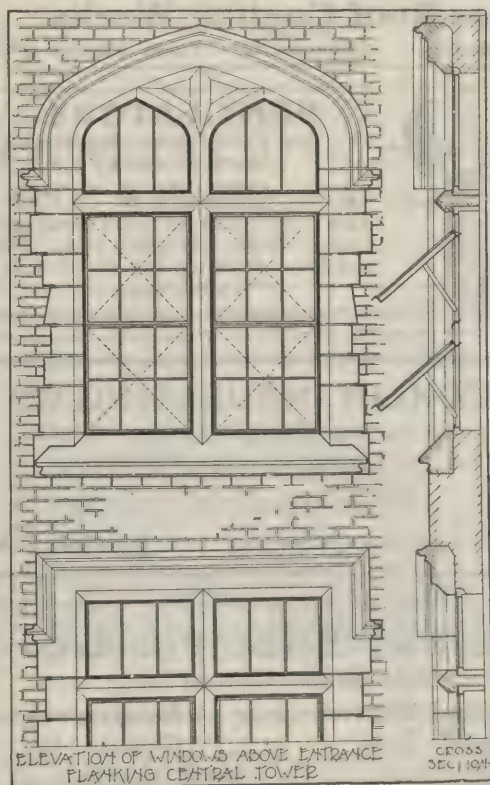
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INDIANA CONSTRUCTION RECORDER

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ENGINEER

Devoted to the
Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

Vol. IV

INDIANAPOLIS, INDIANA, OCTOBER 14, 1922

No. 28

INDIANA CONSTRUCTION RECORDER
Published Every Saturday

DONALD CAMPBELL Publisher
LEIGH FELTON News Manager
JOHN H. OWENS Field Manager

312 E. Market Street,
Indianapolis, Ind.

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the Act of March 3, 1879.

INDIANA BUILDING IN 1922 FAR AHEAD OF LAST YEAR.

September building totals from the Indiana cities where a record is kept of the building construction activities day in and day out made a fine aggregate total to add to the figures for the preceding months of the year, making a record for the first nine months of 1922, that far outdistances the entire 1921 building performance. In 1921 the entire building total from Indiana's eight leading cities amounted to \$35,988,551, while the first nine months of 1922 has turned in a figure of \$40,367,558, an excess of \$4,379,007 or a gain of 12.16% for the nine months over the entire year of 1921. As against the building operations for the first nine months of 1921, the building recorded during the corresponding period in 1922 shows a gain of \$13,476,320 or 50.11%.

The figures for each individual month for 1922 and 1921 are to be found below:

	1922	1921
January	\$1,298,386	\$1,448,381
February	1,720,100	1,292,769
March	3,730,713	4,345,330
April	5,436,701	3,174,438
May	6,225,153	3,475,147
June	4,875,537	3,543,388
July	6,018,669	2,993,311
August	5,616,260	3,756,046
September	5,446,039	2,862,428
Total	\$40,367,558	\$26,891,238

JUST GIVE HIM A CHANCE.

A contractor out in Iowa has taken a contract to move a whole town of over 300 buildings out of the river bottoms back a mile and a half into the hills for safety. It will take him two years. Then there comes the announcement that Frank A. Munsey will have an 87-story building constructed in New York City.

Another contractor is engaged in so-journing in South America, and, meanwhile, he is removing a mountain out of Rio de Janeiro. Give an American contractor free rein and he'll put the world itself on the map—or else change the map.—A. G. C. Weekly Letter.

COUNTS MOST.

The greatest asset of any organiza-

TREND OF SUPPLY OF BUILDING TRADES MECHANICS SHOWN BY GOVERNMENT FIGURES.

Since there is such a country wide agitation among builders for the establishment of building trades mechanics schools that more apprentices may be inducted into the industry, making for skilled mechanics to meet the demand of the future, a report of the Department of Commerce relating to the building trades proves interesting in that it shows the decreases and increases in the various trades in 1920 as compared with 1910.

A comparison of the figures of 1920 with those of 1910 gives a fair idea as to which of the building trades are the most popular—if the increase of the

	1910	1920		
Brick and Stone Masons	169,402	131,264	Decrease	38,138
Carpenters	817,120	887,379	Increase	70,259
Electricians	120,241	212,964	Increase	92,723
Painters, Glaziers and Varnishers	273,441	248,497	Decrease	24,944
Paper Hangers	25,577	18,746	Decrease	6,831
Plasterers	47,682	45,876	Decrease	1,806
Cement Finishers	—	7,621	Increase	7,621
Plumbers and Pipe fitters	148,304	206,718	Increase	58,414
Roofers and Slaters	14,078	11,378	Decrease	2,700
Stone Cutters	35,731	22,099	Decrease	13,632
Structural Iron Workers	11,427	18,836	Increase	7,409
Tinsmiths and Coppersmiths	59,833	74,968	Increase	15,135
Tinsmiths and Sheetmetal Wkrs.	56,423	68,735	Increase	12,312
Coppersmiths	3,410	5,233	Increase	1,823

The increase in cement finishers is wholly due to the fact that this was not formerly classified as a trade and the 1910 census included this class of workmen among the brick and stone masons although most of them might have been found in the ranks of common labor.

The foregoing would rather seem to indicate the carpenter, electrical and metal trades were greatly preferred by those taking up a building trade for a livelihood but here again we are reminded of the fact that steel and concrete have taken the place of much brick and woodwork.

There are probably many other reasons, all of which had their share in bringing about the change and the one most to be regretted is the growing

tion is the loyalty of its members, men who are willing to sacrifice a little once in a while for principle and men who are willing to dig and come to the front to back up a principle. Paying dues promptly, jumping in, helping occasionally and giving a word of encouragement to those who are burdened with the responsibilities and success of the organization are features that put vitality and "punch" into any association.

number of men in certain trades is any index of their popularity. As for example the number of brick and stone masons in this country shows a decrease in the decade of 1910 to 20 of 38,138 while the number of carpenters in this same period, shows an increase of 70,259.

The former can probably be laid largely to a falling off in the number of stone masons due to use of concrete and the latter may doubtless be, at least in part, ascribed to the same cause as the wood forming, needed for concrete work, has created an army of men who are classified as carpenters regardless of their lack of ability to do real carpenter and joiner work.

The changes in some other trades are not so easily accounted for. Scan the following—

dearth of apprentices in practically all the important trades necessary in building construction.

Further interesting facts brought out by further detailed information contained in the government report relate to the number of women working in some of the building trades. The report discloses that there were in 1920, in this country, seven women working as bricklayers, one hundred and seventy-one as carpenters, nineteen as electricians, one hundred and three as painters, four hundred and eight as paper hangers, six as plasterers, three as plumbers, same number as stone cutters, eleven as coppersmiths and ten as sheetmetal workers.

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News of the Week

The asterisk (*) prefix to an item indicates additional information to report published in previous issue.

INDIANAPOLIS.

*City Hospital (Additions, \$400,000.00. Administration Building, 3 sty. & bas, 136x44, with wing 36x40. Nurse Home, 4 sty. & bas. 197x40, with wing 48x38. "City Hospital Grounds" Locke and Margaret Sts. Archt. Adolph Scherrer, 415 Indiana Trust Building. Owner, Board of Health and Charities, Dr. E. E. Hodgkin, Prest. Dr. Goethe Link, V. P., City Hall, Bids were opened October 11th. Low bidders as follows: low bidder on general contract, Cornell Engineering Co., 2611 Cornell Ave. Bid \$320,000.00; low bidder on heating and ventilating, Callon Bros., 24 South Alabama St., bid, \$31,000.00; low bidder on plumbing, Roland M. Cotton Co., 1720 East 10th St., bid \$27,222.00; low bidder on electric wiring, Hatfield Electric Co., Meridian & Maryland Sts. bid, \$9,200.00; low bidder on elevators, Home Elevator Co., Southeastern Ave., bid, \$10,268.00. Bids ran below estimate; will award contracts within the next few days. Brick, reinf. concrete floor and roof construction.

*Apartment Building (16 apts.) 2sty. & bas. "L" shape, 120x213. Maple Road Boulevard & No. New Jersey St. Archt. George and Mac Lucas, 1153 Lemcke Annex. Owner, H. L. Moody, % Architect. Plans nearing completion. Archt. ready for bids in 2 weeks. Brick veneer over frame, comp. roof, incinerators, steam heating system, terra cotta trim, tile and marble work.

*Masonic Temple: 2 sty. & bas. 45x100. Roosevelt Ave. and Adams St. Archt., Donald Graham, 1128 Hume Mansur Bldg. Owner, Veritas Lodge No. 608. F. and A. M., W. E. Reno, Chmn. Bldg. Comm., 3420 Roosevelt Ave. Low bidder on general contract, Leslie Colvin, 4140 Ruckle St., \$59,733.00. Low bidder on heating, Freyn Bros., 31 West Michigan, \$5,539.00. Low bidder on plumbing, The Roland M. Cotton Co., 1726 East 10th St., \$2,087.00. Electric wiring bids were rejected. Archt. and owners have meeting Monday night and will probably award contracts to the low bidders.

*Fraternity House: \$30,000, Franklin, Indiana. Archt., Donald Graham, 1128 Hume Mansur Bldg., Indianapolis. Owner, Phi Delta Theta Fraternity, E. L. Branigan, Chmn. Bldg. Comm., Franklin, Indiana. Plans nearing completion. Ready for bids about November 1st. Brick, asbestos roof, modulating system of heating.

*Church (Colored) \$30,000. Martindale Ave. Archt., W. H. Garns, 818 Fletcher Trust Bldg. Owner, Scott Chapel Methodist Episcopal Church (Colored), Rev. Reid Roberts, Pastor, 2131 Martindale Ave. Plans nearing completion. Ready for bids about November 1st. Brick, stone trim, hollow tile, asbestos roof, steam heat. Will contain gymnasium, auditorium, S. S. depts. kitchen.

Double Residences (4) 2 sty. & bas., Connersville, Indiana. Archt., W. R. Garns, 818 Fletcher Trust Bldg., Indianapolis. Owner, Charles Melborn, Connersville. Plans in progress. Frame, asphalt shingle roof, furnaces.

*Bank (rem. from Hotel Lobby) and store room), "St. Dennis Hotel," Columbus, Ind. Archt., McGuire and Shook, 320 Indiana Pythian Bldg., Indianapolis. Owner, Union Trust Co., Columbus, Ind. Plans nearing completion, ready for bids shortly. Work will consist of reinf. conc. vault, vault doors, tile and marble work, stone trim, new bank fixtures, decorating, electric wiring and general interior alterations.

*Church: \$20,000, Frankfort, Ind. Archt., Bass, Knowlton and Co., 312 N. Meridian St., Indianapolis. Owner, First Church of Christ Scientist, Frankfort, Ind. All bids rejected. Inabeyance until Spring. Brick veneer.

Garage & Salesroom (addition), 1 sty. 50x150, 443 Virginia Ave. Archt., Robert Frost Daggett, 959-62 Lemcke Annex. Owner, Wangelin-Sharp Co. (Ford Dealers), 443 Virginia Ave. Plans about completed, ready for bids shortly. Brick, comp. roof, extension to present steam heating system.

Residence: \$7,000. 2 sty. & bas., Carrollton and North View. Archt., John P. Parrish, 217 Castle Hall Bldg. Owner, Harry J. Meyers, % Goodyear Tire and Rubber Co. Bids in; will award contracts in a few days. Frame, asphalt shingle roof, furnace.

Warehouse & Factory: 3 sty., about 30x120, South New Jersey St., near Virginia Ave. Archt. not selected. Owner, F. H. Langenskamp (Coppersmith and Brass Finisher), 130 E. Georgia St. Contemplated, mature next year.

Contracts Awarded.

Residence (Rem. & General Alterations) 2605 Parkway Blvd. Archt., Myers and Coffin, 412 Penway Bldg. Owner, Roy Ross, % Barnes-Ross Co., 19 No. Alabama St. General contract let to Edmund Evans, 306 So. New Jersey St.

CONNERSVILLE.

School: 2 sty. & bas. 80x59. Shelby Township, Ripley County, Ind. Archt., H. M. Griffin, McFarlan Bldg., Connersville. Owner, William A. Green, Trustee, Versailles, Indiana, R. F. D. No. 2. Plans completed. Owner will advertise for bids soon. Brick, hollow tile, limestone trim, private water system, built-up-roof, fire-escape. Will contain manual training and domestic science depts. and 6 class rooms.

ELKHART.

*Apartment Hotel: \$1,500,000 (1,166 rooms), 9 sty. and bas., 225x225, Wilmette, Ill., Kenelworth Line, Cook County, Ill. Archt., R. L. Simmons, Beardsley Block, Elkhart, Ind. Owner, Beach Manor Apartment Hotel Co., 1101 Security Bldg., 189 W. Madison St., Chicago, Ill. Bids are being received by the owner to close not later than 10:00 A. M., October 24th, at the Chicago office of the owner, the work will cover estimating piles, footings, foundation work, steel work, masonry work, roofing, heating, plumbing, electric wiring, boilers, elevators, decorating.

*School ("Beardsley Elementary School"). Archt., A. H. Elwood and Son, Beardsley Bldg. Owner, Board of Education. General contractor, Grant Rushnell, Steel let to Elkhart Bridge Co., Stone to Patterson Stone Co., mill work to Winev Bros., all of Elkhart. On brick work first story.

*High School: \$200,000, Goshen, Ind. Archt., A. H. Elwood and Son, Elkhart. Owner, Board of Education, Goshen. General contractor, H. and B. Constr. Co., Elkhart, mill work, Winey Bros., Elkhart. Pouring first floor.

EVANSVILLE.

Y. W. C. A. Building: \$200,000. Owner, Young Women's Christian Assn., Miss Christine Groh, general Secy.; Mrs. J. L. Igleheart, Chmn. Selection of a



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site will be made within the next few months.

Factory (addition), Mirror Plant: \$15,000, 1 sty., 44x160. Private plans. Owner, Globe-Bosse-World Furniture Co. Plans nearing completion. Owner ready for bids in a few days. Brick, mill construction, steel sash.

Factory (addition), \$15,000, 1 sty., 50 x80, Fulton Ave. and Belt R. R. Private plans. Owner, Evansville Enameling Co., Fulton Ave. and Belt R. R. Plans nearing completion. Owner will be ready to receive bids in a few days. Brick, mill construction, steel sash, saw tooth roof construction.

Residences (42), "Colonial Type," 2 sty. and bas., Bellemeade Ave., near Bosse High School. Archt., Anderson and Stingle, 108 Upper 4th St. Owner, Home Builders Co., Inc., J. O. Vaught, Pres.; E. L. Vaught, V.-P.; Norman Gatch, Secy.; Harry N. Robinson, Treas.; Walton M. Wheeler, Councillor, all of Evansville. Preliminary plans in progress. Stucco, white and ivory enamel in-

terior trim, mahogany doors, stucco on Herringbone Metal lath.

Residence: \$6,000, Ky. and Monroe Aves. 2 sty. and bas. Archt., Alfred E. Neucks, 515-16 Peoples Bank Bldg. Owner, Walter Daudistel. Plans in progress. Brick veneer over tile. (5 rooms and both.)

Residence: \$6,000. Archt., Harry E. Boyle & Co., Furniture Bldg. Owner, Emile Simonel, Forest Hills. Plans in progress. Frame. (5 rooms and both.)

Contracts Awarded.

***Residence:** \$14,000, 1 sty. and bas., 52x45. Archt., Alfred E. Neucks, 515-16 Peoples Bank Bldg. Owner, L. J. Hubert, 612 First Ave. General contract let to Mike Elpers, 707 Evans Ave.; heating and plumbing let to S. A. Schmitt Co.; electric work let to Chas. Meiderich, all of Evansville. Brick and hollow tile.

***Duplex** (rem. from Residence). Archt., Harry E. Boyle and Co., Furniture Bldg. Owner, Mrs. Lillie Waller

House, 915 South 1st St. General contract let to Samuel Johnson.

Residence (9 rooms), 1 sty. and bas. Owner, Frank Wilder, 316 Bray Ave. General contract let to Samuel Johnson.

Bungalow: \$4,000, Fulton Ave. Archt., Frank J. Schlotter, 113½ Upper 4th. General contract let to Fred Zeidler.

Stores: \$7,000, 1 sty., Covert and Brad-

Stores: \$7,000, 1 sty., Covert and Bedford. Owner, W. J. Cline. General contract let to Kessler and Riebenhaller.

FCRT WAYNE.

***Hotel and Theatre:** \$1,250,000, 821 Calhoun St., 8 sty. and bas., 142x180. Archt., J. E. O. Pridmore, 38 S. Dearborn St., Chicago, Ill. Owner, Consolidated Realty & Theatre Co., F. H. Gruneberg, Pres.; A. F. Brentlinger, V.-P.; R. L. Martin, Secy. Main office, 806 Kahn Bldg., Indianapolis. Ft. Wayne office, 403 Carroll Bldg., Ft. Wayne. Revised

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plans completed. Owner expects to be ready for new bids about December 1st. Brick, reinf. conc. and steel.

***Bank Bldg:** Angola, Ind. Archt., Chas. R. Weatherhogg, Citizens Bank Bldg., Ft. Wayne. Owner, First National Bank, Angola, Ind. Plans in progress, mature about March 1st. Brick and Bedford stone.

***School Building:** \$90,000. Pipe Creek Township, Miami County, Ind. Archt., Griffith and Goodrich, 211 East Berry St., Ft. Wayne. Owner, Jesse Mumaugh, trustee, Court House, Peru, Ind. May mature early spring, depends on the election of new trustee in November.

***Bank and Apartments (rem.):** \$25,000, Ligonier, Ind. Archt., A. M. Strauss, 705 Shoaff Bldg., Ft. Wayne. Owner, Citizens Bank, Ligonier, Ind. Taking bids. Brick.

***Residence:** \$10,000. Owner, Mr. and Mrs. F. R. McKay. Purchased site at the S. W. corner of Indiana Ave. and Rudisill Blvd. and will erect a residence in the spring.

Lumber Plant: Taylor St. Owner, St. Mary's Lumber Co., L. E. Tagmeyer, Pres. Will build a new plant on a four acre tract of ground just purchased on Taylor St. opposite the Van Arman Mfg. Company.

Contracts Awarded.

***Hotel:** \$1,000,000, "Keenan Hotel." Archt., Chas. R. Weatherhogg, 250 W. Wayne St., Ft. Wayne. Owner, The Keenan Hotel Co., James Keenan, Mgr., % Hotel Anthony, Ft. Wayne. General contract awarded to Fleisher Construction Co., 606 Builders Exchange Bldg., Minneapolis, Minn. Brick, reinf. concrete and steel, frpf. construction.

***Residence:** \$30,000, 2 sty. and bas., Beechwood Circle. Archt., Pohlmeier and Pohlmeier, 303 Central Bldg. Owner, W. T. Shephard, %Lincoln Life Insurance Co. General contract let to Fred Rump, 2411 South Wayne Ave. (9 rms., 2 baths.)

***Salesroom and Garage:** \$80,000, 3501 Calhoun St., 2 sty. and bas., 90x150. Archt., Pohlmeier and Pohlmeier, 303 Central Bldg. Owner name withheld. Contract let to J. F. Gumpfer and Sons, 614 Home Ave. Excavated. Brick, steel and concrete.

***Residence and Garage:** \$40,000, 2 sty. and bas., 43x42, Rudisill Blvd and Beaver Ave. Archt., A. M. Strauss, 705 Shoaff Bldg. Owner, W. K. Noble, 902 Hayden St. General contractor, Oscar Springer, Ft. Wayne. Excavating. Brick veneer.

BUILDING PERMITS.

Residence: \$9,150, 2512 West Drive. Owner, Gustave Lindeman, 1428 Summitt St.

Residence (rem.): \$5,000, 3209 Allen. Owner, John Notestein, Allen St., R. R. No. 9.

Residence: \$7,000, 4004 Indiana St. Owner, Fred Greek, 1121 Packard Ave. day work.

Residence: \$5,000, 429 French St. Owner, J. Quinn, 227 West Wildwood Ave.

Residence: \$6,000, 1710 Alabama St. Owner, Aug. H. Emerick, 919 Packard Ave.

Residence: \$5,000, 220 E. Lexington. Owner, Louis F. Mesing, 2817 Hanna St.

Residence: \$8,300, 208 E. Suttentfield. Owner, W. J. Cunningham, 206 E. Suttentfield.

Apartment: \$10,000. 1751 Lindley. Owner, N. C. Offet, 201 Central Bldg. Brick.

Residence: \$5,000, 220 E. Wildwood. Owner, W. O. Morningstar, 454 Eckart St.

Residence: \$11,000, 1602 Alabama St. Owner, Geo. Fronmiller, 1723 Courtland St.

GARY.

Theatre Stores: Offices and dance hall: \$500,000, 2 sty. and bas., 125x225, 7th Ave. and Broadway. Owner, V. U. Young, 451 Jefferson St., Gary. Private plans. Plans in progress, mature about March 1st. Brick, reinf. conc. and steel. Steam heating, washed air system, pipe organ, comp. roof, tile and marble work, copper-set store front.

***Church (basement),** \$75,000, 1 sty., 180x70, 7th and Taylor Ave., Gary. Archt., Worthmann and Steinbach, 155 N. Clark St., Chicago, Ill. Owner, Holy Angel Parish (Roman Catholic), Rev. Jenson, 700 Tyler Ave., Gary. Plans in progress. Brick walls, terra cotta trim.

Contracts Awarded.

Residence: \$6,000. Owner, John Stewart, 639 Broadway. Contract let to Tut-hill and Cummings, 307 Broadway. Brk. and tile.

Residence: \$7,000. Owner, Pete Yosch, 1873 Connecticut Ave. Contract let to Vincent Chiabai, 4290 Jefferson.

Store: \$5,000. Owner, Harry Englehart, 38th and Broadway. Start work at once.

Residence: \$7,000, 4422 Jefferson. Owner, H. Hilton, 3856 Washington St. Owner builds by day labor.

Residence: \$5,000, 3923 Adams St. Owner, Thomas Kilik, 1809 Delaware St. Contract let to James E. Belch, 625 W. 43rd St.

Residence: \$5,000, 430 W. 43rd St. Owner, F. W. Loucks, 3882 Maryland St.

HAMMOND.

***Stores (12) Offices (25) Hotel (120 rooms) and public garage;** \$300,000, co. State and Hohman Sts., Hammond. Archt., C. Howard Crane, 127 N. Dearborn St., Chicago, Ill. and Detroit, Mich. Owner, The Hammond Hotel Improvement Co., J. P. Berelos, Mgr., Hammond. Plans ready for bids in 2 weeks. Brk., reinf. conc. and steel.

Power Sub Station: \$100,000, Hammond. Archt., H. Van Holst, 72 W. Adams St., Chicago, Ill. Owner, Commonwealth Edison Co., 72 W. Adams St., Chicago, Ill. Preliminary plans in progress. Brick.

Offices (6), Apartments (3) Store and Garage: \$30,000, 3 sty. and bas., 25x60 and 25x90, Douglas and Hohman Sts.

(Continued on Page 11)

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INDIANAPOLIS

Arch't., Mac Turner, 633 Hohman St. Owner, Dr. R. O. Ostrowski, 716 Hohman St. Plans in progress, probably not mature until about March 1st. Brick, terra cotta trim.

Residence (Summer Home), \$20,000, Cedar Lake, Ind. Arch't., Mac Turner, 633 Hohman St., Hammond. Owner, William Ahlborn, Pres. United Construction Co., 109 Webb St., Hammond. Plans in progress. Owner will build and buy materials. Frame, asphalt shingle roof, private water system, private light plant, sewage system.

Store and Apartment Bldg., Whiting, Ind., \$17,000, 2 sty. and bas., 25x100. Arch't., Mac Turner, 633 Hohman St., Hammond. Owner, Abe Winsberg, Whiting, Ind. Arch't. taking bids. Brick, ordinary construction.

Contracts Awarded.

***Pumping Stations:** \$150,000, Columbia Ave. Consulting engineer, John Ericson, 30 N. LaSalle St., Chicago, Ill. Arch't., Mac Turner, 633 Hohman St., Hammond. Owner, City of Hammond, City Hall. General contractor, Ahborn and Bates Construction Co.; heating and plumbing to J. P. Croak; electric work to Standard Electric Co., all of Hammond. Excavating.

Apartment (4 apts.) and store building: \$20,000, 2 sty., 35x90, Indiana Harbor, Ind. Arch't., Mac Turner, 633 Hoh-

man St. Owner, Henry H. Barker, 3409 Michigan Ave., Indiana Harbor. General contract awarded to H. G. Olney, 4028 Parish Ave., Indiana Harbor. Excavating.

***Ice Cream Plant** (Addition), \$22,000. (The large \$100,000 Bldg. is held in abeyance). Owner, Hydrox Ice Cream Co. General contract awarded to Rowley Bros. Constr. Co., Chicago, Ill. and Hammond, Ind.; electric work let to Tri City Electric Co., Hammond.

LOGANSPOUT.

***High School** (5 units), \$250,000, "Franklin Junior High School." Arch't., Allen and Garriott, Masonic Temple Bldg., Logansport, and 401 Lombard Bldg., Indianapolis. Owner, Board of School Trustees, William A. Wright, Pres.; Dr. W. J. Roberts, Secy., Logansport. Plans in progress. Owner expects to advertise for bids about December 1st. Brick, radial brick stack, steel sash, vapor steam unit ventilating system, maple floors, comp. roof. Industrial bldg., 1 sty. and bas., 140x120, gymnasium and auditorium, 2 sty., 80x65. Junior High School Bldg. (alt. and add.) 18 rooms, 2 sty. and bas., 95x50.

***Grade School:** \$50,000. Arch't., Carl Horn, Citizens Loan and Trust Bldg. Owner, Board of School Trustees, William A. Wright, Pres.; Dr. W. J. Roberts, Secy. Plans in progress. Owner will advertise for bids late fall. Brick.

MARION.

School (township), \$60,000, Richland Township, Grant County. Owner, Geo. W. Marks, Trustee, Marion, Ind., R. R. No. 5. Contemplated, mature spring. Brick.

Contracts Awarded.

***Storage Bldg. and Office:** \$20,000. Owner, American Railway Express Co., 11 N. Wabash Ave., Chicago, Ill. General contractor, Bowman Constr. Co.; electric work to Schrantz Electric Co., both of Marion. Foundation in. Brick.

***Administration Bldg.:** \$100,000, 2 sty. and bas., 45x100. Arch't., Hiram Elder, Custer Bldg., Marion. Owner, Marion Fire and Foundry Co., C. C. Chamberlin, Pres., East 4th St. and Big Four R. R. Foundation in, work has been held in abeyance, probably resume work early in spring.

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MILFORD.

*Community Building and Gymnasium: \$25,000, Van Buren Township, Kosciusko Co., Milford. Archt., Griffith and Goodrich, 211 E. Berry St., Ft. Wayne. Owner, Milo Maloy, Trustee, Milford, Ind. Plans about completed. Owner will receive bids the latter part of October. Brick, steel sash, comp. roof, furnace heat.

*Bank Building: \$20,000. Owner, Milford State Bank. General contractor, Ike Miller, Goshen, Ind. Excavated, Brick, stone trim, 1 sty. and bas.

MUNCIE.

*Masonic Temple: \$450,000, 4 sty. and bas., 160x112, Main and Madison Sts. Archt., Cuno Kibele, 355 Johnson Bldg. Owner, Masonic Temple Assn., Eugene Vattet, Chmn., 1004 East Main St. Foundation in. Plans in progress. On superstructure. Mature early spring. Brick, reinf. concrete and steel.

*Sanitarium: \$275,000, Spiceland, Indiana. Archt., Cuno Kibele, 335 Johnson Bldg., Muncie, Ind. Owner, The Spiceland Sanitarium Co., Spiceland, Ind. Sketches prepared, project will develop in spring if finances can be arranged.

*Gymnasium: \$150,000, 2 sty. and bas. (2 gymnasiums and 2 swimming pools). Archt., Cuno Kibele, 335 Johnson Bldg., Muncie. Owner, Indiana State Normal School, Board of Trustees, Muncie, Ind. Plans in progress. Owner will not advertise for bids before spring. Brick, steam heat, steel sash.

*Y. W. C. A. Building: \$200,000, 4 sty. and bas., 108x124. Archt., Cuno Kibele, 335 Johnson Bldg. Owner, Young Women's Christian Assn., Miss T. P. Wilson, Secy., 305 East Adams St. Contemplated. Owners expect to conduct a campaign this winter for finances. Definite data later.

NEW ALBANY.

Residence: \$7,000, 2 sty., 30x34. Owner, N. Stein, 1st and Market Sts. taking bids. Frame, shingle roof, furnace.

Residences (2) \$5,000 each. Owner, Simon Haskell, 218 State St. Plans in progress, mature late winter.

SOUTH BEND.

Union Station: \$1,500,000. The following railroads are contemplating the erection of a new Union Station: Pennsylvania System, Lake Shore Ry., New York Central Lines, Grand Trunk, Nickel Plate and the Erie Ry. Definite data later.

*Masonic Temple: \$750,000, 6 sty. and bas., 132x165, Main and Morris Sts. Archt., Osgood and Osgood, Monument

Square, Grand Rapids, Mich. Struct. Engineer, William H. Adams, 32 Campau Bldg., Detroit, Mich. Owner, Masonic Lodge, South Bend, Ind. Plans in progress. Owners will not be ready for bids until about March 1st. Brick, reinf. concrete and steel, frpf. constr.

*Church: \$75,000, 1 sty. and bas., 65 x92. Archt., Austin and Shambleau, 111 N. Lafayette St. Owner, Sunnyside Presbyterian Church, Rev. M. M. Rodgers, Pastor, 718 E. Colfax St. Revised plans completed. Owner will be ready for new bids soon. Brick, stone trim.

*Automobile Sales Room and Garage: Archt., Ernest W. Young, 512 Dean Bldg. Owner's name withheld for present. Plans in progress. Plans will be ready for bids about January 1st.

*Warehouse: Archt., Austin and Shambleau, 111 N. Lafayette St. Owner, W. C. Sibley, % South Bend Foundry Co., and Forest Hillier, % Hillier Lumber Co. Plans in progress, maturity rather indefinite owing to leases.

*Apartment Building and Stores (4 Apts. and 3 stores). Archt., Freyer-muth and Maurer, 654 Farmers Trust Bldg. Owner, Wesley Van Vailin, 624 Farmers Trust Bldg. Building permit granted, will start work late fall. Brk., 2 sty., 60x100.

TERRE HAUTE.

*Residence and Garage: \$10,000. Archt., Shourds-Stoner & Co., Tribune Bldg. Owner, Dr. W. H. Miller, 312 McKee Bldg. Archt. receiving bids. Brick, stucco.

*Residence: \$20,000, "Allendale," Terre Haute. Archt., Johnson, Miller and Miller, 30 N. 5th St. Owner, M. Trueheart, % Archt. Plans completed. Archt. ready for bids shortly. Stucco on hollow tile.

VINCENNES.

*School: 2 sty. & bas. 54x44. (4 class rooms, assembly hall, manual training, and laboratory) Jefferson township, Owen county, Coal City, Indiana. Archt., J. W. Gaddis, Vincennes, Indiana. Owner, E. F. Bush, Trustee, Coal City, Indiana. R. R. Plans completed. Owner will advertise for bids soon. Brick, concrete and steel, D. I. gravity system of heating, sectional cast iron boiler, limestone trim, hollow tile.

MISCELLANEOUS CITIES.

*Goshen: Bank Building, \$100,000, 2 sty., 45x82. Owner, City National Bank, Goshen. Archt., K. M. Vitzhum & Co., 605 N. Michigan Ave., Chicago, Ill. General contractor, Griffith Constr. Co., 314 S. Oak Park Ave., Oak Park, Ill. Erecting steel.

*Richmond: High School (East Side), 2 sty. and bas., 103x177. Archt., Perkins, Fellows and Hamilton, 813 Tower Court, Chicago, Ill. Owner, Board of Education, Richmond. General con-

tractor, Yeager and Son Constr. Co., Danville, Ill. Brick work, George A. Weaver, Richmond. Foundation in.

Washington: Garage and Salesroom, 1 sty. and bas., 46x121. Owner, Bournholtzer and Son, 15 East Main St. General contract let to Smith and Clements. Brick.

Garrett: Railroad Shops, \$500,000. Owner, The Baltimore and Ohio R. R. Co., Baltimore, Md., are contemplating the erection of shops at Garrett in the spring. Definite data later. Brick.

Vincennes: Gymnasium, \$14,500, 1 sty., 60x1000, St. Francisville, Ill. Archt. L. H. Osterhage and Byron Sutton, Citizens Trust Bldg., Vincennes, Ind. Owner, Board of Education, C. L. Smith, Sec., St. Francisville, Ill. General contract let to W. D. Cook, Lawrenceville, Ill.; heating and plumbing to Buck and Boyd; electric work to Cannon and Fields, both of Vincennes, on foundation. Concrete and brick, vapor heat, comp. roof.

ROAD BIDS WANTED.

Bluffton—November 6, 1922, at two p. m., for the construction of a gravel road in Union township, petitioned for by Ed Robinson et al. Length of improvement, 15,815 feet. Estimated cost, \$11,151.89. F. R. Fishbaugh, Auditor.

Elkhart—November 2, 1922, at 10:30 a. m., for the improvement of county unit highway No. 37 in Elkhart and Harrison twps., 31,700 feet long and estimated to cost \$35,805.20; county unit highway No. 11 in Union twp., 15,883 feet long and estimated to cost \$30,650.01; and township road X in Concord twp., 2,017 feet long and estimated to cost \$9,026. Chas. A. Croop, Auditor.

Ft. Wayne—November 2, 1922, at 10 a. m., for the construction of a stone and Tarvia X road in Adams township, known as the Priesse road, 1.81 miles long. Estimated cost, \$29,235.17. Angus C. McCoy, Auditor.

Greencastle—November 6, 1922, at 2 p. m., for the construction of a gravel road in Jackson township; estimated cost, \$13,082.00. R. E. Knoll, Auditor. and Clinton twp. road, \$15,945.30.

Marion—November 7, 1922, at 2 p. m., for the construction of a stone road in Van Buren township; 15,750 feet in length; estimated cost, \$31,009.50. Austin D. Hunt, Auditor.

Marion—November 7, 1922, at 2 p. m., for the construction of a stone road in Van Buren township; 7,850 feet in length; estimated cost, \$16,990.00. Austin D. Hunt, Auditor.

Monticello—November 8, 1922, at 10 a. m., for the construction of two stone roads, one in Princeton township, 15,555 feet in length, to be known as Joseph Burley, et al. road, estimated cost, \$33,508.59; and one in Prairie township, 2,650 feet in length, to be known as Wm. Pickering et al. road estimated cost, \$5,668.40. F. E. Vinson, Auditor.

Valparaiso—November 9, 1922, at 2 p. m., for the construction of a gravel road in Westchester and Liberty townships, .697 miles and estimated cost \$23,900. B. H. Kinne, Auditor.

Rockport—November 6, 1922, at ten a. m., for the improvement of a highway in Luce twp., petitioned for by John W. Eissler et al. Estimated to cost \$19,-190.51. R. W. Richards, Jr., Auditor.

Terre Haute—October 30, 1922, at eleven a. m., for the construction of the Arthur H. Fromme et al road in Harrison twp., estimated cost, \$112,769.44; the George Woodsmall et al. road in Honey Creek twp., estimated cost, \$24,-511.70; and the J. W. White et al. road in Harrison twp. Estimated cost, \$110, 982.93. Chas. M. Lee, Auditor.

ROAD CONTRACTS LET.

Allen County—On order of the court the commissioners have rejected bids on the Fownley road.

Boone County—Blubaugh gravel road to Lemon & McGuire, Lebanon, rural route.

Dekalb County—Lancaster Morr gravel road to Don P. Hindman, of St. Joe, at \$14,950.

Dubois County—Summins and Messmer road contracts to Oscar Messmer of Huntingburg, at \$2,765. The M. D. Lemon road was not let.

Fountain County—Newkirk gravel road to W. E. Spragg, of Veedersburg.

Fulton County—Richter road to J. H. Comwell at \$5,750; Cornwell road to C. E. Richter, at \$5,350. No bids on the Haimbaugh road.

Howard County—Newkirk stone road to John A. Frakes, of Greentown, at \$7,497.

Jefferson County—Clever road to Miles & Thomas, of Madison, at \$6,970; Paugh road to Miles & Thomas at \$10,-311; Polk road to E. W. Garriott, of Scottsburg, at \$9,574.75.

Orange County—Smith county unit road to Thomas F. Wires, of Leipsic, Ind., at \$5,850.

Parke County—Dix-Baker gravel road to V. B. Nowling, of Rockville, at \$9,-448.

Pulaski County—Ankirk road, 1,640 feet of gravel, to Stallfleemount & Johnson, of Teft, Ind.; the Guild crush stone road to Kain & Kain, Medaryville; no bids received on the Jacob Getz gravel road.

Ripley County—Macadam road in Shelby township to Albert O. Alley at \$14,750.

Starke County—Baughman and Bliss road to Robert J. Craigmile, of Knox, at \$5,695; Wehman road to Robt. J. Craigmile, at \$10,385.

BRIDGE CONTRACTS LET.

Ripley County—Bridge repairs to Klosterkemper & Rohlfing of Newport, Ind., at \$2,610. No bids on the new bridge.

Ripley County—While bids for repairs on twelve bridges were advertised for, the commissioners let no contracts.

Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field. Copy should reach us, at the latest, Wednesday of the week of publication.

SCHOOL HOUSE NOTICE TO CONTRACTORS.

Bids will be received by the Township Trustee and Advisory Board of Jackson, Township, Randolph County, Indiana, at the office of the Superintendent of Schools, at the Jackson Township School Building in said Jackson Township, Randolph County, Indiana, until 1:30 p. m., Tuesday, October 24, 1922, for the construction of, and the plumbing, electric wiring and installations, in the erection and completion of an addition, and the remodeling of the Jackson High School building, Jackson Township, Randolph County, Indiana, the same to be a two story and basement brick building, to be erected on the site of the present school building in said Jackson Township, in accordance with the plans, drawings and specifications heretofore adopted, therefore by the said Township Trustee and Township Advisory Board, and as prepared by C. E. Losch, Architect, of Union City, Ind.

Said plans, drawings and specifications will be on file on and after September 21, 1922, in the office of the Township Trustee, at his home in Jackson Township, Randolph County, Indiana, and releases will be made to bidders from the office of C. E. Losch, Architect, of Union City, Indiana, on and after said date. The estimated cost of the building complete, without furnishings and equipment, is \$60,000. Work on building to begin in spring of 1923.

Proposals to be entitled to consideration shall be made in accordance with the following instructions:

1. Proposals to be made on the forms adopted and approved by the State Board of Accounts, with all blanks filled in, including non-collusion affidavit. Each shall be delivered in a sealed envelope, addressed to the Township Trustee of said Jackson Township, bearing the title of the work, and the name and address of the bidder.

2. Proposals will be considered singly, or in any combination as set out on page two of the specifications.

3. Each proposal must be accompanied by a certified check, payable to T. W. Kemp, Township Trustee, in a sum equal to three per cent. of the amount of the proposal, in accordance with conditions included in the proposal form which check shall be forfeited as liquidated, fixed and agreed damages in case of failure of any bidder to enter into a contract within ten days after notification of acceptance of his proposal, in accordance with the plans and specifications on file, with sufficient surety to the approval of the Township Trustee and the Advisory Board, for the faithful performance thereof. The Trustee and Board reserves the right to accept any or to reject any or all proposals, and when the contract, or contracts are let, checks of unsuccessful bidders will be returned to them.

4. Successful contractor will be required to take out workmen's compensation insurance.

5. A deposit of \$10.00 will be required of prospective bidders for drawings and specifications taken from the office of the architect, which amount will be returned in full upon the return of said plans and specifications complete and in good order to the office of the architect.

6. Each bidder shall either stamp or mark his name on the back of the drawings and the copy of the specifications used by him in preparing his proposal.

7. All bidders are required to thoroughly examine the plans and specifications before bidding as there will be no variance therefrom except on instructions of architect and trustee, and the advisory board.

Dated at Union City, Indiana, September 20th, 1922.

School Township of Jackson Township, Randolph County, Indiana.

By THOMAS W. KEMP, Trustee
JOHN LALLY,
WM. A. RICKERT,
DANIEL H. GETTINGER,
Advisory Board.

Oct. 7th & 14th, 1922.

STATEMENT OF THE OWNERSHIP, MANAGEMENT, CIRCULATION, ETC., REQUIRED BY THE ACT OF CONGRESS OF AUGUST 24, 1912.

Of Indiana Construction Recorder, published weekly at Indianapolis, Indiana, for October 1, 1922, State of Indiana, County of Marion, ss:

Before me, a notary in and for the state and county aforesaid, personally appeared Donald Campbell, who, having been duly sworn according to law, deposes and says that he is the publisher of the Indiana Construction Recorder, and that the following is, to the best of his knowledge and belief, a true statement of the ownership, management (and if a daily paper the circulation), etc., of the aforesaid publication for the date shown in the above caption, required by the Act of August 24, 1912, embodied in Section 443, Postal Laws and Regulations, printed on the reverse of this form, to-wit:

1. That the name and address of the publisher, editor, managing editor and business manager are:

Publisher, Donald Campbell, Indianapolis, Ind.; editor, Donald Campbell, Indianapolis, Ind.; managing editor, none; business manager, Donald Campbell, Indianapolis, Ind.

2. That the owners are: (Give names and addresses of individual owners, or, if a corporation give its name and the names and addresses of stockholders owning or holding 1 per cent. or more of the total amount of stock.) Donald Campbell, Indianapolis, Ind.

3. That the known bondholders, mortgagees, and other security holders owning or holding 1 per cent. or more of total amount of bonds, mortgages, or other securities are: (If there none, so state.) None.

4. That the two paragraphs next above, giving the names of the owners, stockholders, and security holders, if any, contain not only the list of stockholders and security holders as they appear upon the books of the company, but also, in cases where the stockholder or security holder appears upon the books of the company as trustee or in any other fiduciary relation, the name of the person or corporation for whom such trustee is acting, is given; also that the said two paragraphs contain statements embracing affiant's full knowledge and belief as to the circumstances and conditions under which stockholders and security holders who do not appear upon the books of the company as trustees, hold stock and securities in a capacity other than that of a bona fide owner; and this affiant has no reason to believe that any other person, association, or corporation has any interest direct or indirect in the said stock, bonds, or other securities than as so stated by him.

5. That the average number of copies of each issue of this publication sold or distributed, through the mails or otherwise, to paid subscribers during the six months preceding the date shown above is— (This information is required from daily publications only.)

DONALD CAMPBELL, Publisher.

Sworn to and subscribed before me this 3rd day of October, 1922.

(SEAL.) JUNE STEELE, Notary Public.

(My commission expires December 22, 1924.

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ARCHITECTS AT INDIANAPOLIS RESUME MEETINGS WITH AN INTERESTING PROGRAM.

Indications are that the regular monthly meetings of the Indianapolis Architects Association during the approaching winter season are to be most interesting affairs if Wednesday evening's session at the Columbia Club can be taken as a criterion. This affair marked a resumption of activity by the association after a temporary halt covering the summer months. That which the meeting lacked in numbers of attendance was more than made up for in the spirit and interest displayed by those present, and at the conclusion of the meeting it was voted one of the best ever held by the association.

Preceding the session the architects, at a delightful 6:30 p. m. dinner, indulged in an informal discussion of business and matters relating to architectural efforts put forth during the summer, that which had been accomplished, and the trend of the building construction industry in Indianapolis. A summing up of the points brought out would reveal the fact that the past season had been a most profitable one not only for the architects, but the contractors and others connected with building affairs, and, too, the city itself had profited in more ways than one from the big volume of construction work that had been consummated.

Routine business matters having been disposed of, following the calling of the meeting to order by Prest. Herman Scherrer, the balance of the evening was placed at the disposal of Mr. Lawrence Sheridan, executive secretary of the Indianapolis City Plan Commission, who proceeded to inform the architects of the activities exerted by the commission in zoning the city and the steps that had led up to the point where a new zoning ordinance is now about ready for passage by the city council.

Mr. Sheridan with the aid of a series of maps showed the architects how the city had scientifically been parceled out to facilitate the caring for the various phases of city life that the public welfare and health might be safely guarded in the future, providing also for the future orderly growth and expansion of the city.

death of the latter was a severe blow to the father, who shortly after retired. He was a deep student of architecture and, despite his years, took a keen interest in the subject.

The much mooted question as to the proper heights for buildings was gone into by the architects while considering the city plan scheme. On this score the architects went on record as favoring the 150 ft. height with set backs, recommending as an alternate proposition a flat height of 1 2/3 the width of the widest street upon which a project might be located.

During Mr. Sheridan's talk many interesting legal points were brought out and various court actions cited to cover these cases. The architects showed a deep interest in the matter and developed some very interesting discussions making the evening's program one long to be remembered.

OPPOSE LIMITATION ON OUTPUT.

Architects, engineers and other scientifically and technically trained men at Indianapolis, composing the membership of the Sciencetech Club have begun their winter season sessions with discussions dealing with industrial relations. The discussions have been instituted with the idea of analyzing the labor and production situation so that some definite conclusions can be reached as to what actually constitutes minimum or maximum production limits. The talks are based on the promise that there appears to be an attempt on the part of labor unions to limit production, and that this is objectionable to public welfare and economic benefits generally.

The club went on record at its meeting this week as objecting to and being opposed to the limitation of production by Labor. The original resolution referred to Union Labor, however, the word "Union" was stricken out and as adopted read: "Resolved, That limitation of output by Labor is objectionable."

The elimination of the word "union" from the resolution was decided on in consideration of the contention that the tendency to "limit production" was more of a human than an economic tendency and therefore, in many instances, would apply to all classes of labor.

Hugh Baker, one of the speakers on

the subject, this week, said in the general construction contracting business, in which he is engaged, he found the wage scales of union labor to be advantageous in many ways, chiefly for the reason that they offered some definite basis for calculation necessary in making estimates.

"There are, however, some practices that should be corrected," he said. "There should be some provision for graduation of wages, so that the pay could be in accord with the value of the production."

PROMINENT INDIANA ARCHITECT OF FORMER DAYS DIES.

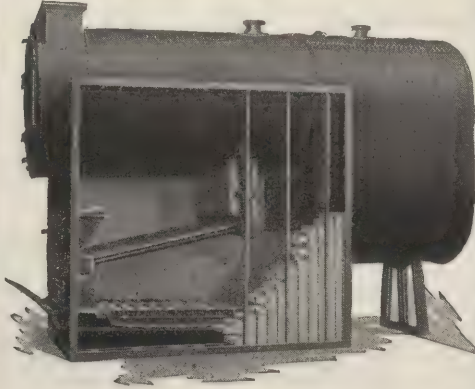
The past week marked the passing on of one of Indiana's oldest architects, Mr. J. F. Alexander, formerly of Lafayette, announcement of whose death was received from Springfield, O., where he had been living for the last few years.

Mr. Alexander, who was a veteran of the Civil War, belonged to the older generation of Indiana architects having entered the practice long before many of the present architects were born. For years he maintained an office at Lafayette and was identified with many of the big building projects that were constructed at that time in Indiana. He also designed large buildings erected in Illinois, Ohio, and Michigan and had a wide acquaintance amongst the members of the profession in his day.

In addition to numerous school, public and commercial buildings which he designed and built, Architect Alexander planned and superintended the Tippecanoe County, Ind., Court House, the eleven-story flat iron K. of P. Building at Indianapolis, the early buildings at the Indiana Normal School, Terre Haute, the Fair Grounds at Indianapolis, Purdue University, most of the older schools at Lafayette and many of the older larger buildings at Peoria, Ill.

He practiced architecture for fifty years and up to within eight years ago was engaged in the business with his son Frank at Lafayette. The sudden interest in modern methods of construction as they were developed. Mr. Alexander at the time of his death, was eighty-one years old. He is survived by a son, Wm. C. Alexander, also an architect, of Salt Lake City.

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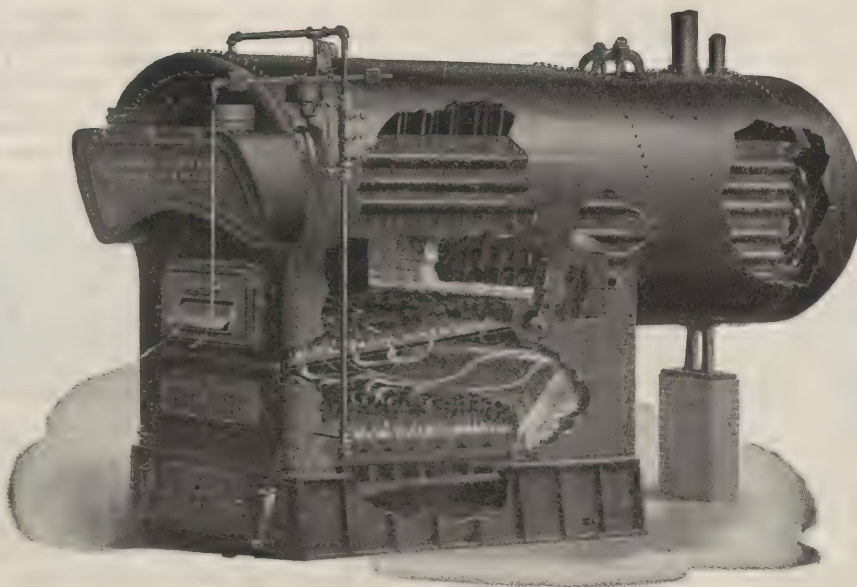
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Official Paper

Associated Building Contractors of Indiana

FRED W. JUNGCLAUS, President
Indianapolis

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Indianapolis

ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller.....President

Office, 411 Sycamore St.

BIG HOME DEVELOPMENT SCHEME PLANNED FOR EVANSVILLE.

Home building in Evansville is to be given added impetus in accordance with a new move just launched by the Home Builders Company, recently incorporated.

The new organization has purchased a 15 acre site adjacent to the proposed new \$600,000 Bosse High School out on Washington avenue. The ground for the new home development scheme is to be laid out in accordance with the rules and regulations of the City Plan Commission. The streets are all to be parked through the center on the boulevard system.

Upon this site the company proposes to erect forty-two houses of colonial design with stucco exterior construction. The houses will contain from 5 to 6 rooms and will be two stories in height.

Officers of the new company are: J. C. Vaught, President; E. L. Vaught, V. President; Norman Gatsch, Secretary; H. N. Robinson, Treasurer; W. M. Wheeler, Counsellor.

LACK OF MECHANICS AGAIN CROPS OUT TO HAMPER BUILDING.

Building operations in Evansville are said to be suffering from the lack of skilled plumbers to meet the demand, a condition that is tending to retard activity. Some contractors are advocating that steps be taken to encourage the use of more apprentices that skilled craftsmen may be developed to meet the ever growing demand.

MATERIAL SUPPLY BEING AF- FECTED BY FREIGHT RULINGS.

The car shortage, freight embargoes, and priority orders relative to shipments are beginning to tell in Evansville building circles. Though the material supply men have been able through adverse conditions to keep up building material supplies, delayed shipments now are be-
building operations.

CHIPS AND SHAVINGS.

General contractors Anderson and Veatch, are erecting a two family home for J. W. Lamey at 1102 Chestnut street. There will be two apartments of four rooms and bath each.

Kessler & Rieenthaler, well known local contractors are erecting a 2 store and 2 apartment building at Bedford and Covert avenues, for W. J. Cline.

Michael Elpers, contractor, has been awarded the contract for the construction of an eight-room home for Louis J. Hubert on Akin-drive, to cost \$13,000.

FT. WAYNE

BUILDERS' EXCHANGE
Member State A. B. C.

Max Irmscher.....President

Eph Dailey.....Secretary
825 Calhoun St.

Phone 2001

STEADY INCREASES ROLL UP GREAT BUILDING TOTAL FOR FT. WAYNE.

Comparative figures on building construction in Ft. Wayne show the volume of business "put over" during the first nine months of 1922 to be far and away ahead of any other like performance in the city's history. Not only have high monthly totals of other years been topped from their record pedestals, but the high figures of extended periods have also been eclipsed.

Last year the total estimated valuation of projects for which permits were granted reached the magnificent sum of \$4,799,756 which was considered a fine record for one year. Now in the face of all that Ft. Wayne has turned around and in the first nine months of 1922, has hung up a building total of \$7,216,304. This is \$2,416,548 more than the total for the entire year of 1921 and \$4,285,443 in excess of the amount expended on building in Ft. Wayne during the first nine months last year.

The monthly building totals for the first nine months of 1922 and 1921 are:

	1922	1921
January	\$136,660	\$ 93,325
February	191,035	208,600
March	575,095	370,345
April	582,335	275,802
May	702,485	420,978
June	903,455	308,735
July	715,735	355,628
August	1,634,574	570,105
September	1,774,930	327,343
Total	\$7,216,304	\$2,930,861

CITY PLEASED FOR PRIVILEGE OF ENTERTAINING STATE ARCHITECTS.

Ft. Wayne was honored this week by the state architects who gathered here to attend a meeting of the Indiana Society of Architects.

This meeting, and others to be held here and there in the larger cities throughout the state during the year, is in line with a new policy inaugurated by the state architects' association for the purpose of bringing the members of the profession in closer personal contact.

A similar move has been instituted by the Associated Building contractors of Indiana, and now that the architects are following suit the building industry of the state should profit from the greater understandings that will result from these individual regional meetings, where the men of each of these two essential branches of the industry will be drawn together, become better acquainted, and collectively can work out the problems common to their own individual professions.

Both the A. B. C's. of Indiana and the I. S. of A., have reached that point where they are co-operating for the general advancement of the building interests of the state that the Public may be better served and assured of better buildings.

Ft. Wayne, who has experienced a most remarkable building year was pleased to welcome the architects that they might for themselves see the forward strides she is making.

ANOTHER BIG CONTRACT AWARD- ED FOR MILLION DOLLAR PROJECT.

The city was assured another \$1,000,000 building contract award to tabulate on the 1922 record. The past week the contract for the construction of the new million dollar Keenan Hotel was awarded to the Fleisher Construction Co., Minneapolis, Minn.

Never before in Ft. Wayne's history have so many big building contracts been awarded in one year as have been transacted so far in 1922.

DIMENSION STUFF.

A realty deal closed last week betokens the construction of quite a plant for Ft. Wayne. The Brooks Construction Co., in closing for a site of 280x194 at Barthold street, and the New York Central tracks has made known its intention to erect one of the largest asphalt plants in the central west.

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Member State A. B. C.

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C. C. Pierson.....Secretary
320 Peoples Bank Building

MEETINGS.

Executive Committee meets second Tuesday each month.
Painter Contractors meet every Wednesday, 4.00 p. m.
Plasterer Contractors meet every Wednesday noon.
Mason Contractors Association meets every Thursday—1 P. M.
General Contractors meet second Friday each month.

PLANS ON FILE.

At 320 Peoples Bank Building,
Indianapolis.

None this week.

WAIVER OF LIEN.

None filed with Recorder of Marion County, this week.

ON THE WAY TO A NEW RECORD.

Indianapolis, like her sister Indiana cities, has gone over the top as far as this year's building operations are concerned in comparison with the building construction volume of 1921, and that, too, with but the activity of the first nine months of this season recorded.

Starting out in January with a loss as against the figures for the corresponding period in 1921 the following months began to return big building totals, only two out of the eight showing shortages in comparison with the 1921 monthly records. These losses were quickly made up by the preceding and subsequent figures turned in and indications developed early forecasting a volume of business that would outstrip the 1921 record if the building construction business was favored with at least an even break as far as suitable conditions were concerned.

The breaks developed and under a tremendous demand building operations lunged forward, it being merely a matter of time till the 1921 figures were reached and passed. When the August total was recorded the year's total for the eight months just fell short by a small margin of equaling the entire 1921 high level.

Now the race is over, the September building figures having carried 1922 out in front and well on the way to the establishment of a remarkable building year to jot down on the city records.

Summing up the Indianapolis building construction performance one finds the grand total for the first nine months of 1922 to be \$19,446,577, which compared with \$13,650,950 returned by the cor-

responding period last year shows a balance to the good of \$5,795,627, a gain of 42.45%. As against the entire total of \$18,328,965 for 1921, Indianapolis' building operations for the period extending from January 1 to October 1, 1922, show a lead of \$1,117,612 or a gain of 6% over the 1921 building business. This is also a gain of 27.23% over the business of 1920. The monthly totals are as follows:

	1922	1921
January	\$ 580,706	\$1,025,529
February	1,170,398	617,834
March	2,065,051	2,336,964
April	2,566,389	1,527,647
May	3,420,847	1,550,601
June	2,289,941	2,499,275
July	3,349,348	1,401,115
August	2,074,941	1,235,260
September	1,928,956	1,456,725
Total	\$19,446,577	\$13,650,950

EXPECT AWARD OF BIG CONTRACT SOON.

Action taken by the city board of health Wednesday presages another large structure for Indianapolis, the contract for which it is expected will be awarded shortly.

This was the outstanding feature in local building construction circles the past week. It had to do with the receiving of bids for the construction of a nurses' home at the City Hospital, one of the units planned for in the original unit scheme of building proposed some years ago.

There were quite a few bidders, the Cornell Engineering Co., with \$320,000 for the general construction being low. Low bidders on the other items were: Callon Bros., heating and ventilating; Roland M. Cotton Co., plumbing; Sanborn Electric Co., electric work.

CONDITIONS CONTINUE FAVORABLE.

Progress on the building construction work now under way continues good. Labor conditions and supply continue favorable but freight embargoes are inclined to make themselves felt in the material supply market. Everything considered, building construction conditions are favorable with the indication that the big bulk of work now going on will ride right through to timely completion.

BUILDING PERMITS.

(\$4,500 and Over)

Week of October 5th to October 12th.

Residence: \$14,000, 25 Maple Court. Owner and builder, H. L. Simons, 4244 N. Capitol Ave. Brick veneer. Excavating.

Residences (5) \$15,000, total, 310-356 S. Rural and 514-518-522 N. Chester. Owner and contractor, Hoosier Box Mfg. Co., Leeds Ave. and C. I. & W. R. R.

Residences (3) \$25,500, total, 3 doubles, 4921-23 and 4925-27 Broadway, 4926-28 College Ave. Owner and contractor, Otis Kirkpatrick, 4151 Broadway. Excavating.

Residences (2) \$14,000, total, 5309 and

5305 Julian. Owner and contractor, Everett M. Schofield, 806 State Life Bldg.

Residences (3) doubles, \$12,600, total, 4136 and 4207-09-15-17 Graceland Ave. Owner and builder, Ferry R. Thrush, 703 Lemcke Bldg.

Residence: \$12,000, 423 West 46th St. Owner, Morris M. Andrews, % Washington Bank and Trust Co. Owner builds. Excavating. Brick veneer.

Residence: \$10,000, 1516 N. Pennsylvania. Owner, Grace Alexander, 520 N. Audubon Road. General contractor, W. C. Brydon, 5135 E. Norway. Brick, Excavating.

Residences (2) doubles, \$10,000, total, 601-03 N. Wallace and 513-15 Riley. Owner and builder, S. A. Morrow, 4702 E. New York St. Excavating.

Residence (double), \$9,000, 4702-04 Broadway. Owner, B. R. Brunson, 1859 N. Talbott. General contract let to Jacob Rosenbarger, % owner.

Residence: \$8,000, 433 N. Emerson. Owner, V. F. Mundell, at site.

Residence (double) \$8,000, 5114-16 College Ave. Owner, F. M. Bartholomew and son, 3720 Salem St. Owner builds. Excavating.

Residences (3) \$8,400, total, 1442-46-50 N. Mount St. Owner, A. W. Cox, 1266 N. Belleview Place.

Residence: \$7,500, 4030 N. Capitol. Owner and builder, J. F. Cantwell and Co., Lemcke Bldg.

Residence (double) \$7,500, 3348-50 Carrollton. Owner, Anna C. Greiner, 804 Virginia Ave. Contract let to Realtor Bldg. Co., Lemcke Bldg.

Residence (double) 1433-35 N. Tuxedo. Owner, W. M. Taylor. Contract to A. J. Everett, at site.

Residence (double), \$6,500, 610-12 N. Denny St. Owner, M. M. Andrews, % Washington Bank and Trust Co.

Residence: \$6,500, 535 East 36th St. Owner, Jose-Balz Co., 742 Lemcke Annex.

Residence: \$6,500, 315-17 N. Colorado. Owner, Realty Finance and Bldg. Co., 308 National City Bank Bldg.

Residence (double) \$6,500, 4905-07 Broadway. Owner, Lillie May Wilson, 2435 Shelby St.

Residence (double) \$6,500, 4110-12 N. Capitol. Owner, J. F. Cantwell, Lemcke Bldg.

Residence (double), \$6,000, 5838-40 Broadway. Owner, W. J. Kleinhenz, 5844 Broadway. Contract let to Edw. Newell, % owner.

Theatre (small addition), \$6,500. Owner, Loews Theatre. Contract let to Bedford Stone and Constr. Co.

Residence: \$5,500, 3947 N. Illinois. Owner, Matilda Topp, 3146 N. Illinois St.

Residence: \$5,200, 416 Tibbs Ave. Owner, Ezra Fitzwater, 452 N. Tibbs Ave.

Residence: \$5,000, 773 N. Riley. Owner, J. T. Bramlett, 769 N. Riley St.

Residence: \$5,000, 1318 Comer. Owner, George Derleth, 426 West McCarty St.

Residence: \$4,500, 71-73 S. Sherman. Owner, R. F. Stilz, 450 N. Audubon Rd.

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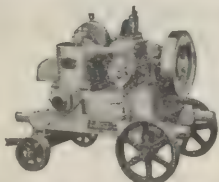
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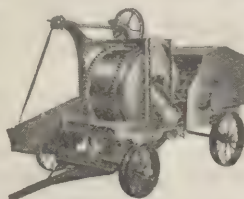
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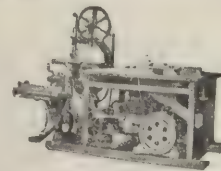
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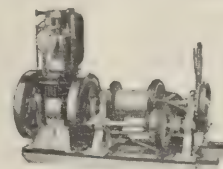
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General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.**YET 'TIS DONE OVER AND OVER
AGAIN.**

What foolishness it is to expect something for nothing. The way of this world is, that ultimately the man who would obtain must pay, and all he gets is just what he pays for.

However, day after day, and week after week there are shining examples to demonstrate that people will never learn that the best, though it may seem dear in the beginning, is the cheapest in the end. Probably in no other field is there a greater effort to secure something for nothing than in that of building construction. Continually people, and some are men who should know better, are awarding contracts for new buildings to contractors who offer to build for some few dollars less than others and no steps are taken to ascertain the reliability or responsibility of these cheaper bidding men. Such procedure not infrequently results in a cheap, unsatisfactory job, or one that, to meet the conception of the owner, is encumbered with a lot of "extras." Sometimes in such instances the owner will get caught so bad that when the work is done he finds a lot of unpaid bills to account for that he thought and understood his contractor was going to take care of, the latter even having been paid the money to settle everything.

Building on this cheap basis often results in the owner having to pay more for his project than it could have been built for by a thoroughly reliable contractor.

Last year, in the Calumet District a new firm started in contracting and lined up a lot of work from men who wanted their work done as cheap as possible. The sequel of that firm's operations is that one of the partners is behind the bars and the other has left for parts unknown, while the unsuspecting owners of the new buildings that were built by these cheap figuring contractors have awakened to find their projects plastered with liens.

THE WORM TURNS.

Over in Chicago it seems quite a few speculative builders have been hard hit. Buildings were needed and the speculators jumped into the game, bid up labor prices regardless in order to secure men and figured they could tack the extra

cost on the selling price of the projects. Now they have found to their sorrow that they made a bad investment for the expected buyers refuse to be held up by the high prices asked. Maybe these men will learn some day that there is more truth than fiction in the old saying, about the worm turning. Reliable contractors know and figure legitimate profits, they seek to establish fair wages, but the speculative builder jumps into the game, boosts wages or plays along on a cost plus basis, "passes the buck" to the prospective buyer, upsets the building industry by tilting wages and creating discontent among the building crafts, makes things hard for the legitimate contractor and calls down maledictions from the public upon all those connected with building.

THE OLD, OLD STORY.

According to reports going the rounds there are several contractors who came into this territory to figure and build, who had considerably more money when they started than they will have when they have finished up their work. It is another case of underbidding just to secure work without figuring in the consequences of such foolish practice.

E. E. COLE.

MUNCIEAssociated Building Contractors
Member State A. B. C.Chas. RowePresident
J. A. Gallivan.....Secretary

314 Main Street

**FAIR PLAY HAD BIG PART IN RUN-
NING UP RECORD BUILDING
FIGURES THIS YEAR.**

Week after week and month after month building construction figures have come rolling in from out around the state until with the waning of the year one finds, upon a summing up, that Indiana has "put over" a wonderful building record to date and one that will stand out prominently when finis is written across 1922.

This great building volume, in itself remarkable, impresses the more when it is realized that, despite the fact that very few wage and working agreements were signed up in Indiana between the contractor employers and the various individual building trades crafts, this enormous amount of building construction was consummated with a minimum amount of Labor trouble.

Why? The answer, after analyzing the situation, seems to be because common sense ruled, not, however, without the expenditure of considerable preliminary effort.

Early in the spring the contractors in the various cities sensed the prospect of much building construction work as did Labor. The contractors also realized that to assure the maturity of the prospective work costs must be kept at a reasonable level. On the other hand, Labor quickly sized up the situation and knew the demand for mechanics would be heavy. Therefore, when the contractors sought reduced wage scales Labor opposed. Then followed conferences be-

tween the two factions, arbitration and in the end compromises were effected. Agreements were reached as to wage scales, verbal agreements, though few if any were signed between the contractors on the one side and the Labor representatives on the other. After a few delays here and there, pending the outcome of the wage conferences, construction operations took on new activity and have swung along at a steady, speedy clip right on through the summer season, both contractors and the mechanics holding to the agreed wage scales. There were a few exceptions to this orderly procedure in that some outside contractors came into the State and, disregarding local wage scales, paid advances in order to attract workmen. This action caused local contractors in a few instances to offer bonuses to protect themselves. In one city only did these outside raises cause trouble, there the contractors refused to advance the pay and owners backed them up causing a stoppage of work.

In the main, under the great rush of building construction, both the contractors and the building trades mechanics in Indiana have played fair with each other, not withstanding the fact that there were no signed agreements. The result has been a big building year for the state with plenty of work for all engaged in the building industry, this in the face, of the coal and railroad strikes.

In conclusion, "giving the Devil his due," it should not be forgotten that those making up the ranks of building trades labor almost wholly in Indiana, played fair by the contractor employers and are deserving of mention when those things that kept building moving are considered.

**A WORD FOR THE SMALLER A. B.
C.'S ASSOCIATIONS.**

How about the contractors' associations of the smaller cities in Indiana during 1922?

Frequently one hears of the associations at Indianapolis, Evansville, Ft. Wayne, South Bend, Hammond and Terre Haute, and yet none of them have done more for the local contractors than the organizations at Anderson, Muncie, Kokomo and Lafayette. The little fellows had just as big problems to combat in proportion as did the contractors in the larger cities, and be it said to the credit of the former that they stuck together solidly and by constant effort have made their associations known and felt in their communities. The men have been faithful to their trust and have jealously protected the local contracting and building construction interests doing everything they could to encourage building and keep it moving.

That the association idea has taken deep root in the smaller cities and its benefits realized is to be gleaned from the fact that these smaller associations have made it a point to have delegates present at the monthly A. B. C.'s conferences that they may be the more able to keep in direct touch with the building situation and affairs in the State. The members all admit that through their associations the local contractors have been able to accomplish much good collectively than was possible individually.

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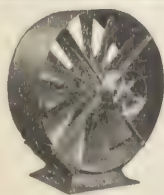
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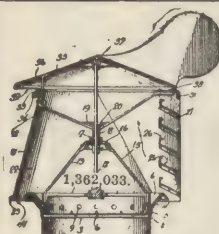
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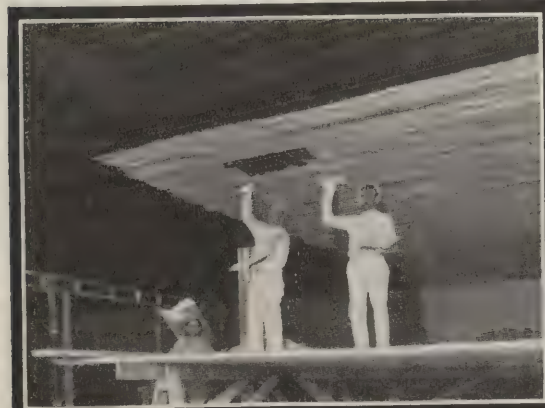
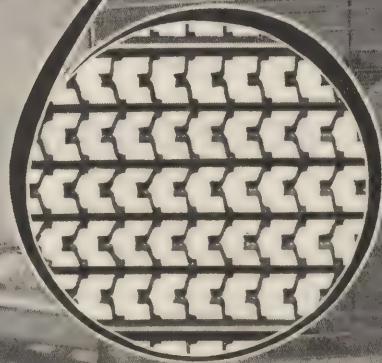
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FOR
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ENGINEER

Devoted to the
Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

VOL. IV

INDIANAPOLIS, INDIANA, OCTOBER 21, 1922

No. 29

INDIANA CONSTRUCTION RECORDER
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Six Months \$4.00

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the Act of March 3, 1879.

LATEST JURISDICTIONAL DISPUTE AWARDS AND ANNOUNCEMENT FOR NEXT MEETING.

At a recent meeting of the National Board of Jurisdictional Awards the following decisions were made, while some of the disputes up for consideration and decision were held over till the next session to be held in Washington, D. C., November 13.

Setting of Vitrolite and Opaque Glass
Subject of dispute between Bricklayers', Masons', and Plasterers' Union, and Painters', Decorators', and Plasterers' Union.

After considering the brief of the Painters and Decorators, in which they contend that the previous decision awarding the setting of all vitrolite and other opaque glass to the Bricklayers', Masons' and Plasterers' Union, should be reversed and in which they request a rehearing, it was agreed that this case be referred to a conference of representatives from both International Unions, and a report of this conference be presented at the next meeting of the Board.

Agreement Covering Plate and Window Glass.

Between Painters and Bricklayers.

A motion prevailed that the following agreement as recommended by the Building Trades' Department be ratified with the understanding that it does not affect the decision of March 11, 1920, as rendered by the Board in the matter of vitrolite and opaque glass:

Agreement between Painters' and Bricklayers' Unions "shall take effect December 5, 1910, and remain in force until amended, revised, or changed at a meeting called for this purpose."

Section 1. All plate and window glass, mirrors, beveled plate, rough, ribbed, wire, figured, colored, or art glass set in sash, frames, doors, or skylights, constructed of wood, sheet metal, iron, stone, or other material and set with putty or moulding, shall be set by mem-

THE POISON THAT ORGANIZATION SEEKS TO COUNTERACT WITH THIS ANTEDOTE

SUSPICION:

Suspicion is one of the meanest of human qualities. It is a sweet disposition soured, the milk of human kindness turned to whey and cheese. It breeds jealousy, envy, hatred. It wrecks homes, enterprises, tears down reputations, overturns governments, and makes a mockery of the best and brightest dreams of mankind. It has made Labor mistrust Capital, Capital mistrust Labor, and has cost both Labor and Capital more than any other single factor contributive to their mutual losses. Suspicion! No polite word in our language, or in any other language, stands for more that is debasing, destructive and damning than the word Suspicion,—suspicion in the home, suspicion in business, suspicion among friends, among neighbors,—always it is a damning and a damnable quality. If we can put the knife to Suspicion in industry, and cut it out, root and branch, we will lift a shadow from the peaceful energies of the Republic and open the way for a flood of light that will make for Peace, Plenty and Prosperity.

(Exchange submitted by E. E. Cole, Secy. Building Trades Employers' Association of the Calumet District, Indiana.)

CONFIDENCE:

Confidence is the antithesis of Suspicion. It is trusting, kindly, helpful and hopeful. Without Confidence of one man in another, or one organization or one nation in another, the world would not have moved far from savage standards and savage conditions. Confidence in the business world is better than cash; it is easier to handle, for it has neither weight, density or size, and is a golden asset which does not depend upon either locks and keys, or policemen. Confidence is a spiritual quality. Credo—I believe! How much that is enduringly good and beautiful we owe to Confidence! What a blessed heritage we would share in this beautiful world if every man, Laborer and Capitalist, of whatever class, each had confidence in the friendship, good-will and good intent of the other! More Confidence between man and man, in industry and in business in America is what we need to make of this a mightier and a happier Republic!

bers of the Painters' Union, and that where glass is used as a substitute for ceramic, mosaic, or encaustic tile, and set on floors, walls and ceilings in mortar, cement, or other plastic material, shall be set by members of the Bricklayers' Union. It is further agreed that all glass delivered in stock sheets shall be cut by a member of the Painters' Union.

Section 2. Where glass is used as a substitute for marble in interior finish or decoration, and is carved, cut, polished and rubbed, it shall be set by members of the Bricklayers' Union.

Carrying Out Decisions of Board.

Several suggestions were made by the Sheet Metal Workers as to desired assistance and co-operation in carrying out the decisions of the Board, and to this end attention was called to the necessity for drafting a clause for incorporation in standard contracts and specification forms for observance on the part of the interested parties.

Setting of Cork Tiling.

Dispute between Plasterers and Bricklayers, regarding jurisdiction over cork insulation.

Pending a decision by the Board after a hearing at its next meeting, in the matter, or jurisdiction over cork, insulation, it was recommended that the agree-

ment of May 1, 1918, between the United Cork Company, the Armstrong Cork and Insulating Company, the Carpenters' Union, Plasterers' Union and Bricklayers' Union, shall serve as the basis for settlement of disputes.

The following list of disputes will in all probability be discussed at the meeting in November:

Vitrolite and similar opaque glass (rehearing).

Corrugated Sheeting.

Contestants: Iron Workers and Sheet Metal Workers.

Derricks—Erection and handling for setting stone.

Contestants: Iron Workers and Bricklayers.

Agreement between the Bricklayers and roofers covering flat faced tile.

Agreements between the sheet metal workers and lathers covering metal studing and furring.

Jurisdiction over cork insulation and substitutes thereof.

Contestants: Plasterers and Bricklayers.

Contractors interested in any of the above disputes should bear the date of the meeting in mind and see that their views are properly explained to the Board when the hearings take place.

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News of the Week

The asterisk (*) prefix to an item indicates additional information to report published in previous issue.

INDIANAPOLIS.

Grade School: (16 rooms), 30th and College Ave., School No. 76. Archt., Chas. Byfield, 923 Peoples Bank Bldg. Owner, Board of School Commissioners, Walter J. Twiname, Business Dir., 150 N. Meridian St. Archt. selected. Brick, frpf. constr.

Grade School: (8 rooms) east 10th & Wallace Sts., School No. 62. Archt., McGuire and Shook, 320 Indiana Pythian Bldg. Mechanical engineer, Snider and Rotz, Merchants Bank Bldg. Owner, Board of School Commissioners, Walter J. Twiname, business director, 150 N. Meridian St. Preparing sketches. Brick.

Grade School (8 room addition), school No. 67, at 3615 West Walnut St. Archt., Bass, Knowlton and Co., 312 N. Meridian St. Owner, Board of School Commrs., Walter J. Twiname, business director, 150 N. Meridian St. Archt. selected. Brick.

Grade school (8 rooms), School No. 70, Central Ave. and 46th St. Archt., Vonnegut Bohn and Mueller, Indiana Trust Bldg. Owner, Board of School Commissioners, Walter J. Twiname, business director, 150 N. Meridian St. Archt. selected. Brick.

Grade School (8 or 10 rooms), School No. 75, at Bellevue and 14th. Archt., Rubush and Hunter, American Central Life Bldg. Mechanical Engineer, Snider and Rotz, Merchants Bank Bldg. Owner, Board of School Commissioners, 150 N. Meridian St. Architect selected. Brk.

Grade School: 2 2-sty. additions, School No. 23 at 13th and Missouri Sts. Archt., J. Edwin Kopf and Woolling, 401 Indiana Pythian Bldg. Owner, Board of School Commissioners, 150 N. Meridian St. Archt. selected. Brick.

Shop Building (for workmen), 16th & Yandes St. Archt., Donald Graham, 1128 Hume Mansur Bldg. Owner, Board of School Commissioners, Walter J. Twiname, business director, 150 N. Meridian St. Archt. selected. Details undecided. Brick.

Heating Plant: School No. 36, 28th and Capitol Ave. Engineer, Snider and Rotz, Merchants Bank Bldg. Owner, Bd. of School Commissioners, 150 N. Meridian St. Engineer selected. Brick.

Warehouse: 4 sty., 100x190. Archt., Rubush and Hunter, American Central Life Bldg. Owner, Allen A. Wilkinson Lumber Co., 931 E. Michigan St. Plans about completed. Ready for bids soon. Brick, mill construction, steel sash, wood

floors, built-up-roofing, steam heat, 3 freight elevators.

Apartment Building and Stores (20 Apts. and 3 stores), rem. from Hospital at 522 N. Illinois St. Private plans. Owner, Sylvester Realty Co., % Sylvester Johnson, Jr., 540 N. Meridian St. Owner will build by day labor and buy materials. Brick, 2½ sty. and bas.

Plumbing, Heating, Ventilating and Electric Wiring, for the James Whitcomb Riley Hospital for Children, Indianapolis. Archt., Robert Frost Daggett, Lemcke Annex, Indianapolis. Owner, Board of Trustees, Indiana University, John W. Cravens, Secy., Bloomington, Ind. Mechanical Engineer, Chas. W. Ammerman, Occidental Bldg., Indianapolis. Sealed bids will be received at the office of the architect up to 12:00 o'clock noon, October 26th, 1922.

School Furniture for building under construction, Center Twp., Raymond and Perkins Sts., Indianapolis. Archt., Donald Graham, 1128 Hume Mansur Bldg. Owner, William H. Evans, Trustee, 412 Sacks Bldg., (Pennsylvania and Washington Sts.) Owner receiving bids to close November 4th at 10:00 A. M. (See legal advertising in this issue.

***Electric Light and Power Plant** for general construction only, \$50,000, Crawfordsville, Ind. Engineer (consulting), Harry C. Carroll, 511 Traction Terminal Bldg., Indianapolis. Owner, City of Crawfordsville, James H. Hamilton, city clerk, City Hall, Crawfordsville, Ind. Owner receiving bids to close November 6th at 6:00 p. m. Brick, 1 sty. and bas., 28x50. Radial brick stack 200 ft. high, steel sash, comp. roof.

***Garage and Salesroom** (side addition), 1 sty., 50x150, 443 Virginia Ave. Owner, Wangelin-Sharp Co. (Ford dealer), 443 Virginia Ave. Archt., Robert Frost Daggett, Lemcke Annex. Archt. receiving bids to close October 24th. Brk., steel sash, comp. roof, extension to present steam heating system.

Lodge Building: 2 sty. and bas., 36x70, East 10th and Gray Sts. Archt., Rubush and Hunter, American Central Life Bldg. Owner, Brookside Park Masonic Lodge No. 818, 2801½ East 10th St. Bids in under advisement. Frame, steam heat.

Factory (addition), 2 sty. and bas., 49x70, \$25,000, South East St. Archt., Russell N. Edwards Co., No. 45 Union Trust Bldg. Owner, American Tent and Awning Co., John C. Truemper, Mgr., 632½ South East St. Plans about completed. Ready for bids about October 25th. Brick, mill construction, steel sash, comp. roof, no heat.

Stores and Offices: \$75,000 (10 store rooms), 2 sty. and bas., 105x183. Archt., Russell N. Edwards Co., No. 45 Union Trust Bldg. Owner, name withheld for

present. Preliminary plans in progress. Brick.

Garage (14 cars), rear of Apartment Bldg. Archt., Bass, Knowlton and Co., 312 N. Meridian St. Owner, J. L. Avery, 452 E. Walnut St. Bids in; under advisement.

Club House: Near Helmsburg, Ind. Owner, Brown County Club, Oscar Lee, 697 City Trust Bldg.; James L. Nimal, 5119 Broadway; Lewis C. Holtegel, % Dunlop & Holtegel, Indianapolis; and Dr. N. R. Snyder, Bloomington, Ind. Contemplated.

Contracts Awarded.

***Church** (add.) Sunday School room and kitchen, \$12,000, 16th and Delaware. Archt., Bass, Knowlton & Co., 312 N. Meridian St. Owner, First Congregational Church, 16th and Delaware. General contract awarded to Brandt Bros., Indiana Trust Bldg. Frame.

***City Hospital** (additions, \$400,000. Administration building, 3 sty. and bas., 136x44, with wing 36x40. Nurses' home, 4 sty. and bas., 197x40, with wing 48x38. "City Hospital Grounds" Locke and Margaret Sts. Archt., Adolph Scherrer, Indiana Trust Bldg. Owner, Board of Health and Charities, Dr. E. E. Hodgkin, Pres. Dr. Goethe Link, V.-P., City Hall. General contract awarded to Cornell Engineering Co., 2611 Cornell Ave. Bid \$320,000; heating and ventilating, Callon Bros., 24 South Alabama St., bid, \$31,000; plumbing, Roland M. Cotton Co., 1720 East 10th St., bid, \$27,000; electric wiring, Hatfield Electric Co., Meridian and Maryland Sts., bid, \$9,200; elevators, Home Elevator Co., Southeastern Ave., bid, \$10,268. Brick, einf. concrete floor and roof construction.

***Masonic Temple:** 2 sty. and bas., 45x100, Roosevelt Ave. and Adams St. Archt., Donald Graham, 1128 Hume Mansur Bldg. Owner, Veritas Lodge No. 608, F. and A. M., W. E. Reno, Chmn. Bldg. Comm., 3420 Roosevelt Ave. General contract awarded to Leslie Colvin, 4140 Ruckle St., \$59,733; heating, Freyn Bros., 31 West Michigan, \$5,539; plumbing, The Roland M. Cotton Co., 1726 E. 10th St., \$2,087; electric wiring bids were rejected.

***Church:** Anderson, Ind. Archt., Chas. Bacon, 633 Odd Fellows Bldg., Indianapolis. Owner, First Baptist Church, Rev. Edgar Lavens Hamilton, Pastor; R. B. Tuttle, Chmn. Anderson, Indiana. General contract awarded to T. E. Setters and Sons, Noblesville, Indiana, R. R. No. 5. Brick.

CONNERSVILLE.

Residence: \$10,000.00. Archt. Jos. R. Fallon, 105 McFarlan Bldg. Owner, J.

(Continued on Page 9)



FANS

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Residence and Garage: \$25,000. 2 sty. & bas. 45x30. "Colonial Type." Archt., H. M. Griffin, McFarlan Bldg. Owner, Robert P. Abercandie, McCune Bldg., Connersville. Plans in progress. Frame, incinerator, art glass, hardwood floors. 2 baths, shingle roof.

***Church:** \$25,000. 2 sty. & bas. 50x72. Milton, Indiana. Archt., H. M. Griffin, McFarlan Bldg., Connersville. Owner, Christian Church, Rev. F. C. McCormick, Pastor, Milton, Indiana. Plans completed. Expect to ask for bids soon. Brick and tile. 4 ply built-up roof, steam heat, fire doors.

***Church (Catholic),** \$32,000, 1 sty. & bas., 46x28. Archt., Karl P. Henkel, 108 Heinemann Bldg., Connersville. Owner, Rev. J. J. Gallagher, Pastor, Newcastle. Foundation work let to Michael McGraw; superstructure will not mature until spring.

EVANSVILLE.

Round House and R. R. Shops: \$3,000, 000, near Pigeon Creek, Evansville. Private plans. Owner, The Chicago and Eastern R. R. Co., Chicago, Ill., E. R. Glidden, Supt. Evansville, Ind. Engineers are making surveys, will not take bids until early spring. Brick, conc. & steel, steel sash.

Telephone Building (1 sty. top addition to present building and 1 sty. rear addition, 21x35) \$50,000, Evansville, Ind. Private plans. Owner, Central Union Telephone Co. (Bell System) Mr. Webb, Construction Dept., Indianapolis. Owner receiving bids to close October 24th. Brick, ordinary construction, comp. roof, extension to present heating system.

***Factory** (addition) Mirror Plant, \$15,000, 1 sty., 44x160. Archt., Russ and Karges, Furniture Bldg. Owner, Globe-Bosse-World Furniture Co. Archt. taking bids. Brick, mill construction, steel sash (note architect).

***Factory** (addition). \$15,000, 1 sty. 50x80, Fulton Ave. and Belt R. R. Archt., Russ and Karges, Furniture Bldg. Owner, Evansville Enameling Co., Fulton Ave. and Belt R. R. Archt. ready for bids. Brick, mill construction, steel sash, saw tooth roof construction. (Note architect).

Club House (rem. from residence), Owner, The Crescent Club, James B. Graham, Judge John W. Spencer, B. F. Von Behren, Bldg. Comm. Owners have an option on the Travis home, 610 S. 1st St. Expect to purchase and remodel into a club house. Definite data later.

Residence: \$12,000, Hart Place, Alfred E. Neucks, 515-16 Peoples Bank Bldg. Owner, Phil Raphael. Plans in progress. Brick veneer, will contain 8 rooms and bath. Plans in progress.

Residence: \$12,000, Kentucky Ave. and Jackson. Archt., Alfred E. Neucks, 515-16 Peoples Bank Bldg. Owner, G. E. Bauman. Plans in progress. Frame, Dutch Colonial, 8 rooms and bath.

Contracts Awarded.

Factory (Rem.), \$40,000. Owner, Sterling Products Co. General contract let to M. J. Hoffman Constr. Co. General alterations.

Residences (2), 1533 Mulberry St. and 1025 Washington Ave. Archt., owner and builder, Anderson and Veatch. Excavating.

FT. WAYNE.

***Residence:** (Colonial style), \$15,000, 2½ sty. and bas., 50x26, Lake and Delta Aves. Archt., F. G. Fortney, Bass Blk. Owner, Mrs. Susan Simminger. Plans about completed, ready for bids in 2 weeks. Brick veneer, shingle roof, furnace.

Factory: (Addition) \$100,000. 1 sty. 350x150, Wabash Ave. to Wayne Trace Rd. Owner, Tokheim Oil Tank and Pump Co., C. O. Griffin, Secy. Bids in; under advisement. Brick and concrete, saw tooth roof construction.

FRANKFORT.

High School (fire rebuild), \$100,000. Owner, Board of School Trustees, Richard M. Heavilon, Pres., Marvin Hufford, Secy. Owners expect to select an archt. soon and advertise for bids early in spring. Brick.

Boiler Room and Garage: 28x30 and 25x50 respectively, \$8,000. Archt., Rodney Leonard, Peoples Life Bldg. Owner, Schlosser Bros. Co., Frankfort. Plans in progress. Brick, brick stack, comp. roof.

Residence: \$6,000, 2 sty. and bas., 28x32. Archt., Rodney Leonard, Peoples Life Bldg. Owner, John A. Devitt,

Frankfort. Plans in progress. Frame, asbestos shingle roof, furnace.

Residence: \$10,000, 2 sty. and bas. Archt., Rodney Leonard, Peoples Life Bldg. Owner, Highland Park Realty Co. Owner builds and awards separate contracts. Excavated.

***Theatre** (fire rebuild). Archt., Rodney Leonard, Peoples Life Bldg. Owner, The Blynn Theater. Archt. receiving bids to close at once.

GARY.

***Home** (Sisters & Nurses): \$100,000. 3 sty. & bas. 5th & Tyler. Archt. not selected. Owner St. Mary's Mercy Hospital. Sister Superior M. Alphonsia, 5th & Tyler avenue. Brk. & re. conc. Contemplated.

Stores & Flats: \$20,000. 2 sty. & bas. 30x100. 44th & Broadway. Archt. L. Harry Warriner, 673 Broadway. Owner H. Gilestrom, care archt. Brk. & stone. Archt. taking bids.

***Temple** (Masonic): \$400,000. 5 sty. 101x106. N. E. cor. 6th & Jefferson, Gary. Archt., J. T. Hutton & Sons, 314 Hammond Bldg., Hammond, Ind. Owner Gary Masonic Ass'n. Bldg. Comm., L. Bain & A. M. Fisher, 1063 Madison St., Gary. Bedford stone. Prelim. plans. Mature spring.

Contracts Awarded.

Store and Apartments (2 Apts.), \$15,000, 2472 Broadway. Owner, Mid-City Realty Co., 2201 Broadway. General contractor, Mid City Realty Co. Start work shortly. Brick.

Residence: \$8,500, 4330 Washington St. Archt., L. Harry Warriner, 673 Broadway. Owner, E. A. Spaulding, 666 Connecticut St., Gary. General contract let to Hall Constr. Co., 679 Broadway. Brick veneer.

Apartment Building (3 apts.), \$10,000, 1812 Mass. Ave. Archt., D. S. Pentecost, 5th and Virginia. Owner, John Kukula, 1969 Connecticut St. General contract let to Vincent Chiabai, 300 W. 43rd St. On foundation. Brick and tile.

***Amusement Building** (bowling, pool, and club rooms), 2 sty., 25x125. \$20,000. Archt., L. Harry Warriner, 673 Broadway. Owner, Carres Bros., 762 Broadway. General contractor, M. Gerometta, 601 Delaware St. Brick, foundation in.

(Continued on Page 11)

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INDIANAPOLIS

HAMMOND.

Apartment Building: \$70,000, Renback and Ingraham Ave. Owner, M. Finneran, 501 Sibley St., contemplated, mature about March 1st. Brick.

***Printing Plant: \$25,000—and apartments.** Archt., Mac Turner, 633 Hohman St. Owner, Homer J. Postlewaite, 629 Hohman St. Bids in under advisement.

***Apartment Buildings (2)** \$15,000 each. 2 sty. & bas. 30x60. Archt., Mac Turner, 833 Hohman St. Owner, Mrs. T. Rushli, 54 Elizabeth St. Plans completed. Will probably not mature until about March 1st. Brick and tile.

***Garage and Salesroom:** \$30,000. 3 sty. & bas. 25x60. Douglass and Hohman Sts. Archt., Mac Turner, 633 Hohman St. Owner, Dr. R. O. Ostrowski, 716 Hohman St. Plans in progress. Mature late winter. Brick, terra cotta trim.

Residence & Garage: 2 sty. 31x45. A. McKay, % Archt. Plans in progress. Brick veneer.

RICHMOND.

***Commercial Garage & Store:** \$18,000.00. 1 sty. & bas. 40x100. Archt., C. E. Werking and Son, Palladium Bldg. Owner, A. J. Miller and Son. Revising plans. Owner ready for bids shortly. Brick, steel truss roof, metal sash.

Residence: (Colonial) \$13,000. 2 sty. & bas. 35x38, Cambridge City, Indiana. Archt., C. E. Werking and Son, Palladium Bldg., Richmond. Owner, John Peele, Cambridge City, Indiana. Owner receiving bids. Stucco over hollow tile, slate roof, furnace heat.

Store Building: \$10,000. 1 sty & bas. 26x68. Archt., C. E. Werking and Son, Palladium Bldg. Owner, Miss Helen Miller. Ready for bids shortly. Brick and hollow tile.

Contracts Awarded.

***Residence and Garage:** \$75,000.00. 2 sty. & bas. (18 rooms and 5 car garage) "Early English Type of Architecture." Archt., Herbert Spielman, 1210 Merchants Library Bldg., Cincinnati, Ohio. Owner, Charles A. McGuire, Richmond, Indiana. General contract awarded to William F. Henricks, Richmond. Heating and plumbing let to John Niewoehner, Richmond. Brick and stone.

***Gymnasium:** Economy, Ind. Archt., C. E. Werking and Son, Palladium Bldg., Richmond. Owner, J. Atkinson, Trustee, Economy, Ind. General contract (including htg., plmng. & wiring) let to Louis Morrison, Economy, Ind.

***Brookville:** Church, \$50,000.00. 1 sty. & bas. 64x98. Archt., R. G. Gotwald, 310 M. & M. Bldg., Springfield, Ohio. Owner, St. Thomas Lutheran Church, Rev. J. F. Flegler, Pastor, Brookville, Ind. Owner receiving bids to close October 28th. Brick, stone trim.

***Auburn:** Light Plant (machinery and general equipment) Owner, The City of Auburn, Glenn Potter, City Clerk is receiving bids to close 8:00 p. m., November 2nd, on the following:

First. One steam turbo generator, the same to be a 1000 K. W. (1250 K. V. A.)

Second. One Motor Driven Exciter, the same to be a 30 K. W., 125 volt, compound wound, direct-current, Excited Generator.

Third. One Condenser, the same to be of the low level jet type with a single impeller motor driven removal pump and a separate motor driven spray pond pump.

Fourth. One Switchboard, the same to be designed to control one 2300 volt, 3 phase, 60 cycle, 1000 K. W., 80 per cent. power factor, turbo driven generator, and one exciter panel to take care of one 125 volt, 30 K. W. Motor Driven Exciter.

Fifth. Two Centrifugal Pumps, said pumps shall each be designed to deliver 695 gallons of water per minute.

Covington: New Safe. Owner, Board of County Commrs., Himan W. Newlin, Auditor is receiving bids to close November 9th. at 2:00 p. m., on the following safe:

Outside measurements, 63 inches high, 28 inches wide, 26 inches deep.

Inside Burglar Proof Chest, 8 inches high, 14 inches wide, 9 inches deep.

Sealed proposals will also be received for a first-class second-hand safe as near the size as possible as the above specifications for new safe.

Vincennes: Window Glass Plant, \$1,000,000.00. Owner, The Blackford Window Glass Co., Frank Bastin, Prest.; Chas. A. Weisert, V. P. R. J. Dognaux, Secy.; Ira D. Schaffer, Treas., and the following directors: Antone Simon, C. B. Kessinger, Henry Ostendorf, John T. Brokhage, Jules Grumiaux, John B. Schmidt, R. DuBois, all of Vincennes. Plans are being prepared in London, England. Will start work soon as plans are received. Brick and steel. Plant will cover 6 acres.

SOUTH BEND.

***Hospital** (side addition of 5 sty. and bas.) and power plant: \$350,000. Archt., R. E. Schmidt, Garden and Martin, 104 South Michigan Ave., Chicago, Ill. Owner, Epworth Hospital and Training Sch., 123 W. Navarre St., South Bend. Plans nearing completion. Brick, fireproof construction.

Residence: (Duplex) \$8,000. 2 sty. & bas. 2818 Miami. Priv. plans. Owner & builder, Ira E. Ruth, 239 Broadway. Frame. Excav.

TERRE HAUTE.

Contracts Awarded.

***Residence:** \$7,000. Archt., Thomas & Allen, 25½ S. 5th St. Owner, William Asperger. General contract let to Wyeth and Son; plumbing let to O'Laughlin Bros., both of Terre Haute; heating let to Hayes & Balmer, Clinton, Ind.

***Bank and Office Bldg.:** \$100,000. "Twelve Points." Terre Haute. Archt., Shourds-Stoner Co., 511 Tribune Bldg. Owner, Twelve Points State Bank, Terre Haute. General contractor, North-Raffin Constr. Co.; painting let to Smock & Glass.

WHITING.

***Store:** \$18,000. 2 sty. & bas. 30x90. Whiting. Archt. Mac Turner, 633 Hohman St., Hammond, Ind. Owner, Wm. Vater, Whiting. Brick & steel t. e. trim. Will mature in spring, 1923. Plans drawn.

***Store Bldg. (2 stores),** \$15,000. 1 sty.

& bas. 90x35. Whiting. Archt. Mac Turner, 633 Hohman St., Hammond, Ind. Owner, P. Pollak, 626 119th St., Whiting. Brick. Mature spring, 1923. Plans drawn.

MISCELLANEOUS CITIES.

***Bloomington:** Theaters (2), rem. Archt., John L. Nichols, 204 S. Indiana Ave. Owner, Robert H. Harris, % Grand and Princess Theaters. Archt. taking bids.

***Kokomo:** Gymnasium, \$15,000. 1 sty. 50x100. Archt., Elmer E. Dunlap & Co., Harrison Bldg. Owner, Board of Education. Taking bids.

***Logansport:** Residence, 2 sty. & bas. Archt. Allen and Garriott, Masonic Bldg. Owner, Bert Wills, low-bidder on general contract, George W. Price, will award contracts shortly. Brick veneer.

***Martinsville:** Residence, 310 E. Harrison. Owner, H. C. Robinson, Martinsville. Site purchased, will build in spring. Frame.

***Portland:** High school, The Board of Education is considering the erection of a new high school bldg. in the spring to take the place of a condemned bldg.

Contracts Awarded.

***Kokomo:** Factory \$70,000. Owner, Kokomo Steel and Wire Co. General contractor, Indiana Bridge and Iron Wks. Muncie, Ind. Brick and steel, steel sash awarded to the Crescent Steel Co.

***Lafayette:** Factory, 1 sty., 50x120. Archt., Nicol, Scholer and Hoffman, Ross Bldg. Owner, Warren Paper Products Co., 803 N. 4th St. General contract let to Lafayette Engineering Co., 2088 N. 4th St. Brick and steel. Excavated.

Lapel: Church, \$25,000, Industry, Ind. (near Muncie, Ind.) Private plans. Owner, United Brethren Church, Industry, Ind. General contract awarded to Williams Construction Co., Lapel, Ind. Brk.

Monticello: Garages (2) \$9,000 each; 1 at Monon and 1 at Monticello. Owner, J. F. Horner, Lafayette, Ind. General contract let to Frank Poncebaker, Monticello, Ind.

***Muncie:** Jail (Rem. & Addition) \$30,000.00. (new storage bldg, laundry, new heating and plumbing systems, fireproofing) Muncie, Indiana. Archt., Houck and Smenner, 123½ West Main St. Owner, Board of County Commrs., Jos. P. Drago, Auditor. General contract let to A. J. Glazer, Muncie.

***Syracuse:** Power station, \$25,000. Owner, Town of Syracuse, Mr. Sanders, Atty. in charge. General contract awarded to Doty Bros., Milford, Ind.

Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field. Copy should reach us, at the latest, Wednesday of the week of publication.

SCHOOL HOUSE FURNITURE
NOTICE TO BIDDERS.

Notice is hereby given that the undersigned William H. Evans, as trustee of Center school township of Marion county, Indiana, and the advisory board of Center school township of said county and state, will, until the hour of 10 (Continued on Page 12)

a. m., on Saturday, the 4th day of November, 1922, at the office of said trustee, 412 Saks Bldg., located at the southwest corner of Washington and Pennsylvania streets, in the city of Indianapolis, Ind., receive sealed bids for the furnishing and installation of

130 stationary school desks and rears, assorted sizes.

35 adjustable school desks and rears, assorted sizes.

6 teachers' desks, 4 or 5 drawers.

1 six-foot office table, oak.

1 eight-foot office table, oak.

6 oak swivel chairs.

18 heavy oak leg chairs, office type.

300 opera chairs.

In the school building located at Raymond and Perkins streets, in the said Center township.

Delivery of above to be made within ten days of signing of contract.

Bidders are to submit samples of the above articles.

All proposals must be made on blank form No. 96 prescribed by the state board of accounts, which may be secured at the office of the board, and shall be accompanied by a certified check for not less than 3 per cent of the bid submitted, payable to the trustee of Center school township, Marion county, Indiana, and the said check of any accepted bidder shall be cashed by the payee, and the amount thereof retained by him as agreed liquidated damages, in the event that such accepted bidder fails to enter into a proper contract for the work for which his bid shall be accepted, and to give the proper approved bond required, within ten days from and after the date of the acceptance of such bid. All checks of unsuccessful bidders will be returned to the respective bidders.

Within ten days of the acceptance of any bid, the accepted bidder will be required to enter into a proper written contract with the trustee to perform the

bid and secure the contract by a proper bond with approved security for the faithful performance of such contract, according to the terms thereof.

Each bidder shall file with his bid the non-collusion affidavit required by statute.

The said school trustee and said advisory board, expressly reserve the right to reject any and all bids, and to take reasonable time to investigate the bids and qualifications of the respective bidders before acting on the bids submitted.

Dated this 14th day of October, 1922.

WILLIAM H. EVANS,
Trustee of Center School Township,
Marion County, Indiana.

FRED BROWN,
BOYD TEMPLETON,
WILLIAM C. KASSEBAUM,

Members of Advisory Board of Center Township, Marion County, Indiana.
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REGIONAL MEETING OF INDIANA ARCHITECTS AT FT. WAYNE SURPASSED EXPECTATIONS.

Several features Saturday, October 14, combined to make the regional meeting held at Ft. Wayne by the Board of Directors of the Indiana Society of Architects not only a success but one of the most interesting sessions ever held by the state architects. Great credit is due to President Guy Mahurin for his untiring efforts in planning an interesting program for the day, and to the other Ft. Wayne architects who turned out en masse to welcome the visiting members of the profession, their hospitable bearing contributing no small part to the enjoyment of the day.

The majority of the visitors, representing eight Indiana cities, arrived in Ft. Wayne close to the noon hour and assembled at the Chamber of Commerce where an informal lunch was served during which old acquaintances were renewed and new ones made, the period producing an atmosphere of congeniality fraught with sparkling good fellowship.

Later the architects were ushered to the assembly room of the Chamber of Commerce where the meeting of the Board of Directors of the Society was called to order. This regular monthly meeting, an open one in which all the architects were permitted to participate, developed much interesting general discussion dealing with various important subjects and conditions having a bearing on the state architectural practice. Many valuable points were made, some of them latent with promise, suggesting action which, when developed, will profit the profession. Owing to the confidential nature of the action suggested and its present embryonic state it is too early at this time to make any definite announcement of the proposals.

State Building Code Progress Arouses Interest.

Another matter of interest to the architects taken up at the meeting dealt with the steps that have been taken toward securing legislation that eventually will lead to the institution of a general state building code.

Secretary Eph Dailey of the Ft. Wayne Builders' Exchange, a member of the State Building Code Committee, and

J. H. Owens, Indianapolis, Field Representative of the Associated Building Contractors of Indiana, both spoke on the subject for the benefit of the architects making a complete report of how committees from the architects', engineers', contractors', and Labor associations are co-operating and working in this matter. While only the preliminaries have been gone into no opposition has been encountered to date and the State and other public officials have endorsed the proposed state code which has for its aim the standardization of building provisions throughout the state, providing for standard construction requirements, a minimizing of fire hazards, a serious consideration of the general safety factor, and matters pertaining to light and ventilation all of which is to protect the public welfare and stabilize construction costs in all localities of the state. The architects expressed themselves as well pleased with the progress that had been made and the co-operation that had been effected between the allied building interests.

There were matters of a routine nature taken up and disposed of chief of which were the reading of letters from the War Department and the Southern Commercial Congress. The former advocated that architects, where possible, afford employment to disabled World War Veterans, these men to be given positions as draftsmen, the government to pay the salaries under a provision made for the vocational training of disabled veterans. The directors moved that the architects of Indiana do what they could for these men in the way of employment when in need of drafting room help.

Appointed to Represent Society.

The communication from the Southern Commercial Congress was in the nature of an invitation to the Society to send representatives to the Congress which is to be held in Chicago, in November. Messrs. G. W. Allen, Laporte and A. F. Wickes, Gary, were appointed delegates to attend the proposed meeting.

With routine business disposed of adjournment was in order. At this juncture the Ft. Wayne architects stepped forward to propose an auto trip about the city. The remainder of the after-

noon was thus whiled away, the visiting architects being conveyed around the city to acquaint them with the great improvement strides Ft. Wayne is making. This was one of the most enjoyable features of the day, the architects being greatly impressed by the boulevard, park and building construction improvements that have been effected in the northern Indiana city.

Banquet in the Evening.

At the approach of evening the architects returned to the Chamber of Commerce where a banquet was held, resolving itself into a sort of jollification meeting. Informal talks were in order following a short address by Prest. Mahurin who expressed himself as greatly gratified at the turnout of the architects to the regional meeting and recommended that they be continued, predicting much good to be derived therefrom. Other architects who spoke were: Wilson B. Parker, Indianapolis, ex-Prest. of the Indianapolis Architects' Association, who suggested local architects' associations for the various Indiana cities; E. Hill Turnock, Elkhart, and Warren H. Miller, Terre Haute, both past presidents of the I. S. of A. Mr. Turnock expressed pleasure at the interest shown in, and the growth of, the Society. Mr. Miller advocated still greater effort along organization lines. M. S. Mahurin and Chas. Weatherhogg, both of Ft. Wayne also spoke as did Merrill Harrison, Indianapolis, who elaborated upon the necessity for and observance of business system and practices in the architect's office.

Stresses Upon Duty of Architects to Themselves and Their Function to the Community.

The principal address of the evening was made by Mr. Charles Niezer, Ft. Wayne, attorney, bank director and President of the local Chamber of Commerce, who said in part:

"You architects of Indiana are a part of a great industry and your professional connection with it makes your function all the greater. You are the creators of our buildings, our cities, and yours is a great responsibility in that the safety, health and physical welfare of our citizens are in your hands.

"If there is one thing more than any other that I would say to you it is main-

(Continued on Page 15)

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tain, guard and uphold your profession, your individual prestige can never be greater than that of your profession. Sometimes men are inclined to harbor petty jealousies, sometimes selfishness actuates men, and they seek to belittle the other fellow, but when a professional man belittles a member of his profession, he, in reality, belittles his profession. Don't do that, if anything, be bigger than your occupation; it is your actions that make for the prestige of your vocation.

"It is pleasing to know that you are organized, it is proper that you should be for professional people, through organization, can best express themselves for the good of the community to which they belong. And in this connection it seems to me you architects have the advantage, for, when other professions take a stand on certain moves the Public is inclined to suspect a selfish motive, but, I can see no chance for condemnation from the Public when the architects, as a whole, take action on a public event, occasion, or move.

A great weakness of human nature lies in the fact we are prone to compare, sometimes we misjudge, and the best counter action for this is to be found in association. Don't minimize association; it affords an opportunity to meet and know your fellow men. Association effort makes for efficiency. This is a day of efficiency and in reality it is our relation to each other that is conducive to this issue of the day.

The architects' profession, or business, is a great one, a big one, because it is not localized; you can build anywhere; you deal with practical things. Among the groups of men who should assume leadership in civic improvements are the architects. You should have your city associations, your regional meetings such as this one tonight, and your state society, that you may the better express yourselves and lead when the occasion demands.

To build is a great thing, but it must be done correctly for the buildings of a city is the city's dress. It is that which creates the greatest impression. The design is important for it contributes to the success of the enterprise housed within, it is a distinct asset to that success. The structure must reflect the owner or the project, it must reflect the character of the business. You architects are not brokers to erect aggregate masses, rather, you are creators, and should possess the conviction that will empower you to dictate the design.

Then, too, you men should study the influences that effect building, materials, conditions, and the labor problem. As for the latter, I know of no industry that has suffered so much from Labor's imposition as the building industry. The foolish, annoying, detestable labor jurisdictional disputes that have intruded must be overcome, done away with. The architects must take a stand in these matters and a militant organization of architects can do a great good in the building world.

Building depends on stability of property values and reasonable returns on building investments. That is the idea you architects must remember if building operations are to continue. You

men must be bigger than mere architects, you must be agents of service and enter into the life of your community.

Our cities are growing, growing fast, but they must grow in the right way, and must build so as best to serve the people. Herein lies the duty of the architects, they must guide and direct the future effort, for, there are no men more intimately related to the community than the architects.

These things I have said not complainingly, nor to find fault, but in the hope that you Indiana architects will appreciate the viewpoint of an outsider looking in upon you and his estimate of your position."

Architects present were: E. F. Miller, Anderson; Everett I. Brown, Bluffton; Oscar Hoffman, Decatur; E. Hill Turnock, Elkhart; A. F. Wickes, Gary; Wilson B. Parker, Steven Dark and Merritt Harrison, Indianapolis; G. W. Allen, Laporte; Warren H. Miller, Terre Haute; Wayne Bell, Sidney Bergseth, Leighton Bowers, F. G. Fortney, Charles Kendrick, Guy Mahurin, M. S. Mahurin, J. M. E. Riedel, A. M. Strauss, Henry J. Schnorr, Charles Weatherhogg, J. F. Willis, J. F. Wing, the last thirteen of Ft. Wayne; and these visitors, Eph. Dailey, Sec'y of Ft. Wayne Builders' Exchange, and J. H. Owens, Indianapolis, Field Representative of the Associated Building Contractors of Indiana, and Charles Niezer, Ft. Wayne.

THE SCHOOL ARCHITECT.

When you find a man who is on speaking terms with all the arts and sciences, who can speak with authority to the kindergarten teacher concerning the intimate details of her work, one minute, and the next, as convincingly discuss the latest domestic art method of washing dishes—

Who can change the views of a college president about the grouping of science departments, and can show the athletic coach a better gym—

Who can convince the majority in a teachers' meeting, or win assenting vote at a superintendents' conclave, and get the undivided attention of a mother's club—

Who can plan so well that all the school board will acclaim it and the taxpayers' league have no faults to find—

Then, when such a man is found and all are pleased and satisfied, if he can succeed in winning a confirmation vote, to raise the taxes, from retired farmers, wealthy has-beens, and all such, and after all is finished and the building stands a monument without fault and all are still his friends and ready to proclaim it—if such a man you have found, a reward is offered—he is a School Architect, indeed! Please send us his address.—Christopher Wren, in The National School Building Journal.)

BUILDING ACTIVITY PROMISED FOR WINTER WITH PROSPECT FOR ANOTHER BIG YEAR IN 1923.

Although the peak of building activities for the current season has been passed, construction work on homes is maintaining a volume in accordance with the remarkable record of the year. There

is every indication that, barring unusual seasonal interferences, building will continue throughout the winter. This year has been a remarkable one, especially in the construction of homes not only in Indiana, but throughout the nation.

As general business develops, men have steady employment, the desire to own a home will stimulate home-building to unprecedented proportions in 1923. Herbert Hoover says: "The desire for home ownership has without question stimulated more people to purposeful saving than any other factor."

Nothing could be of greater benefit to the nation than the increased practice of thrift which the growth of the home-owning movement indicates. Cities of home owners are bound to be communities of progress, happiness and right living.

The unusual activity in the residential districts of Indiana cities, especially in vacant property, can mean but one thing, and that is, lot values are on the increase. Especially so, is this noticeable in the larger cities, where home sites are being purchased every day. The trend of things indicates that there will be a greater number of homes built in 1923 for the owner's own use, than in 1922, which has broken all records.

TO BACK JURISDICTIONAL AWARDS BOARD TO THE LIMIT.

The forces aligned behind the National Board of Jurisdictional Awards are going to the mat with the carpenters' union in a determined effort to settle the metal door and trim question once and for all.

At a meeting held in Cleveland a few weeks ago which was attended by representatives of sixteen international building unions, such a program was drawn up with the assured co-operation of employers' associations affiliated with the National Association of Building Trades Employers as well as other contracting and employing organizations whose support of the jurisdictional award policy has been unwavering.

John Donlin, president of the Building Trades Department of the A. F. of L., presided at the meeting and announced the determination of the union representatives "to feel our obligations to the National Board of Jurisdictional Awards and to do our part in making its decisions effective at once."

This means that where contractors fail to recognize the award of metal door and trim work to the sheet metal workers, they will face the combined opposition of all the major building crafts. Heretofore, the carpenters have quite generally had their way because, though admittedly in the wrong, they have blindly persisted in striking on every job where sheet metal men were given the metal door and trim work. The resolution amounts to fighting fire with fire, or rather fighting strikes with strikes, because the unions supporting the award system do not mince words in saying that they will strike every job where the contractor gives in to the carpenters. (Monthly Bulletin of National Association of Building Trades Employers.)

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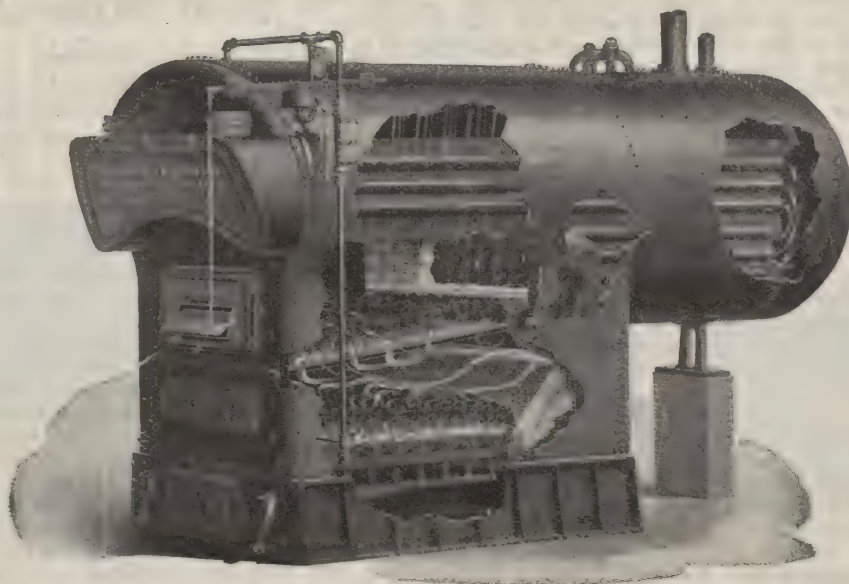
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Associated Building Contractors of Indiana

FRED W. JUNGCLAUS, President
Indianapolis

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Indianapolis

ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller-----President

Office, 411 Sycamore St.

FALL SEASON SWINGING ALONG WITH LATENT PROMISE.

Insted of the heretofore customary decline in building construction operations, that was inclined to crop out with the coming of Fall causing a decided let up in activity, the building industry in Evansville has shown a tendency to keep right on going. October got away to a good start the total estimated valuation of projects for which permits were granted during the first weeks amounting close to the entire September total. Local contractors say the industry is showing as much vigor, if not more, as was prevalent in the preceding months.

It is true that embargoes and delayed shipments made quite an effect in the material supply market but the steady demand for residential building continues strong to active. Under such conditions the material supply men have been untiring in their efforts to keep the contractor supplied with a fair degree of success. Prices have held steady and reasonable, only a few advances appearing in lines where the coal shortage caused undeniable production costs.

Even though there has been a great deal of house construction locally it will take some time to meet the housing requirements, a demand that assures another big home building year in 1923 under anywhere near favorable conditions.

Locally there is an exceptionally good market for modern priced, conveniently arranged bungalows and small houses to which not a few of the contractors have turned their attention.

THREE MILLION DOLLAR RAILROAD SHOP AND YARD IMPROVEMENT CONTEMPLATED.

Engineers for the Chicago and Eastern Illinois Railway, have taken active steps toward surveying proposed site just beyond the city limits at the Pigeon Creek crossing where it is contemplated to build yards, round house and shops, estimated to cost \$3,000,000. Plans and specifications for the proposed work are now being prepared by the railroad's construction department at Chicago. Active construction operations on this project will in all probability be begun early in 1923.

CHIPS AND SHAVINGS.

The new home for Miss Irma Schmitt on Scholtz Ave., is rapidly nearing completion, the contractors C. Kanzler and Son, figuring on turning it over to the owner about November 1.

Local contractors were busily engaged this week in figuring on a proposition to construct an additional story and a rear addition to the headquarters of the telephone company. The company is contemplating spending \$140,000 for construction improvements and extensions to the city telephone system.

Anderson and Veatch, general builders, who have erected numerous new homes in Evansville this year are continually signing up new contracts. Just the past week this firm began two more houses one on Mulberry street, and another one out on Washington avenue.

The Scarborough-Davies Co., well-known general contractors, the past week, finished the new addition for the Southern Indiana Gas & Electric Co.

FT. WAYNE

BUILDERS' EXCHANGE
Member State A. B. C.

Max Irmscher-----President

Eph Dailey-----Secretary
825 Calhoun St.

Phone 2001

VISITING INDIANA ARCHITECTS GREATLY IMPRESSED BY FT. WAYNE'S RAPID DEVELOPMENT.

The architects of the state, who attended the meeting of the Indiana Society of Architects at the Chamber of Commerce, Ft. Wayne, Saturday, October 14, were loud in their praise of the city following a site-seeing tour that the local architects put-on for the benefit of their guests.

Many of the visitors expressed surprise at the evidences of large building construction operations under way in the down town district and were favorably impressed by the evident business activity of the city as given by the general rush atmosphere imparted by the crowds on the streets.

Nor was that all; much favorable comment was volunteered regarding the city's residential development, its extent and character. A feature not overlooked was the boulevard system for residence streets and the numerous parks existing in various and sundry localities. The

idea was advanced by some of the architects that the Maumee, St. Mary and St. Joe Rivers lend possibilities for a fine general boulevard development at some future date.

It was gratifying to the local men to hear the many compliments passed on Ft. Wayne's impending growth, and to learn and know that the outside men connected so intimately with the building construction industry approve and appreciate Ft. Wayne's efforts.

CO-OPERATIVE EFFORT BETWEEN ARCHITECTS AND CONTRACTORS FURTHER DEMONSTRATED.

A further indication of the efforts being exerted by the architects and the contractors of the state toward co-operation for the advancement of the building industry was brought out Saturday, at the meeting of the Indiana Society of Architects when Secretary Eph Dailey of the Ft. Wayne Builders Exchange and J. W. Owens, Indianapolis, field representative of the Associated Building Contractors of Indiana, were invited to attend the gathering. These men members of the State Building Code Committee, composed of architects, contractors, engineers and labor men, explained to the assembled I. S. of A. members the steps that have been taken so far looking toward the securing of legislation for the establishment of a state building code. While only preliminary moves have been made the architects approved that which had been done and moved that these efforts be continued pledging unqualified support to the venture.

Mr. Dailey, a member of the State Legislature, in speaking to the architects endorsed the interest, as shown by their collective activity, being taken by the architects in civic affairs, and their effort to not only advance their profession but the building industry as well. He also spoke to the architects along legislative lines and methods of procedure in that direction.

General contractors Henry Wehrenberg & Son, were the recipients of the contract for the construction of a \$25,000 garage and shop for the General Electric Co.

Buesching and Buesching, general contractors, have started the construction of a new store and apartment building at Delaware and Kenwood avenues, Lakeside for Wm. Messerschmidt.

General contractor, Fred Rump, one of Ft. Wayne's best known builders, has just contracted to construct a new \$28,000 home for W. T. Shepard in Beechwood Circle. The residence will be of Colonial design containing 9 rooms.

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Member State A. B. C.

F. W. Jungclauss.....President
C. C. Pierson.....Secretary
320 Peoples Bank Building

MEETINGS.

Executive Committee meets second Tuesday each month.
Painter Contractors meet every Wednesday, 4.00 p. m.
Plasterer Contractors meet every Wednesday noon.
Mason Contractors Association meets every Thursday—1 P. M.
General Contractors meet second Friday each month.

PLANS ON FILE.

At 320 Peoples Bank Building,
Indianapolis.

None this week.

WAIVER OF LIEN.

None filed with Recorder of Marion County, this week.

NICE VOLUME OF SCHOOL BUILDING CONSTRUCTION IN PROSPECT.

The decision of the local school to continue upon its extensive building program, part of which was held in abeyance for a time means that Indianapolis will see an active school building construction campaign to be started, in all probability, early next spring. As now planned there will be six new buildings, two additions to present school structures and also a general utility shop and storage building. Plans for several of these projects have been completed, having been drawn several months ago though actual construction operations were postponed. It is more than likely that bids on these buildings will be advertised for this fall, while the plans for the others are to be prepared this winter so that bids can be received and the contracts let soon after the first of the year.

The amount of money to be involved will be quite a sum and will add materially to next year's building total. This item is just another promising prospect for the 1923 season's building business.

BUT TWO CONTRACTS OF ANY SIZE AWARDED THIS WEEK AT INDIANAPOLIS.

While there were several announcements in Indianapolis building circles of new projects for which architects have been selected or plans begun, the movement of actual new construction to be started was somewhat slow, only two contracts of any size being awarded. One of these was for the new home for

nurses and an administration building at the City Hospital and went to the Cornell Engineering Co., at \$320,000; the other contract covered the construction of a new Masonic Lodge Building out on Roosevelt avenue, the successful contractor being Leslie Colvin, whose bid was \$59,000.

THEN CAME THE END.

"Jimmie" Hodgson, the well-known and popular Indianapolis brick-mason contractor is disconsolate.

No, it isn't because of business, for he has been more than busy this season and is still going strong expecting to complete a fine year when finis must be written across 1922.

You see, "Jimmy" in addition to being an expert mason is also considerable of a horticulturist, therein lies the cause for his present state of mind, and right now he is no friend of the weather-man, who has so lavishly frosted the air these October mornings.

There is quite a plot of ground out at 4528 Winthrop avenue, upon which this eminent mason built a home, and when it was completed the landscape about it, bestudded with forest trees, made quite a setting. However, the grass and trees were not enough for the owner, who sought to further enhance the environment with flowers. He began early in the spring by making flower beds, sowed numerous seeds, and set out plants, and since then has kept right on "horticulating," devoting hours innumerable to his new charges. Nor were his efforts in vain, he developed one of the prettiest yards on the north-side. But, when a contractor goes through such a building year as the last one has been he don't find much time during the sunlit hours to sit around and enjoy his yard, so, "Jimmy" had the place wired for electricity and at nights had a veritable fairyland wherein he could relax and, beneath a myriad of sparkling lights, survey the banks of nodding flowers.

Thus was the summer of his being filled with contentment, and, no less, pride, as his friends admired and went into ecstasies over the result of his efforts.

Came Fall with a gradual chilling of the air, bringing to "Jimmy" forebodings. Nor have these proved groundless, the frost has come and the garden spot is no more, instead the faces of the flowers are wrinkled and shriveled, the leaves have curled and blackened, dark like the nights when no longer the lights glisten to reveal the beauty and set forth the music of the flowers to their owner.

Disconsolate yes, but who is there to blame him?

BUILDING PERMITS.

(\$4,500 and Over)

Week of Oct. 12th to Oct. 19.

Salesroom & Garage: \$50,000. 1136 No. Meridian. Owner, Meridian and 12. St. Realty Co., % Indiana Battery Service Co., 1007 No. Meridian. General contractor, Hall Construction Co., Board of Trade Bldg. Excavated.

Residences (9 doubles) \$27,000. Total: 3222 to 3272 MacPherson Ave. Owner, Frank F. Woolling, 416 Saks Building.

Owner builds and buys materials. Frame.

Store Building (7 stores) \$14,000. 1 sty. 55x125. 29th and Clifton. Owner, Guthrie-Thompson Co., 10 East Market St. General contract let to Benj. A. Branson, 1502 West 26th. St. Frame and stucco. Excavating.

Residences (2 doubles) 642-48 East 54th St. \$12,252.00. Total. Owner, Elizabeth A. and Roger W. Wallace, 2102 No. Delaware St. General contract let to Homer H. Negley, 2833 No. Talbott. Excavating.

Residence: \$10,000. 3202 Washington Blvd. Owner, Merle N. Walker, 200 Indiana Trust Bldg. Excavating.

Church: \$9,000. 1062 So. Pershing St. Owner, Second Free Methodist Church, Rev. Frank W. Johnson, Pastor, 1062 So. Pershing St. General contract let to A. J. Evans, 1442 So. Belmont St. 1 sty. & bas. 34x66.

Residence (double) \$8,200. 327-29 No. Jefferson. Owner, Harry Hacker, 2218 East Washington St. General contractor, Moslander and Son, Indianapolis Securities Bldg.

Residence (double) \$8,200. 323-25 No. Jefferson. Owner, Louis Katzenberger, General contract let to N. A. Moslander and Son, Indianapolis Securities Bldg.

Residence (double) \$8,000. 5120-22 College. Owner, Bartholomew and Son, 3720 Salem St. Owner builds.

Residence: \$8,000. 5136 E. New York St. Owner, Ernest C. Goble, 924 Oxford St. General contract let to W. C. LeFeber, 440 No. Rural St.

Residence. (double) \$7,500. 1125-27 Parker St. Owner, C. W. Boucher, 955 Eastern Ave.

Residence: (double) \$7,500. 630-32 No. Riley St. Owner, O. H. Bell, 626 No. Riley Ave. Owner builds.

Residence: \$7,000. 319 No. Emerson. Owner, Harvey E. Rogers, 322 East 47th. Owner builds.

Residence: \$7,000. 4920 Washington Blvd. Owner, Hal Gary, 4155 Park Ave.

Residence (double) \$6,000. 3105-07 E. 11th. Owner, Chas. E. Rhoades, at site.

Residence: \$5,000. 4214-16 Carrollton. Owner and builder, Realty Finance and Bldg. Co.

Store: \$5,000. 3826 E. Wash. Owner, Chas. O. Enoch, 638 E. Washington. Contract let to John Shedaker, 380 So. Sherman Drive.

Residences (2) 4619 Broadway, \$7,500. and 4623 Broadway, \$8,000. Owner and builder, Fred W. Jenkins, 4221 Central Ave.

Residences (3) 5202 Park Ave. \$8,000. 530 and 532 East 52nd. St. \$5,500 each. Owner and builder, George W. Watkins, 3436 Winthrop St. Brick veneer and frame.

Store and Dwelling: \$8,000. 3431 West Michigan. Owner, Leo Loscent. General contract let to C. C. Urban, 456 Berwick St.

Residence: \$6,000. 5302 College. Owner, Geo. K. Henderson, 1153 College. General contract let to W. A. Sides, 121 Garfield.

Residence: \$5,000. 773 No. Riley. Owner, J. T. Bramlett, 769 No. Riley. Day work.

Residence: \$4,500. 757 No. Wallace. Owner, The Spann Co. General contract to J. N. Schooley, 801 So. Pershing St.

Residence (double) \$4,500. 3109-11 East St. Clair St. Owner, William F. Steck, 512 Patterson St. Owner builds.

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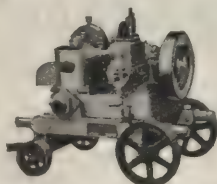
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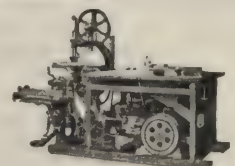
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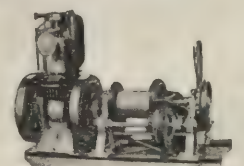
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General contractors meet second and fourth
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Much of the strength and solidarity of Organized Labor can be attributed directly to the fact that it is continually devoting its effort to devise ways and means to develop conditions that will be of benefit to its members. To accomplish these things the organization pays men, and pays them well, to do the thinking for the membership, analyzing conditions, checking up on the trend of things, so as to better arrive at conclusions that will profit the workmen.

Lobbyists are employed to attend the legislature's sessions in each state, and a strong lobby is maintained to look after Labor's interests at Washington, D. C. The workmen stick to the Labor organization because they realize that it has been instrumental in securing the passage of laws bringing about shorter working hours, others that, through safety devices, have reduced the danger hazard, the prohibition of child labor, better sanitary conditions, and compensation in case of injury. Nor is it beyond the range of possibility that before long Labor may secure the passage of an old age pension law under which old workmen may be retired after years of faithful service and be assured of a livable compensation for the rest of their days.

Many of these laws were met with opposition from various employers when they were introduced, but Labor "put them over" and are now acknowledged to be good legislation.

A good way to counteract the far-reaching influence of Organized Labor would be for the employers to give more attention collectively to the betterment of working conditions and exert an influence to make them more attractive.

A few large employers such as Sears, Roebuck, the Harvester Co., Marshall Field & Co., the Standard Oil Co., and several others have instituted pension systems for their old employees and you never hear of Labor troubles in those institutions although the rate of wages may not be as high as those paid by other firms. The crux of the situation lies in the fact that the employees of these firms will not quit their positions unless their grievances are of a very serious nature. They are strong for their pension rights and are not keen about losing them. Many of these firms, too, have arranged for committees to

represent the employee and the employer in the adjustment of grievances.

There have been numerous cases where radical and unscrupulous leaders of Organized Labor have used the power of the Unions to their own individual interests for self advancement and pecuniary gain to the detriment of the organization and the workman and while the exposure of such acts has not caused the men to break away, nevertheless, the disclosures have not set well with the rank and file. If the employers could take an active interest in their employees' welfare and disabuse the suspicion that it was actuated by a selfish motive the workmen would be only too glad to cooperate for they are with the Union because of the benefits it brings to its members. If the employers would assure as much to the workmen, demonstrate an unbiased interest in the affairs of their employees they would experience less labor trouble and agitation from the outside.

A GOOD INDICATION.

The building barometer in the last few days has been showing the effect of a slight depression. Things must be slackening up to some extent as men have been dropping around occasionally looking for work.

ENOUGH TO UPSET ANYONE.

Who can blame them for being a bit peeved? Morris Bros. were all set to execute a contract for the erection of a two-story store and flat building at Kenwood and Madison street, when along came a realtor to advance the information that the site was within restricted territory and that the building of such a nature was taboo.

SOMEWHAT AHEAD OF SCHEDULE.

It is hard to give up the idea that the summer season with its recreation is no longer with us. However, weather conditions in Hammond, October 13th, brought the realization that summer is no more. Just when a fishing excursion had been planned a fifteen minute flurry of snow broke in upon us, the first one of the season. Not only that, Florida seems a long way off.

E. E. COLE.

MUNCIEAssociated Building Contractors
Member State A. B. C.Chas. Rowe ----- President
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314 Main Street

FLAT BUILDING CONSTRUCTION EXPECTED TO BE INAUGURATED.

The next development in the way of housing facilities in Muncie is expected to turn to flat and apartment buildings of which the city is somewhat shy. There have been many houses built in the past two years, probably over a hundred during the 1922 season and the residential sections of the city have been extended and broadened considerably.

With Muncie growing as it is there has already cropped out a demand for closer in living quarters, a demand betokened by inquiries for flats and apartments of which the supply is limited. Hence, there are local builders who look for activity before long that will have to do with the construction of the popular American flat building.

APPRENTICE SCHOOLS CAN BE MADE A REALITY WITH A LITTLE EFFORT.

Harking back once more to the idea of more apprentices in the building trades and schools in which to train these young men attention is called to the fact that Federal aid is obtainable in promoting such schools. This aid is made possible through the Smith-Hughes act and consists of financial assistance from the government in instances where the local school authorities will agree to stand a share of the expenses.

That the scheme works out is evidenced by the fact that at Cleveland, Ohio, there is an apprentice brick-laying school in operation under the above-mentioned law with the local school board in full control. This school is fashioned after the idea of improving the knowledge and workmanship of the students in the art of brick-laying, these students being actually employed by contractors as apprentice brick-layers. Each student is excused from his work one forenoon a week to attend the school and is paid full time by his employer for the period he puts in at the school. At present there are 165 students, each class consisting of 35, there being five sessions a week.

The three hour sessions are divided into two periods the first being devoted to drafting and the theoretical side of masonry, the latter period being given over to performing with bricks and mortar the actual operation that was previously studied. Before a pupil is asked to lay a brick will in a certain manner, he first takes a T square and pencil and lays out the successive courses of brick, including corners that make up the particular bond in question. The design, of course, must be such that successive courses super-imposed on each other do not bring any part of any joint in the two courses above each other. Carefully laid sections of different types of wall stand in the working laboratory for purpose of reference. The boys here are taught the following types of wall bond: English, Flemish, Garden, Herringbone, English Cross, and Dutch.

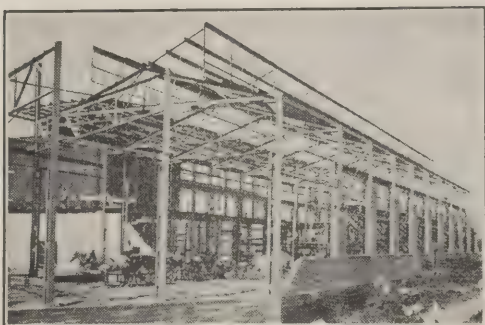
Succeeding this part of the course comes the study of piers, arches, of camber, segment, and semi-circular types, as well as bull's eye, and three forms of gothic arch. The making of mantles and fireplaces has a succeeding place in the course.

Does not this Cleveland school suggest possibilities for Indiana? What Ohio can do, so can Indiana, if she is so minded, especially when government assistance is offered. If the contractors really want more and better apprentices they can obtain them by a little work with the educational authorities who must be sold on the proposition.

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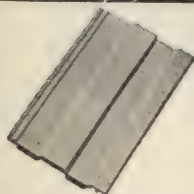
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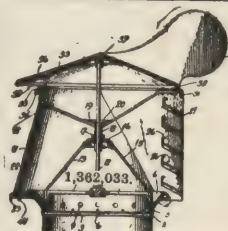
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INDIANA CONSTRUCTION RECORDER

FOR
ARCHITECT
ENGINEER

Devoted to the
Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

Vol. IV

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BIG CONGRESS AND SHOW PLAN- NED IN INTEREST OF BETTER HIGHWAYS.

An organization, insuring conditions that will be as nearly one hundred per cent perfect as possible, is being formed by the American Road Builders' Association to handle the arrangements for the Thirteenth American Good Roads Congress and Fourteenth National Good Roads Show, to be held in Chicago, January 15 to 19 next.

While most of the important features of last year's show will be retained many new and novel features will be added. The program for the congress has been revolutionized and instead of holding the sessions at the Chicago Coliseum where the show will be housed, they will be held at the Congress Hotel. It is believed that this will insure a better attendance at each session while the show will continue without interruption. The arrangement, too, will eliminate all the noises heretofore so disturbing to the speakers and convention delegates.

Almost immediately following the last congress and show the American Road Builders' Association revised its constitution and by-laws to some extent and elected new officers and directors. Thomas J. Wasser, the new president, appointed to the Executive Committee Charles M. Upham, state highway engineer for North Carolina, James H. MacDonald, consulting highway engineer, New Haven, Conn., and treasurer of the road builders' organization, and J. H. Cranford of the Cranford Paving Company, Washington, D. C. E. L. Powers, secretary, became ex-officio a member. Meanwhile exhibitors at the last good roads show perfected the Highway Industries Exhibitors' Association, with headquarters in Chicago, for better co-operation in making the next show a

greater success than any held heretofore.

The Executive Committee of the A. R. B. A. created a special Convention and Show Committee to have supervision of all arrangements for both of next year's events, consisting of C. M. Upham, as chairman, and James H. MacDonald, both representing the A. R. B. A., and S. F. Beatty, Chicago, president of the exhibitors' organization. The general committee has created a number of sub-committees on program, reception and hotel, entertainment, registration, exhibits, banquet, local press, transportation and general publicity. Each sub-committee will be composed of active members of the road builders' organization who have had experience with past expositions and conventions.

The Exhibits Committee has employed a professional director of exhibits and the Publicity Committee has employed an experienced publicity man as director of publicity. The director of exhibits will be C. W. Kelley of Chicago, who has staged some of the biggest expositions in the country.

According to Chairman Upham of the general arrangements committee the chief difficulty will be in providing space for all the exhibits, though arrangements will be made for all the additional space that it is possible to obtain. "The program for the congress," said Mr. Upham, "as it is now being worked out, will be entirely different from any that we have had heretofore. Instead of avoiding controversial subjects as in the past, the program will consist of controversial subjects of vital interest to the whole road-building industry. This will heighten interest in the sessions and will provoke interesting and informative oral discussions.

"The Highway Industries Exhibitors' Association," continued Mr. Upham, "is working in close touch with those in active charge of the arrangements."

The general offices of the American Road Builders Association have been moved from 11 Waverly Place, New York, to 37 West Thirty-ninth St., New York, and while the work of arranging for the congress and show, for the most part, will be carried on there, headquarters will be opened in Chicago at an early date.

STATE HIGHWAY COMMISSION READY TO LAUNCH BIG ROAD IMPROVEMENT CAMPAIGN.

The Indiana state highway commission will start off its 1923 building program

with construction in the north part of the state that will link Indianapolis and the Michigan state line with a continuous stretch of pavement with the exception of 60 miles between the south line of Miami county and Plymouth, Director John Williams has announced. The commission will open bids for the new roads November 15.

Four projects are planned which will add 45 miles of hard surface road to the state highway system. Three of the projects are north of Indianapolis on state road No. 1. The fourth is on state road No. 6, between Indianapolis and Lebanon, and is for 11 miles on the Indianapolis end. The other projects are designated as follows:

Range Line road in Hamilton and Tipton counties from three miles south to nine miles north of Tipton county line, a distance of 11.8 miles.

Range Line road in Hamilton county from Carmel to three miles south of Tipton county line, 12.1 miles.

Michigan road in St. Joseph county from South Bend to county line, 10.6 miles.

Other roads, which it is understood will be added to the 1922 program are the following:

Lincoln highway, 12 miles in each direction from Fort Wayne.

Bootjack road from Michigan City to New Carlisle, 12 miles.

Dixie Bee line from Evansville, seven miles north.

French Lick trail, from Evansville to Vanderburgh county line, seven miles.

To begin the 1923 construction, the highway commission will receive bids on November 1, for 189,900 barrels of cement, which it is expected will cost \$375,000.

The state highway commission recently held a conference in Chicago with J. T. Fosvell, district engineer in the federal bureau of public roads. Wisconsin, Michigan and Illinois also were represented at the conference.

The Indiana commission agreed at this conference to meet all neighboring states at the state lines with connections for federal aid roads. This program means eventually 10 connections with Illinois roads, seven with Kentucky, eight with Ohio and five with Michigan.

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News of the Week

The asterisk (*) prefix to an item indicates additional information to report published in previous issue.

INDIANAPOLIS.

***Sewage Disposal Plant** (Division No. 3) Consulting Engineer, Charles H. Hurd, 1405 Merchants Bank Bldg. Owner, Board of Sanitary Commissioners, Jay A. Cravens, Prest.; John L. Elliott, V. P.; Lucius B. Swift, Secy., City Hall. Owner receiving bids to close 10:00 a. m., November 14th. Note extension of date for closing of bids.

1. Activated Sludge Plant:
a. Aeration and settling tanks, including pipe gallery and connection conduits.

b. Air mains, air distribution system, sewage, sludge and drain piping.

c. Sludge gates and gate valves.

d. Air control and drain valves.

e. Diffuser plates.

f. Air and sewage meters and recorders.

g. Sludge removal equipment erected

2. Power plant Auxiliary Equipment.

a. Boiler settings and breaching.

b. Coal storage bunker.

c. Coal handling equipment.

d. Power plant piping.

e. Boiler feed pumps and regulators.

f. Feed water heaters and softening system.

Office Building and Stores: \$750,000.00. 12 sty. & bas. S. W. corner of Washington and Pennsylvania. Site of old Saks Bldg., Indpls. Archt., Architectural Department S. S. Kresge Co. Owner, S. S. Kresge Co. (5 & 10 cent stores) Detroit, Michigan. Preliminary plans in progress. Present leases expire February 1st. Will ask for bids in February. Brick, reinf. concrete, and steel, comp. roof, steam heat, elevators, copper set store fronts.

***Bank & Office Building** (side addition) 7 sty. & bas. \$500,000. Archt., Vonnegut, Bohn and Mueller, Indiana Trust Bldg. Owner, Meyer-Kiser Bank, Indianapolis. Plans in progress. Ready for bids about December 15th. Brick, Terra cotta front.

Waterworks System: \$30,000. Monticello, Indiana. Engineer, Chas. Brossman, 1503 Merchants Bank Bldg., Indianapolis. Owner, City of Monticello, Ind. Correspondence % Archt. Plans in progress. Will advertise for bids in 60 days.

Power Plant: (375 H. P.) 1 sty. & bas. 45x60. Newark, New York. Archt. and Engineer, McMeans and Tripp Co., 5th floor Majestic Bldg., Indianapolis. Own-

er, Edgett-Burnham Co., Newark, New York. Owner ready for bids. Concrete, comp. roof, steel sash, concrete or brick stack, boilers.

***Gymnasium and Community Building:** \$15,000. Keystone and E. 10th St. Archt., The Elmer E. Dunlap & Co., 1050 No. Delaware St. Owner, East Tenth St. M. E. Church, Dr. George S. Henninger, Pastor, 2323 East 10th St. Archt. receiving bids. Brick veneer, asbestos roofing, steel windows, iron & steel work.

Residence (14 rooms & 3 baths and 3 car garage) 44th and Broadway. Archt., Fernor S. Cannon, 21 Virginia Ave. Owner, Herman Deupree, 2927 Broadway. Plans in progress. Brick, vapor heat, slate roof, tile & hardwood floors. Dutch Colonial design.

Bakery (rem.) 18 No. New Jersey St. Archt., D. A. Bohlen and Son, Majestic Bldg. Owner, Taggart Baking Co., 18 No. New Jersey St. Bids in; under advisement. Work consists of the installation of an automobile elevator, spiral stairway, steel sash, concrete work, galv. iron work, elevator doors, painting, glazing, brick work.

Temple (Hebrew) \$40,000. 1 sty. & bas. 1027 South Meridian St. Archt. Everett H. Crabb, 1112 State Life Bldg. Owner, Congregation of Kneseth Israel, 547 Eddy St., Rev. Philip Adelman, Rabbi, 943 Maple St. Archt. receiving bids. Brick.

Grade Schools (2) 8 rooms each. No. 30 on North Elder Ave. and No. 38 at 2068 Winter St. Archt., The Elmer E. Dunlap & Co., 1050 No. Delaware St. Mechanical Engineer, Snider and Rotz, Merchants Bank Bldg. Owner, Board of School Commissioners, Walter J. Twinn, Business Director, 150 No. Meridian St. Architect selected. Brick.

***Department Store:** \$70,000. 3 sty. addition 17x195 & 2 sty. top addition to present building, 67x137. 311 West Washington St. Archt., Batchelder and Scales, Board of Trade Bldg. Owner The Fair Store, Louis Traugott, Prest., 311-21 West Washington St. Bids in; under advisement. Expect to award contracts within the next few days. Brick, terra cotta, metal lumber, heating (radiation) 2 passenger elevators, plumbing, orn. plaster, parquet flooring, struct. steel frame constr. comp. roof.

Dormitory (for girls) \$50,000. 2 sty. & bas. University Heights, Indianapolis. Archt., L. H. Sturges, 527 Board of Trade Bldg., Indianapolis. Owner, Indiana Central College, I. J. Good, Prest. & Board of Trustees, University Heights Indianapolis. Plans nearing completion. Ready for bids soon. Brick.

***Bank** (Rem. from Hotel Lobby and Store Room) "St. Dennis Hotel, Columbus, Ind. Archt. McGuire and Shook, 320 Indiana Pythian Bldg., Indianapolis. Owner Union Trust Co., Columbus, Ind. Archt. receiving bids to close November 15th. Work will consist of reinf. concrete vault, vault doors, tile and marble work, stone trim, new bank fixtures, decorating and painting, electric wiring and general alterations.

Residence: \$10,000. Blue Ridge Addition. Private plans. Owner, Scott C. Legge, Apartment No. 17, 2102 No. Meridian Street. Plans in progress. Frame.

Residence: \$7,000. cor. 40th. and Rookwood. Private plans. Owner, Fred Smart, 311 West 39th. St. Plans in progress. Ready for bids in 10 days. Frame.

Residence: \$10,000. 2 sty. & bas. cor. Maple Road Blvd. and Rookwood. Private plans. Owner, Adolph F. J. Baur, % Baur and Steinkamp, (Florists) 38th and Rookwood. Mature about March 1st.

Contracts Awarded

Theatre (seating 1200) and stores (8) \$125,000. 2 sty. 94x136. Archt. and builder, Ostrom Realty Co., Peoples Bank Bldg. Owner Gustave G. Schmidt, owner of the Crystal Theater, 119 No. Illinois St. Plans in progress. Will start work shortly on 8 store rooms; theatre portion will be built later. Brick, comp. roof, steam heat.

***Factory:** \$200,000. 4 sty. & bas. 60x200, Nevada St. & Ludlow Ave. Archt. and builder, Thompson and Binger Construction Co., 709 Indiana Pythian Bldg. Plans completed. Start work soon. Brick, reinf. concrete floor & roof constr. freight elevator, comp. roof, steam heat.

***Masonic Temple:** 2 sty. 36x70. East 10th and Gray Sts. Archt., Rubush and Hunter, 428 American Central Life Bldg. Owner, Brookside Park Masonic Lodge, No. 818, 2801½ East 10th St. General contract let to Service Construction Co., 419 Castle Hall Bldg. Frame.

***Garage & Salesroom** (side addition) 1 sty. & bas. 50x150. 443 Virginia Ave. Archt., Robert Frost Daggett, Lemcke Annex. Owner, Wangelin-Sharp Co. (Ford Dealers) 443 Virginia Ave. General contract let to John Curry Constr. Co., Lombard Bldg. Start work shortly. Brick. Heating and plumbing not let.

***Garage** (14 cars) rear of Apartment Bldg. Archt. Bass, Knowlton and Co., 312 No. Meridian St. Owner, J. L. Avery, 452 East Walnut St. General contract let to Walter C. Kelly Co., 3936 Cornelia Ave.

Apartment Building: \$15,000. 2 sty.



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VENTILATORS

& bas. 27x114. 3835 East Washington St. Private Plans. Owner, W. T. Ayres, 130 No. Drexel. General contract let to J. W. Taggart, 127 Linwood. Frame and stucco. Excavating.

Residence: -10,000. 3964 No. Illinois. Private plans. Owner, F. M. Champion, 3742 Kenwood. General contract let to A. B. Kirkpatrick, Martindale & 32nd. St. Excavated.

CONNERSVILLE.

Filling Station: \$5,000. Archt., H. M. Griffin, McFarlan Bldg. Owner, Connorsville Oil Co., 14th & Eastern. Ready for bids shortly. Terra cotta, comp. roof, hot water heat, low pressure boiler.

***Residence & Garage:** \$15,000. Glenwood, Ind. Archt., Karl P. Henkel, 107 Heinemann Bldg., Connorsville. Owner, Sheridan Daubenspeck, Glenwood, Ind. Owner builds. Work started. Brick.

EAST CHICAGO.

***Bank Building** (includes offices and stores). \$150,000, 3 sty. and bas., 60x99. Forsythe and Chicago Ave., East Chicago. Archt., K. M. Vitzthum and Co., 605 N. Michigan Ave., Chicago, Ill. Owner, First National Bank, East Chicago, Ind. Plans in progress, will probably not ask for bids before spring. Brick and stone comp. roof, steam heat, tile and marble work, new bank fixtures, reinf. concrete vault, vault doors, safe deposit boxes, copper-set store fronts.

***Club House,** \$100,000, 3 sty. and bas., 57x100, Magoun and Chicago Ave.

Archt., Joseph F. Kraft Co., East Chicago. Owner, B. P. O. E., Julius Friedman, Chmn. Bldg. Com. Contractor (for foundation work only), H. B. Olney, 4028 Parish Ave., Indiana Harbor, Ind. Will not build superstructure until spring.

ELKHART.

Contracts Awarded

***Factory:** \$100,000. 1 sty. 400x172. Archt., Mundie and Jensen, 39 So. La Salle St., Chicago, Ills. Owner, Curtain Supply Co., Elkhart. General contractors, Elkhart Realty & Housing Corp. Elkhart. Plumbing let to Wm. H. Dreves, Elkhart. Foundation in.

***Residence** (Colonial) \$15,000. Warsaw, Ind. Archt., A. H. Elwood and Son, Elkhart. Owner, Allan S. Widaman, Warsaw. General contractor, H. W. Sailor, Warsaw. Heating & plumbing let to F. E. Philpott, Warsaw. Foundation in.

EVANSVILLE.

***Factory Building:** 3 sty. & bas. 58x200. Jasper, Indiana. Archt., Clifford Shopbell and Co., Furniture Bldg., Evansville. Owner, Hoosier Desk Co., W. E. Cox, Prest., Jasper, Ind. Owner receiving bids to close November 6th. at 2:00 p. m. (See sealed proposal advertising in this issue) Brick, concrete foundation, comp. roofing, steel sash, fire doors, sprinkler system, maple flooring.

Bank (Alteration & Rem.) \$25,000. Mt. Vernon, Illinois. Archt., Harry E.

Boyle & Co., Furniture Bldg., Evansville, Owner, Han National Bank, Mt. Vernon, Ills. Plans in progress. Work will consist of new stone front, reinf. conc. vault, vault door, bank fixtures, steam heating system and general interior alterations.

Church: \$20,000. 1 sty. & bas. 32x60. Garvin and Louisiana Sts. Archt., Anderson and Stingle, 108 Upper 4th. St. Owner, Christ Luthern Church, Rev. H. Shunk, Pastor. Garvin and Louisiana Sts. Plans in progress. Brick, stone trim.

Apartment Building: \$500,000.00. 3 sty. and bas. about 150x350. (60 apts.) foot of Mulberry St., Evansville. Archt., The Donaldson System of Construction, J. W. Donaldson & Co., 201 Security Bldg., St. Louis, Mo. Owner, Chester Vaught, % Evansville Structural Supply Co., and John O. Davis, V. P. Old National Bank, Evansville. Owners have obtained an option on the site. If it can be purchased the building will be started within 30 days. Brick, stone trim.

Creamery Building: 1 sty. 48x144. Archt., Alfred E. Neucks, 515-16 Peoples Bank Bldg. Owner, Evansville Pure Milk Co., 8th and Walnut Sts., Evansville. Plans in progress. Brick, steel trusses, comp. roof, steel sash.

Residence: \$7,500. (5 rooms and bath) Archt. Alfred E. Neucks, 515-16 Peoples Bank Bldg. Owner, R. H. Brockman, 307 Adams Ave. Plans in progress. Brick veneer over wood, asphalt shingle roof, furnace.

Contracts Awarded

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40x80) Archt., Alfred E. Neucks, 515-16 Peoples Bank Bldg. Owner, The General Cigar Co. General contract awarded to M. J. Hoffman Construction Co., Furniture Bldg. Roofing let to H. W. Johns-Manville Co. Brick.

*Garage and Salesroom: \$50,000. 2 sty. & bas. 75x150. Archt., Clifford Shopbell and Co., Furniture Bldg. Owner, Fellwock Auto Co., 3 Upper 4th St. General contractor, M. J. Hoffman Constr. Co. Excavated.

Kiln: \$10,000. 60x30. Private plans. Owner, Karges Furniture Co. General contract let to M. J. Hoffman Constr. Co. Brick.

Coal Yards: Owner, Evansville Coal Co., Chas. W. Cook, Prest. General contract let to Scarborough-Davies Constr. Co.

FT. WAYNE.

*Masonic Temple: \$450,000. Archt. Chas. R. Weatherhogg, 250 West Wayne St. Owner, Associated Masonic Trustees, Ft. Wayne. Plans completed. Archt. ready for bids in 10 days. Brick, fireproof constr.

*Masonic Temple (Mizpah Temple \$300,000. Archt., Guy Mahurin, Lincoln Life Bldg. Owner, A. A. O. N. M. S. Mizpah Temple, Chas. A. Meigs, Illustrious Potentate, 1012 Calhoun St. Plans completed. Archt. ready for bids in 10 days. Brick. "Arabic Design."

School Building (12 class rooms) 2 sty & bas. "McCullough School") . Archt., Guy Mahurin, Lincoln Life Bldg. Owner, Board of School Trustees, Byron H. Somers, Prest., Henry J. Bowerfind, Secy. Will advertise for bids at once, closing date will probably be set for November 27th. Brick.

*Residence & 2 car Garage: \$20,000. Harrison Hill Blvd. & Cornell Circle. Archt., Pohlmeier and Pohlmeier, Central Bldg. Owner, Dr. M. B. Thompson, % Ross College of Chiropractic, West Jefferson St. Archt. revising plans. Pressed brick, tile roof.

Parochial School: \$75,000. Archt. not selected. Owner, North Side Lutheran Parochial School, North Side, Ft. Wayne. Contemplated.

*Church (Sunday School, Parish house & Auditorium) Fairfield Ave. and Berry Sts. Owner, New Congregational

Church, William J. Hess, Chmn. Bldg. Conim., 1345 Maple St. Plans in progress. Mature late this fall. Brick, stone trim. 1 sty. & bas. 118x66 and 56x97.

*Bank and Apartments: (Rem. and alteration) \$25,000. Ligonier, Indiana. Archt., A. M. Strauss, 705 Shoaff Bldg. Owner, Citizens Bank, Ligonier, Ind. Bids in; under advisement. Brick, tile work, heating, plumbing.

*Residence (Colonial) \$15,000. 2 sty. & bas. 50x26. Lake and Delta Aves. Archt., F. G. Fortney, Bass Block, Owner, Miss Susan Simminger. Archt. receiving bids. Brick veneer, shingle roof, furnace heat, tile floors in baths.

*Residence & Garage: \$60,000. 2 sty. & bas. 88x66. & 40x50. Forest Park Ave. Archt., J. M. E. Riedel, 305 Noll Bldg. Owner, G. Max Hofmann, 1118 Calhoun St. Archt. receiving bids. Stucco & frame, tile roof, central heating plant, marble & tile work, vacuum cleaning system, hardwood floors.

*Residence & Office: (includes operating rooms, laundry, waiting room & 3 car garage) 2 sty. & bas. 70x35. New Haven, Indiana. Archt. J. M. E. Riedel, 305 Noll Bldg., Ft. Wayne. Owner, Dr. Cowen, New Haven, Ind. Archt. receiving bids. Brick, Spanish tile roof, vapor heat, hardwood & tile floors.

*Church: \$150,000. 2 sty. & bas. Archt. Guy Mahurin, Lincoln Life Bldg. Owner Plymouth Congregation, Rev. Arthur J. Folsom, 120 East Tabor St. Plans completed. Archt. ready for bids in two weeks. Brick and stone.

*Garage & Salesroom: \$80,000. Archt. Pohlmeier and Pohlmeier, Central Bldg. Owner, name withheld for present. Plans completed, mature about January 1st. (Previously incorrectly reported as awarded) Brick, reinf. conc. & steel, comp. roof, steam heat, ramp, steel sash. 2 sty. & bas. 90x150.

*Swimming Pool: Archt., Griffith and Goodrich, 211 East Berry St. Owner Y. W. C. A. Miss Ida L. Jones. Secy. Bids in; under advisement. Reinf. conc.

*Baking Plant: 4 sty. and bas. Archt., The McCormick Co., 51 Park Row, New York City. Owner, Craig Biscuit Co., Gustave L. Scheffler, Pres., 115 Montgomery St., Ft. Wayne. Plans in progress, will not be ready for bids until March 1st. Brick, ready construction.

Contracts Awarded

Packing Plant: 1 sty. 60x60. Lincoln

Highway. Archt., Chas. R. Weatherhogg, 250 West Berry St. Owner, The Frank Parrot Meat Market, 224 East Main St. General contract let to Buesching and Hagerman Constr. Co., 402 E. Superior. Brick.

Residence & 2 Car Garage: \$15,000. Oakdale Drive & So. Wayne. Archt., Pohlmeier and Pohlmeier, Central Bldg. Owner, William Klett, % Klett and Sons Lumber Co. General contract let to Crowell and Weikliffe. Excavated.

*Hotel (300 rooms and baths), \$1,000,000, 12 sty. and bas., 150x52, cor. Washington and Harrison Sts., "Hotel Keenan." Archt., Chas. Weatherhogg, 250 West Wayne St. Owner, Keenan Hotel Co., James Keenan, Pres., % The Anthony Hotel, Ft. Wayne. General contract awarded to Fleisher Construction Co., 606 Builders Exchange Bldg., Minneapolis, Minn. Start work at once. General contractor desires bids on all sub trades, 3 stys to be Bedford stone, upper stys. to be ornamental brick with terra cotta trim, power plant in sub-basement, including ice-making machinery, incinerators, laundry, water softener plant, vacuum cleaning system, cafeteria, billiard rooms, barber shop, toilets, kitchen and culinary dept., bakery, storage rooms, locker rooms, dining rooms in basement, 3 store rooms on ground floor, also dining room, check rooms, ladies' rest rooms and lobby.

*Bank and Office Bldg., \$1,250,000, 14 sty. and bas., 150x92, West Berry St. Archt., Thomas M. James Co., 3 Park St., Boston, Mass. Owner, First and Hamilton National Bank, Chas. W. Worden, Pres., Calhoun and Berry Sts., Ft. Wayne. General contractor, Max Immscher and Sons, 118 W. Berry St., Ft. Wayne. Misc. iron let to Atlas Iron and Steel Co., Detroit, Mich. Working on foundation. Brick, frpf.

*Insurance Building: \$2,000,000, 3 sty. and bas., 277x231. Harrison and Breckenridge Sts., Ft. Wayne. Archt., Benjamin W. Morris, 101 Park Ave., New York City. N. Y. Consulting Engineer, Clyde R. Place, 70 E. 45th St., N. Y. City. Owner, Lincoln Life Insurance Co., Arthur Hall, Pres., Lincoln Life Bldg. General contractor, Hegeman-Harris Construction Co. (without competition), 185 Madison Ave., New York City. Erecting steel, stone and granite construction.

(Continued on Page 11)

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INDIANAPOLIS

HAMMOND.

*Dairy Building: \$100,000. 2 sty. & bas. 80x152. Archt., A. C. Berry and Co. Owner, Hammond Dairy Co., 680 Oakley Ave. Bids close October 30th. at 5:00 p. m. Brick, reinf. concrete and steel.

Cabinet Shop: \$10,000. High School Bldg. Archt., A. C. Berry and Co. Owner, Board of Education. Plans in progress. Brick.

*Printing Plant & Apartments: \$30,000. Archt. Mac Turner, 633 Hohman St. Owner, Homer J. Postlewaite, 629 Hohman St. Low bidder on general contract. George P. Pearson and Son, \$25,500. Expect to award contracts at once. Brick.

Bungalows: (10) \$5,000 each. Bunnell Addition. Owner and builder, Charley Rhoads. Start work soon. Frame.

Contracts Awarded

*Ice Cream Plant (addition) \$25,000. Archt., The McCormick Co., Century Bldg., Pittsburgh, Pa. Owner, The Hydrox Co., E. J. Bridges, Prest., 24th and Lake Park Ave., Chicago, Ills. General contractor, Rowley Bros., 332 So. LaSalle St., Chicago, Ills. Temporarily in abeyance owing to leases; may not mature before February.

*Store Building: \$15,000. 2 sty. 25x100. Archt., Mac Turner, 633 Hohman St. Owner, Samuel Tigay, % Winner Clothing Co. General contractor, Wm. Jones, Michigan Ave., Hammond. Excavated. Brick.

LOGANSFORT.

Residence (Country Estate) \$100,000. Between Star City and Kewanna, Ind. English type of architecture. Area of site, 25 acres. Archt., Allen and Garriott, Masonic Temple Bldg., Logansport, & 401 Lombard Bldg., Indianapolis, Ind. Owner, W. H. Graffis, (Publisher) Chicago, Illinois. Plans in progress. Ready for bids about January 1st. Will include, gate keepers lodge, farm buildings, barns, 2 out door swimming pools, private water system, sewage system, private electric plant, garage.

SOUTH BEND.

Apartment Building: 3 sty. & bas. 80x80. Archt., Austin and Shambleau, 111 No. Lafayette. Owner, Thomas Murdock, South Bend. Archt. receiving bids. Brick.

Contracts Awarded

*Lodge and Offices: \$300,000. 6 sty. & bas. 82x90. Lafayette and Jefferson Sts. Archt., Austin and Shambleau, 111 No. Lafayette. Owner, Knights of Pythias Lodge No. 14, David C. Gibson, Treas. General contract awarded to Hay and Weaver Construction Co., 127 East Sample St. Heating and plumbing let to Chas. M. Oberlin & Co., 111 Lincoln Way, all of South Bend. Start work immediately. Brick.

*Store Building (2 stores) Archt. Austin and Shambleau, 111 No. Lafayette. Owner, George Sands, Farmers Trust Bldg. General contract let to Hay and Weaver Construction Co., 127 East Sample St. Brick.

TERRE HAUTE.

*Residence: \$15,000. 2 sty. & bas. 37x62. Archt. Johnson, Miller and Miller, 30 No. 5th St. Owner, Joe Moore, Terre Haute. Bids rejected. Will revise plans and take new bids about March 1st. Brick and stucco.

Contracts Awarded

*Residence: \$15,000. Archt., Shourds-Stoner Co., 511 Tribune Bldg. Owner, Mrs. A. J. Jeswick, % Archt. General contract E. J. Workman, 435 Willow St. Brick veneer and stucco, tile roof.

UNION CITY.

Contracts Awarded

*Township School (Rem. & Add.) \$60,000.00. 2 sty. & bas. Jackson Township, Randolph County, Indiana. Archt. C. E. Losch, Union City Owner, Thomas W. Kemp, Trustee, Union City, Indiana. General contract awarded to Bert Arbaugh, Portland, Indiana. (General contract was awarded subject to the sale of school bonds on November 16th; if bonds are sold work will be started at once.

MISCELLANEOUS CITIES.

Hartford City: Factory (addition) Structural Engineer, Mills, Rhines, Bellman and Nordhoff, 1234 Ohio Bldg., Toledo, Ohio. Owner, Ft. Wayne Corrugated Paper Co., N. L. Cody, Gen. Mgr. Murray and Barr Sts. Preliminary plans in progress. Details undecided.

*Scipio: School building (addition) \$27,391.04. School Dist. No. 7. Geneva Township, Jennings County, Indiana. Archt. Frank J. Rettig, North Vernon, Indiana. Owner, John T. Richardson, Trustee, Scipio, Indiana. Owner receiving bids at the school house in Scipio until 1:00 p. m., November 14th. Brick.

Contracts Awarded

*Michigan City: Masonic Temple, \$100,000. Archt., Nicol, Scholer & Hoffman, Lafayette. Owner, Masonic Temple Bldg. Assn. General contractor, Henry Koehn, Michigan City. Foundation in.

WANTED.

We wish to purchase immediately a good second-hand building 75 to 90 feet wide and 550 to 600 feet long, to be used as a structural steel warehouse and fabricating shop. We would wish to purchase in connection therewith a traveling crane 10 to 20 tons capacity.

We are principally interested in the steel frame work, including columns, trusses, bracing and crane girders. We are also interested in a traveling crane therefor. Moreover, the building we purchase must have sufficient height for the purpose it is to be used.

If you have anything of this nature to offer, please give us full data as to price, tonnage, dimensions, capacity of the various supporting members, etc. What would be better is a blue print giving all dimensions, details, sizes, etc. INTERNATIONAL STEEL & IRON COMPANY, Evansville, Indiana.

ADVOCATES BUILDING THROUGH GENERAL CONTRACTOR AS MOST SATISFACTORY WAY.

Declaring that the letting of one general contract for all parts of a building in a big job is more desirable than the letting of numerous smaller contracts, G. A. Bucholz, general secretary of the Associated Contractors of America, makes the following statement:

"The awarding of separate contracts for the several portions of the work to different contractors is not often practiced, and where tried has usually proved unsatisfactory and uneconomical. The reason advanced for the application of this policy is that it is more economical. Experience has shown that that is not the case. While the sum total of the separate contracts often amounts to less than the lump sum of the general contractor, the final and ultimate cost of the structure is greater, owing to the great number of extras necessary to correlate the work of the several separate contractors. The project very often suffers on account of the lack of harmony, if not open hostility, between the sub-contractors.

"General contractors of responsibility and reputation are disinclined to compete where the proper co-ordination of the project is outside their control. Owners, therefore, lose the benefits of high class competition."

Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field. Copy should reach us, at the latest, Wednesday of the week of publication.

FACTORY BUILDING. NOTICE TO CONTRACTORS.

Notice is hereby given that the undersigned will at its office in the city of Jasper, Indiana, receive sealed bids for the erection of a three-story factory building at Jasper, Indiana, until 2 o'clock p. m., Saturday, November 4th, 1922. Said building to be three stories high, constructed of brick and 200 feet long and 58 feet wide.

Said bidder will be required to accompany his bid with a certified check of \$1000.00 payable to the order of the undersigned Hoosier Desk Company. The successful bidder will be required to enter into a good and sufficient bond in the sum equal of his contract bid.

Said Company reserves the right to reject any and all bids.

HOOSIER DESK COMPANY,

W. E. Cox, President.

Oct. 28th, 1922

SCHOOL HOUSE FURNITURE NOTICE TO BIDDERS.

Notice is hereby given that the undersigned, William H. Evans, as trustee of Center school township of Marion county, Indiana, and the advisory board of Center school township of said county and state, will, until the hour of 10 (Continued on Page 12)

a. m., on Saturday, the 4th day of November, 1922, at the office of said trustee, 412 Saks Bldg., located at the southwest corner of Washington and Pennsylvania streets, in the city of Indianapolis, Ind., receive sealed bids for the furnishing and installation of

130 stationary school desks and rears, assorted sizes.

35 adjustable school desks and rears, assorted sizes.

6 teachers' desks, 4 or 5 drawers.

1 six-foot office table, oak.

1 eight-foot office table, oak.

6 oak swivel chairs.

18 heavy oak leg chairs, office type.

300 opera chairs.

In the school building located at Raymond and Perkins streets, in the said Center township.

Delivery of above to be made within ten days of signing of contract.

Bidders are to submit samples of the above articles.

All proposals must be made on blank form No. 96 prescribed by the state board of accounts, which may be secured at the office of the board, and shall be accompanied by a certified check for not less than 3 per cent of the bid submitted, payable to the trustee of Center school township, Marion county, Indiana, and the said check of any accepted bidder shall be cashed by the payee, and the amount thereof retained by him as agreed liquidated damages, in the event that such accepted bidder fails to enter into a proper contract for the work for which his bid shall be accepted, and to give the proper approved bond required, within ten days from and after the date of the acceptance of such bid. All checks of unsuccessful bidders will be returned to the respective bidders.

Within ten days of the acceptance of any bid, the accepted bidder will be required to enter into a proper written contract with the trustee to perform the

bid and secure the contract by a proper bond with approved security for the faithful performance of such contract, according to the terms thereof.

Each bidder shall file with his bid the non-collusion affidavit required by statute.

The said school trustee and said advisory board, expressly reserve the right to reject any and all bids, and to take reasonable time to investigate the bids and qualifications of the respective bidders before acting on the bids submitted.

Dated this 14th day of October, 1922.

WILLIAM H. EVANS,
Trustee of Center School Township,
Marion County, Indiana.

FRED BROWN,
BOYD TEMPLETON,
WILLIAM C. KASSEBAUM,
Members of Advisory Board of Center
Township, Marion County, Indiana.
-Oct. 21st & 28th.

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Boilers, Electric Motors, Rock Crushers.

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Fast freight trains daily between all points.

Dispatch freight shipments handled on all passenger cars. The up-to-date way of handling RUSH SHIPMENTS.

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BURNS FUEL OIL. NON-INFLAMMABLE. NON-EXPLOSIVE

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Indianapolis Building Materials

LUMBER.

Framing Lumber.

2x4 in. 8, 16 ft.—No. 2 common	\$44.00
2x4 in. 18, 20 ft.—No. 2 common	46.00
2x6 in. 8, 16 ft.—No. 2 common	42.00
2x6 in. 18, 20 ft.—No. 2 common	44.00
2x8 in. 8, 12, 14, 16 ft.—No. 2 common	46.00
2x8 in. 18, 20 ft.—No. 2 common	44.00
2x10 in. 8, 12, 14, 16 ft.—No. 2 common	44.00
2x10 in. 18, 20 ft.—No. 2 common	46.00
2x12 in. 8, 12, 14, 16 ft.—No. 2 common	44.00
2x12 in. 10, 18, 20 ft.—No. 2 common	47.00

Same—No. 1 common, add \$8.00 per M to above quotations.

Boards.

Yellow Pine, S & S., 1x4 in.—No. 1 common	\$50.00
Yellow Pine, S & S., 1x4 in.—No. 2 common	37.50
Yellow Pine, S & S., 1x6 in.—No. 1 common	52.50
Yellow Pine, S & S., 1x6 in.—No. 2 common	44.00
Yellow Pine, S & S., 1x8, & 10 in.—No. 1 common	55.00
Yellow Pine, S & S., 1x8, & 10 in.—No. 2 common	45.00
Yellow Pine, S & S., 1x12 in.—No. 1 common	65.00
Yellow Pine, S & S., 1x12 in.—No. 2 common	50.00

Bevel Siding.

6 in. clear redwood	\$65.00
6 in. select poplar	70.00
8 in. clear cypress	75.00

Drop Siding.

Yellow Pine, 1x6 in. Clear	\$70.00
Yellow Pine, 1x6 in.—No. 1 common	60.00
Yellow Pine, 1x6 in.—No. 2 common	45.00
Yellow Pine, 1x8 in.—No. 1 common	60.00
Yellow Pine, 1x8 in.—No. 2 common	47.00

Finish.

Yellow Pine, 1x6 in. to 10 in.	\$ 90.00
Yellow Pine, 1x12 in.	110.00
Cypress, 1x12 in.	150.00
Cypress, 1x6 in. to 10 in.	140.00

Hardwood Flooring.

Oak Flooring	\$130.00
Maple Flooring	130.00
Edge Grain Flooring	110.00
No. 1 Yellow Pine Flooring	75.00

Yellow Pine Flooring.

1x4 in. clear flat grain	\$85.00
1x4 in.—No. 1 common	65.00
1x4 in.—No. 2 common	42.00
1x6 in.—No. 1 common	55.00
1x6 in.—No. 2 common	45.00

Shingles.

Oregon cedar, clear 5-2 in.	\$8.00
Extra XAX, 6-2 in.	7.00

Wood Lath.

48 in. No. 1 Cypress Lath	\$12.00
48 in. No. 1 Hemlock Lath	12.00
48 in. Yellow Pine	10.00
32 in. No. 1 Cypress Lath	7.00
32 in. No. 1 Hemlock Lath	7.00
32 in. Yellow Pine	5.50

CLAY PRODUCTS.

BRICK.

Common, F. O. B. cars, Indianapolis	\$15.50 to \$16.50 M.
Face, F. O. B. cars, Indianapolis	23.00 to 40.00 M.

HOLLOW CLAY PARTITIONING TILE.

Size (Inches)	Wt. Each	Pcs. to Min C/L	Deld. from Stock M.
3x12x12	15 lbs.	3570	\$84.00
4x12x12	16 lbs.	3200	95.00
6x12x12	22 lbs.	2400	123.80
8x12x12	30 lbs.	1800	169.00
10x12x12	35 lbs.	1500	192.00
12x12x12	42 lbs.	1200	238.90

BAKUP TILE.

Size (Inches)	Wt. Each	Pcs. to Min C/L	Deld. from Stock M.
4x5x12	9 lbs.	5000	\$ 45.92
5x8x12 (2-cell)	15 lbs.	3200	76.50
5x8x12 (3-cell)	17 lbs.	3200	86.75

GYPSUM BLOCKS.

Size (Inches)	Wt. Each	Pcs. to Min C/L	Deld. from Stock M.
3x12x30 Hollow			From Warehouse \$132.00
4x12x30 Hollow			154.00

FLUE LININGS.

Size (Inches)	Wt. Each	Pcs. to Min C/L	Deld. from Stock M.
Flue Linings, 8 1/2 x 8 1/2			Joint \$0.60
Flue Linings, 8 1/2 x 18			.90
Flue Linings, 8 1/2 x 18			1.35
Flue Linings, 18x18			1.15
Flue Linings, 18x18			1.75

Flue Linings, 18x18	2.25
12 inch Round Lining	1.35

WALL COPING.

Size (Inches)	Per ft.
9 in.	\$0.20
13 in.	.30
18 in.	.60

Angles, three times price per ft.

CEMENT BLOCKS

Plain—8 in.x12 in.x16 in.	\$0.22 each
Rock Face—8 in.x12 in.x16 in.	.25 each
For fittings, corners, window blocks, add 25c.	
For Water-Proof Blocks add two cents per block.	

LIME, CEMENT AND PLASTER

LIME.

Finish	Each
Hydrate, 50 lb. paper sacks	\$0.47
Mason's Hydrate, 50 lb. paper sacks	.40
Chemical Hydrate, 50 lb. paper sacks	.52
Single Bags, any kind	.65
Lump Lime, bulk	per cwt. .75

CEMENTS.

Portland	Each
Portland, paper bags	\$0.90
Portland, cloth bags	.95
White Portland, cloth bags	2.60
Bricklaying	.66 and .75
Cloth sacks included, returnable at 7c each.	

PLASTERS AND FINISHES.

No.	Each
No. 1, Prepared, 1st coat, cloth sack	\$0.60
No. 2 Prepared, 2nd coat cloth sack	.60
Special, Prepared Metal Lath, cloth sack	.65
Single Sack, any kind	.75
Plaster—Unsanded (Neat) 80 lb. paper sacks	.78
Plaster—Unsanded (Neat) 100 lb. cloth sacks	1.05
Single Sack, paper	1.00
Wood Fibre, 100 lb. paper sacks	.75
No. 1 Moulding Plaster, 100 lb. cloth	1.40
No. 1 Moulding Plaster, 80 lb. paper	1.10
Michigan Stucco, 100 lb. cloth	1.00
Plaster Paris, satin finish, paper	1.00
Superior Plaster Paris, 80 lb. Pa.	1.00
Keene's Cement, 100 lb. cloth sack	2.00
White Trowel, Prepared, 80 lb. cloth sack	1.30
White Sandflat, Prepared, 100 lb. cloth sack	1.25
Retarder, (at yard)	pound, .12
Cloth sacks included, returnable at 7c each.	

MORTAR FOR BRICKLAYING.

Carney's cement, cloth, per bag	\$0.75
Brixment, paper, per bag	.66
Brixment, cloth, per bag	.70
Cloth sacks included, returnable at 7c each.	

MORTAR COLORS.

Red	Pound
100 lb. sacks	.02 1/2
Buff, 100 lb. sacks	.03 1/2
Chocolate Brown, 100 lb. sacks	.03 1/2
Black, Dble. Str., 100 lb. sacks	.05 1/2
Black, Sgl. Str., 100 lb. sacks	.03 1/2
Special Chocolate, 100 lb. sacks	.04 1/2
In quantities less than 1 sack	.06

SAND.

White Silica	Ton
White Silica, bulk	\$ 8.00
White Silica, cloth sacks	10.00
Michigan, bulk	5.50
Michigan, cloth sacks	7.50
Cloth sacks included, returnable at 7c each.	

ROOFING MATERIALS.

Slate Surface	Square
(8 inx12 3/4 in.)	\$6.25
Slate Surface, strip shingles	6.00
Colors—Red, Green or Blue-Black.	

ROLL ROOFING.

Green Slate Surface	Roll
Red Slate Surface	\$3.00
Blue Black Slate Surface	3.00
Class C Heavy, 55 lb. (3 ply)	2.40
Light (1-Ply) 35 lb.	2.40
Black Waterproof Paper, 500 sq. ft.	1.75
	1.50

ASPHALT AND PITCH.

No. 82 Asphalt	Per 100
Pitch	\$5.00
	3.00

SUNDRIES.

Tins, Gal.	\$0.10
Cleats, Clinchers, etc., Bdl.	.25

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They are only 7/16 inch thick and 1 1/8 inches wide, or about half the width and thickness of wood frames.

Owing to the durability of the frames, we use only non-rusting wire cloth woven from commercial bronze wire.

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The screen doors reflect more clearly, perhaps, than any other one thing the quality of a screen installation. Higgin Doors are built to order. In width of rails, finish, and kind of wood used, they match the corresponding house doors.

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"Your Individual Prestige Can Never Be Greater Than the Prestige of the Profession to Which You Belong"

ARCHITECTS' REGIONAL MEETINGS OFFER VALUABLE OPPORTUNITIES TO INDIANA PROFESSION.

So interesting and promising was the regional meeting of architects held by the Board of Directors of the Indiana Society of Architects at Ft. Wayne recently that every effort is to be made to perpetuate these gatherings, they offering a promising method for the future development of not only the state architects' association but the various ramifications of the architectural profession. A big feature of such gatherings is that it will have a tendency to tie the profession together, in that it will bring the architects together, acquaint them with each other intimately, make them known as man to man, and go a long way to eradicate the atmosphere of mistrust, jealousy and suspicion that, regrettably, it must be admitted has had a tendency to creep in and hold the members of the profession apart.

As in all matters where men are concerned there is the human element to be considered, all men are not alike; they have their own way of doing things, some see from one point of view, others from another, and still others from a different angle. When they can be brought together and, knowing each other, talk things over, the chances are that their estimates of each other will be tempered by a better degree of understanding than if all remain more or less strangers.

Then, too, there is a feature of the architectural profession that few take into consideration, it has to do with the competitive nature of the architectural practice. Regardless of training, educational facilities, etc., all architects are potential competitors and it has been the keen nature of this competition that has tended to hold the professional whole split up into individual units. Some architects may hold that they are not in competition with each other yet, indirectly, they are subject to this competitive element for to the majority of prospective builders who know nothing of actual architectural service, an archi-

tect is an architect, a man who draws plans. Therefore, when said prospective builders get ready to build they frequently look upon the architectural professional field as a large one from which to select their man.

Right here is where association effort will count. If architects can be brought together, can learn to know each other, seek to pursue the best professional methods, render a real service, and endeavor at all times to maintain the high standard of their profession, they will not only respect each other, but, will bring deserved credit to their calling. That is one of the things that is possible through acquaintanceship afforded through association, a thing that no architect in Indiana should discount.

Another regional meeting in all probability will be held at Terre Haute the second Saturday in January, an invitation having been extended by Architect Warren D. Miller of that city, to the Board of Directors to meet there. This next regional meet is some distance off because the next meeting of the directors is to be held at Indianapolis, Saturday, November 11th, and the regular semi-annual meeting of the Society will intervene in December, this latter affair also to be staged at Indianapolis.

PRACTICABILITY HAS EXTENDED SCOPE OF ARCHITECTS' FUNCTION.

The point was made at Ft. Wayne that the problems of the architects today are bigger and broader than were those of the architects who, centuries ago, built the magnificent cathedrals and castles of Europe.

Those structures, while grand and beautiful, and showing infinite patience on the part of the designer or designers, did not involve the study that modern, practical buildings do, was the contention of Mr. Charles Niezer, who spoke to the architects in attendance at the recent meeting of the Indiana Society of Architects. He had been referring to his recollection of the beautiful cathedral

of Milan and other such structures, mentioning their wonderful ornamentation. Then he reverted to the practical requirements of the present day architect as compared with those of the architects of previous centuries. He stressed upon the modern architects' necessary ability to treat with lighting, heating, ventilation and sanitary principles as required in modern building to meet the requisites necessary to the healthful welfare of the people. These things he said were not demanded of architects years ago, for the wonderful cathedrals were not intended to be lighted or heated and ventilation and sanitation were unthought of.

Therefore, he held that the function of the architect today is far greater than in the ages past.

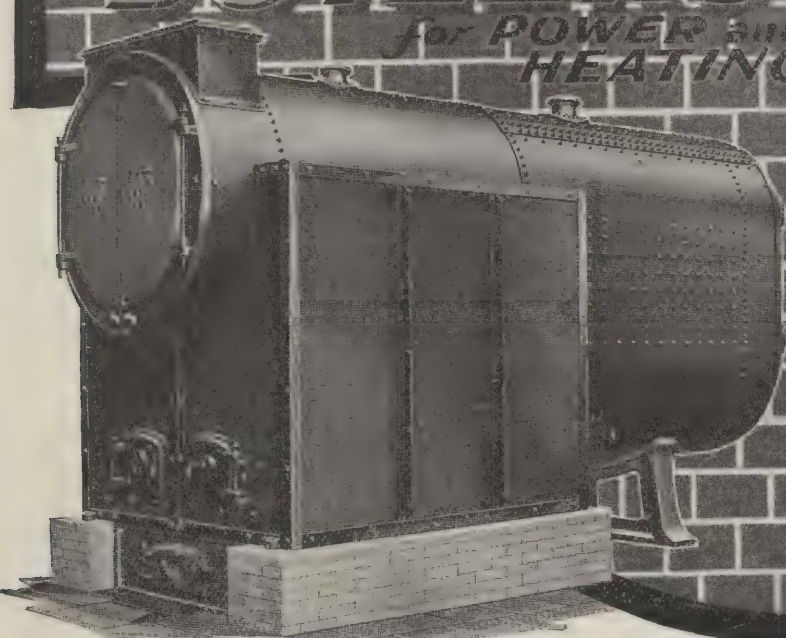
He also referred to the matter of elevators, efficiency in the handling, disposal and distribution of the crowds of people that now tenant our great buildings, fire resistive problems, suitable arrangements, etc., things that failed to perplex or even require attention under the old order of construction.

SUGGESTIONS FROM MEMBERS WELCOMED.

Every member of the Indiana Society of Architects should make it his specific duty to the organization and his profession to talk the Society to those architects in his city or territory who are not enrolled as members.

The Society is out to accomplish things for the state architectural profession and it needs the effort and moral support of every architect in the state. The Society is working not for individual returns to a few architects but in the interest of the profession as a whole.

The membership committee, of which Architect George W. Allen, La Porte, Ind., is chairman is busy and will be only too glad to help you enroll your fellow architect as a member of the Society. You individual architects, on the other hand, can greatly aid the committee by submitting names of men who should be members or, by offering suggestions that you may think would help in building up the state architects' association.



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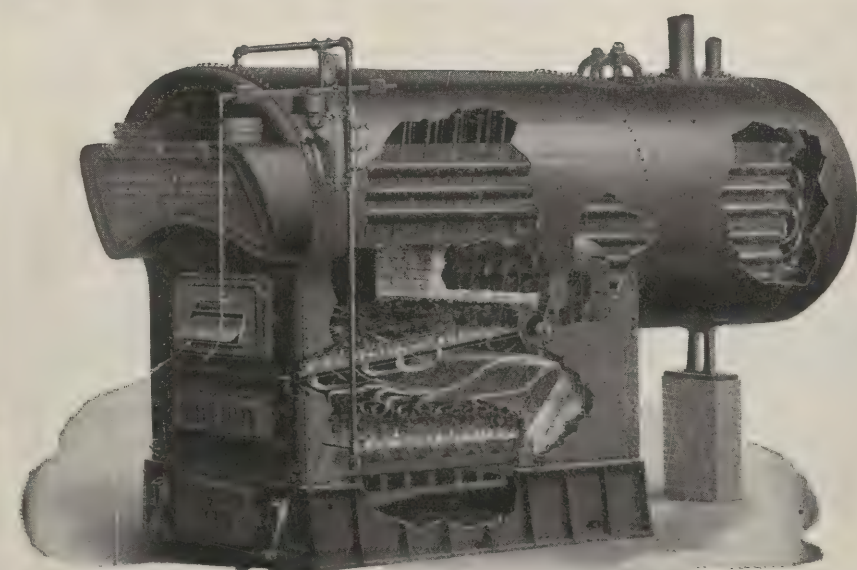
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Official Paper

Associated Building Contractors of Indiana

FRED W. JUNGCLAUS, President
Indianapolis

C. C. PIERSON, Secretary
Indianapolis

ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller.....President

Office, 411 Sycamore St.

WOULD START PROSPECTIVE HOME BUILDERS IN RIGHT DIRECTION.

Active steps were put forth this week in Evansville to encourage more building, especially that pertaining to homes. Practically every man at one time or another has a desire to own a home of his own and, if there is one thing more than another that contributes to the stability and the character of a city it is home ownership.

Nobody disputes the fact that "pigs is pigs," nor, "be it ever so humble there's no place like home," but while a pig is a pig, a home offers greater possibilities, possibilities that through proper guidance can be developed until even the most humble home can be made attractive though the means are limited.

It was along this latter line that Evansville bent its effort this week. A "Home Complete" Exposition was put on at the Coliseum where not only the latest improved methods of construction, and uses of materials were extolled but even the proper furnishing of a home was gone into, even down the minute details. Fitness and suitability of the home, regardless of its proportions, was stressed upon.

Evansville has done a great amount of residential building this past year, in fact that is the one thing that saved the local building situation, and yet the city is still behind the times in building construction. There is a big demand for homes and it is to meet this demand that the "Home Complete" show was held this week. Thus is it hoped to arouse new interest in home building and guide prospective builders in the right direction when the time arrives for them to launch out upon their important venture.

LITTLE MORE LIFE INJECTED INTO LOCAL BUILDING CIRCLES.

Things, speaking in a construction way, are picking up locally, that is prospects are. Residence work has been going along on an even keel but the larger types of buildings have been conspicuous by their absence. However, during the past week a new interest was aroused by the receiving of bids for a

large cigar factory remodeling project, extensive improvements to the local telephone headquarters, and also for the contract for the construction of the new half million dollar Benj. Bosse High School, the latter the largest single educational building project ever launched in the city. In addition to these live projects there were several announcements covering some promising prospective work.

CHIPS AND SHAVINGS.

C. Kanzler and Son, general contractors, are completing the store alterations for H. L. Taylor, at Fulton avenue and Florida street.

Four of the big local building construction operators got in on the General Cigar Co.'s remodeling job, submitting bids on this project, estimated to cost \$75,000. This contract, it is expected, will be awarded soon.

What a galaxy of building men we had in Evansville this week! There were general, heating, plumbing, and wiring contractors from Chicago, Indianapolis, St. Louis and many other cities to say nothing of the crowd of building material supply men who were on hand for the letting of the Bosse High School, a half million dollar project.

FT. WAYNE

BUILDERS' EXCHANGE

Member State A. B. C.

Max Irmscher.....President

Eph Dailey.....Secretary
825 Calhoun St.

Phone 2001

SUFFERS NOTHING BY COMPARISON WITH BUILDING FIGURES RETURNED BY OTHER CITIES.

Ft. Wayne so it seems, is due to take rank with many other cities of the country in the matter of the volume of building construction effected during 1922, many of them much larger than she. Each month as the building figures come filtering in from around the county Ft. Wayne appears to be more than holding her own. When she turned in \$1,774,930 for the month of September she ranked twentieth in a list of 45 of the country's leading cities.

The local building effort last month was greater than those put on at these individual cities: Portland, Ore.; San Diego, Seattle, Wash.; St. Louis, Mo.; St. Paul, Minn.; Houston, Tex.; Long Beach, Cal.; Rochester, N. Y.; Louisville, Ky.; Columbus, O.; Denver, Col.; Oma-

ha, Neb.; Tulsa, Okla.; New Haven, Conn.; Toledo, O.; Wichita, Kans.; Mt. Vernon, Pa., and Erie, Pa.

Returns for October should be fair as a few fairly large permits have been issued while residential work has continued active week after week.

EVIDENT DEVELOPMENT ALONG PROGRESSIVE LINES ATTRACTS ATTENTION OF VISITORS.

Visiting architects to Ft. Wayne, upon the occasion of the Indiana Society of Architects meeting, recently, scented the expansion of the city's business district as was evidenced by new construction of several large structures removed several squares from the older business sections and commented favorably upon that feature of the city as a means of relieving downtown congestion.

The architects also noted the elimination of railroad grade crossings farther south from the business territory as a progressive move and seemed pleased to learn that the city was thinking of the establishment of a city plan commission by which to control and regulate the future development of the city along lines that are proving beneficial in other localities where in operation.

PARK BOARD'S DECISION FOR NEW BOULEVARD OPENS UP FINE HOME DISTRICT POSSIBILITIES.

The creating of the new Washington road parkway will develop territory that promises to be one of the most scenic sections in the neighborhood of Fort Wayne. The roadway, which will start at the entrance to Swinney park and will end at the Country club, will be about three miles in length and will lead through beautifully wooded sections which are being developed at the present time.

DIMENSION STUFF.

Prospects are that Architect Charles Weatherhogg will shortly ask for bids for the proposed \$450,000 Masonic Temple. When completed this project will be one of the finest of its kind in the state.

One Hundred Thousand Dollars is the estimated cost of another Ft. Wayne building project. It is to be a factory addition to the Tokheim Oil Tank & Pump Co.

The contractors for the new \$1,000,000 Keenan Hotel on S. Harrison street, are razing the buildings on the site preparatory to starting active construction operations soon.

Remember

You can substantially reduce the cost of your compensation and liability insurance by insuring in the BUILDERS & MANUFACTURERS MUTUAL CASUALTY CO. (a strong company, organized and economically managed by contractors, and devoted exclusively to rendering a particular service and reducing the cost of insurance in building construction.)

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CHICAGO

INDIANAPOLIS

Building Contractor's Association
Member State A. B. C.

F. W. Junglaus.....President
C. C. Pierson.....Secretary
320 Peoples Bank Building

MEETINGS.

Executive Committee meets second Tuesday each month.
Painter Contractors meet every Wednesday, 4.00 p. m.
Plasterer Contractors meet every Wednesday noon.
Mason Contractors Association meets every Thursday—1 P. M.
General Contractors meet second Friday each month.

PLANS ON FILE.

At 320 Peoples Bank Building,
Indianapolis.

None this week.

WAIVER OF LIEN.

None filed with Recorder of Marion County, this week.

VARIOUS FEATURES TO COMBINE TO LEND ATTRACTIVENESS TO CONTRACTORS' CONFERENCE.

The coming week there is to be a meeting of state contractors at Indianapolis, to which more than ordinary importance and interest attaches. This affair is to be in the nature of a general conference of builders from the various cities about Indiana and is in keeping with the plan inaugurated early in the year by the State A. B. C. for the holding of monthly meetings first here then there about Indiana that the builders might be kept in direct touch with the current building situation and conditions and the influences arising from same to directly or indirectly affect the entire building industry of the state.

In addition to matters of a general interest as pertaining to building the conference will also turn attention to the formulation of preliminary plans for the holding of the fifth annual convention of the State A. B. C., at Michigan City, in January. Special efforts are to be made this year to arrange a most attractive three days session and arouse a wide interest throughout the state in the event. Though the convention is still several months removed the contractors of northern Indiana are showing a keen interest, indicating a heavy attendance from that territory.

Then, too, in view of the fact that the State Legislature will be in session again after the first of the year the policy of the legislative action to be pursued by

the state contractors' association will, in all probability, be given some consideration at next week's conference.

Since Indianapolis, with its central location, is so easily accessible it has been decided to open the conference at 10:30 a. m., Thursday to allow for a full day's transaction of business and permit delegates to return home that evening if they so desire.

The meeting is to be held at State A. B. C. headquarters, 320 People's Bank Bldg., Indianapolis. All associations intending to send delegates, or individual contractors contemplating attending should notify Field Representative J. H. Owens, that proper accommodations may be arranged.

BOWLING BUILDERS AT INDIANAPOLIS VIEING WITH EACH OTHER FOR ALLEY HONORS.**CLUB STANDING.**

	W	L	Pct.
Conder-Culbertson	10	5	.667
Johnson Lumber Co.	10	5	.667
Indpls. Elec. Sup. Co.	9	6	.600
Thumbtacks	9	6	.600
Jackson Supply Co.	8	7	.533
Hetherington-Berner	6	9	.400
Wege-Stanford	5	10	.333
Hugh Baker	3	12	.200

After a month of bowling interest and rivalry in the Builders' League at Indianapolis has grown to fever heat developing a close race between several of the teams while several of them are still trailing, though in the last few games showing an improvement.

Every Friday evening at the Central Alleys one will find the local building industry well represented, architects, contractors, engineers and material supply men being assembled there ready, at the hour of 6 o'clock, to engage in the competition the alleys afford. It is encouraging to note the ever growing spirit of good fellowship that is being engendered.

Conder and Culbertson and the Johnson Lumber Co., teams who got away in the lead have held it though still crowded by the Indianapolis Electric Supply Co., while the Thumbtacks have come forward to also push the leaders, having crowded the Jackson Supply Co., aggregation back into fifth position. The Hetherington and Berner and Wege-Stanfords have improved their percentages but the Hugh J. Bakers are having a hard time getting started upward.

The best records hung up in the first month are: High individual game: Van Frank, 236; High individual, three games, Wege, 568; Morrell, 568. High single team game, Conder-Culbertson, 907. High three-game total, 2,507.

LOCAL HOUSE BUILDING EFFORTS CONTINUE ACTIVE.

Records at the city building inspector's office this week fail to reveal any assortment of imposing building construction projects for which permits were issued it having been one of the most featureless weeks for sometime past.

However, that there has been little or no let up in residential building is evidenced by the number of permits issued this week for this type of construction,

the volume comparing favorably with that of previous weeks. Contractors applying for permits say that indications, gleaned from inquiries, point to a continued activity of house building late into the fall.

BUILDING PERMITS.

(\$4500 and Over)

Week of October 20th to Oct. 26th.

Residences (6) \$18,000. Total. 2620-24-17-21-42-47 East 17th St. Owner, O. E. Mehrling, 32 No. Delaware St. Owner builds and buys material. Frame.

Residence: \$14,000. 23 Maple Court. Owner, H. L. Simons, 4244 No. Capitol Ave. Owner builds and awards separate contracts. Brick veneer.

Residence: \$12,000. 3658 No. Delaware St. Archt. Edw. Pierre, Occidental Bldg. Owner, American Estates Co., 801 Occidental Bldg. General contract let to Alonzo Jeffers, 3124 Walker St.

Residence: \$9,000. 3964 No. Ills. St. Owner, F. M. Chapman, 3742 Kenwood. General contractor, A. B. Kirkpatrick, Martindale and 32nd. St. on foundation.

Apartment Building: \$13,500. 2 sty. 27x114. 3835 East Washington St. Owner, W. T. Ayres, 130 No. Drexel. General contractor, J. W. Taggart, 127 Linwood. Frame and stucco. Excavating.

Residence (Double) \$8,000. 3925-27 Central Ave. Owner, A. P. Shalley, 3867 Central Ave.

Residences (2) \$6,500 Total. 1041 & 1062 No. Tremont. Owner, George Sadlier, 3124 Walker St.

Residence: \$4877. 3950 No. Capitol. Owner, Mercantile Discount Co., 231 No. Pennsylvania St.

Residence: \$4500. 330 No. Wallace. Owner, C. Olson, % contractor. General contract let to G. M. Clegg, 1343 No. Senate.

Residence & Stores (Rem. & Add.) \$5,000. 327 Prespect St. Owner, Lillian Hunter, 327 East Prospect St. General contract let to Homer H. Negley, 2833 No. Talbott.

Residence (double) \$8,000. 4132-34 Winthrop. Owner, Mary Irish, 737 Woodlawn Ave. General contract let to F. M. Bartholomew and Son, 3720 Salem St.

Residence: \$12,000. 3848 No. Penn. Owner, R. I. Blakeman, 603 Hume Mansur Bldg. General contract let to Taylor C. Power, Indiana Pythian Bldg. Brick veneer.

Residence (double) \$6,500. 9-11 No. Whittier. Owner, Anna Spolsky, 21 Whittier Place. General contract let to T. B. Brydon.

Residence: \$4,500. 823 Fairfield. Owner, Bertha B. Clarke, 3122 Bellefontaine.

Residence: \$4,800. 1310 No. LaSalle St. Owner, J. E. Cook. General contract let to E. E. Barb, 612 No. Colorado.

Residence: \$4,500. 415 No. Denny. Owner, H. W. Ross. General contract let to Phil Calkins, 2206 Roosevelt Ave.

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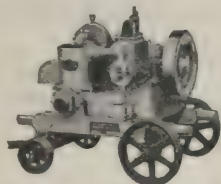
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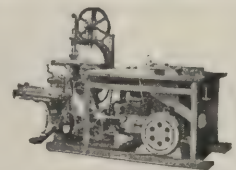
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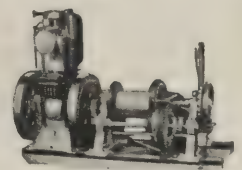
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CALUMET DISTRICT

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Building Trades Employers'
Association.

Member State A. B. C.'s

J. Wesley Reed President
E. E. Cole Secretary

108 Citizens National Bank Bldg.,
Hammond, Indiana

MEETING NIGHTS

General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.

KON-STOP PROCEDURE IN BUILD- ING SHOULD PROFIT IN MORE WAYS THAN ONE

The prospective builder who goes right ahead and has his plans prepared so that he can receive bids and let his contracts, that his work may be gotten under way during the slack times this fall, is really a wise man. That is the procedure present indications warrant. There is nothing to indicate that building construction will be cheaper in the spring, fact of the matter is, there is a possibility that, if anything, there may be slight advances in the cost of materials by next spring under a continued heavy demand for new buildings.

Then, too, the man who builds during the winter will find that his project is not being held up by a shortage of mechanics, instead, his contractors will be in a position to get the best of the building mechanics with also the added feature of obtaining more prompt delivery of building materials. The winter season is frequently a slack one for the building material supply firms and they are out then eager for business, and when orders are placed there is more assurance of an early or timely delivery of goods.

The years old custom of stopping building as cold weather approaches and lying idle until spring returns again has proved unwise. This practice causes the season to open with a rush, creates an unusually large demand for labor and materials with the result that prices stiffen in both the labor and building supply markets.

If those who contemplate building would only realize the benefits to be gained by winter building and take advantage of the situation it would have a big effect in relieving the heavy congestion caused now by the tendency to hold up active construction operations till the summer and trying to crowd a great volume of business into a few months. The ranks of labor would profit through steady employment, material supply dealers would keep their stocks moving which would have a tendency to stabilize prices, contractors would be enabled to hold their organizations together assuring speedy construction, and all of these things would combine to the benefit of the owner in the way of speedy prices and little delay in the consummation of his project.

SITUATION PROMISING.

The Calumet District seems fairly certain of a good volume of building construction business this fall and winter. Quite a few sizeable projects are now under way, several more have about reached the contract to be awarded stage, and still many others are being contemplated. As a result everybody is hoping.

CALUMET BUILDING PROGRESS.

Things out in the new addition near the Country Club are shaping up nicely. The streets have all been graded, the sidewalks have been completed and even building construction has been started in that section, six new residences now being erected.

THAT WEATHER MAN AGAIN.

With the knowledge that winter is fast closing in, betokened by the frost and chilly air that has been pervading the Calumet District these days, the secretary and his friends had been looking for an opening of seasonable weather for just one more fishing trip this season. Saturday morning it appeared as if the opportunity had arrived, and the autos were sent whirling toward Cedar Lake. Everything went well until the boats were out on the big sheet of water when suddenly the clouds loomed up, and evidently the weatherman turned on the hydrant and left it so for the rest of the afternoon. Rather a scurvy trick, eh?

E. E. COLE.

MUNCIE

Associated Building Contractors
Member State A. B. C.

Chas. Rowe President
J. A. Gallivan Secretary

314 Main Street

LACK OF NOISE DOES NOT MEAN THAT ACCOMPLISHMENT WAS LACKING.

Muncie contractors while they did not set the world on fire with a lot of sensational stuff over labor troubles and building affairs did, nevertheless, accomplish things and, through the medium of the local A. B. C. organization, met some rather threatening situations, overcame them and kept building construction affairs steady with a healthy atmosphere of stability. The local builders stuck together in the moments of peril, periods that arose several times, and by reason and solidarity effected results that, in years gone by, were undreamed of much less considered possible.

MOVE OF MUNCIE PLUMBERS GIVEN NATION-WIDE PUBLICITY.

That the action of the Muncie Sanitary Engineers in guaranteeing the workmanship and materials of the individual membership of the association was not without merit and suggested progressive thought, is attested by the fact that the Bulletin of the National Association of Building Trades Employers saw fit to

broadcast the idea through its columns, evidently viewing the scheme with favor.

STATE BUILDING VOLUME WOULD BE ASTOUNDING IF COMPLETE FIGURES WERE AVAILABLE.

Many figures have been given regarding building construction operations in Indiana and a close check has been kept upon the monthly building volume but these statistics don't tell the half of what has been done in the state this season. The said statistics refer only to the eight larger cities of Indiana where a tab is easily obtainable due to the fact that a city building inspector's office is maintained where practically every bit of new construction work is recorded.

Take the \$40,000,000 or so of new building as recorded on the books in the eight larger cities and add to it the work that has been done in Muncie, Lafayette, Logansport, Kokomo, Anderson, and in the hundreds of towns and villages in Indiana, then again add to the total, the building that was consummated in the rural districts; a big part of which comprises good, modern township schools, churches, residences, etc., and, conceiving such a total, you will have some idea of what Indiana has actually put over in new building construction enterprises this season. The volume is enormous.

Nor is that all, the story is much the same the country over and, to a large extent, accounts for the much discussed shortage of building trades mechanics, the demand for whom has been abnormal this season, due to the great building boom that has swept the country.

The big cities with their lure of city life and larger wage scales have attracted the building trades craftsmen, working a hardship on contractors in the smaller communities. That is a factor the contractors in the smaller cities have to keep in mind when debating wage scales for the season, otherwise they will continue to find themselves short handed when local building operations come up for attention.

MOVE ON FOOT TO REDUCE COST THOUGH SAFETY FACTOR WOULD BE MAINTAINED.

One of the sweeping changes that is predicted for all building codes throughout the country is a lowering of the requirements on brick work. The Bureau of Standards is conducting an extensive series of tests on brick work and already the movement has started toward the elimination of excess brick, especially in residence construction.

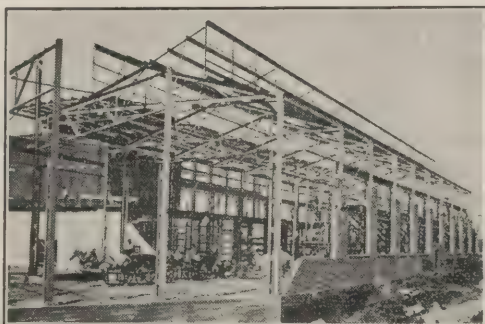
It is found that in more than forty cities of the country, including New York City, Cleveland, Detroit, and many others of the first class, the 8-inch wall is permitted for all residence structures to the height of two and a half or three stories. Other cities require a 13-inch wall for residences and simply waste 50 per cent of material and labor. A number of important cities including Buffalo, Milwaukee, Newton, Mass., Paducah, Ky., and others, have within the past few weeks revised their code to permit the 8-inch wall for residences.

The average load upon the wall in an ordinary residence would not exceed a ton and a half per running foot, whereas the ordinary 8-inch brick will safely carry a load of from 40 to 50 tons a running foot.

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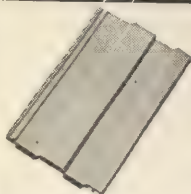
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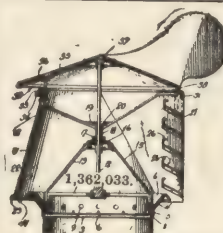
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INDIANA CONSTRUCTION RECORDER

FOR
ARCHITECT
ENGINEER

Devoted to the
Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

Vol. IV

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No. 31

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A LESSON STILL UNLEARNED.

That crabbed philosopher, Thomas Carlyle, once remarked: "Great Britain is inhabited by forty million people—mostly fools." There is an old proverb which says: "Experience keeps a dear school, but fools will learn in no other." If Carlyle were here now it is more than likely that he would say: "The people of the United States learn very slowly—even in the school of experience."

A Cheerful Prophecy.

In the course of an address delivered some months ago before the Manufacturers' Association in Philadelphia Vice-President Lee, of the Pennsylvania Railroad, said:

"Traffic on our American railroads, measured in ton-miles, doubles about once in a decade, or possibly a little longer. The rate of increase has been maintained for at least two generations with surprising regularity, despite the various cycles of booms, panics and depressions through which the country has war, of course, pushed our traffic figures up to levels some years ahead of the normal growth, and we are now having a corresponding reaction, but get this fact firmly in your minds, because it is most important.

"The next time our country has a real revival in business we shall, in all probability, be confronted with the most severe congestion of railroad traffic, and the greatest inadequacy of railroad facilities, ever experienced in our history. When that happens, rates will be lost sight of. Everyone will be clamoring for service, and our public highways will again be torn to pieces by huge truck loads of freight, carried over roadways never designed for such purposes, and at rates and costs of operation so high as to constitute gross economic waste. Nothing would more quickly check a wave of prosperity than the inability of

our railroad facilities to handle the traffic which good times would create.

"I am firmly convinced that we face such a condition with almost absolute certainty, in the not remote future. Whether it will come within a year or two, or be deferred for several years, I do not for a moment assume to predict, but, unless the world plunges into hopeless economic chaos, in which case all reckoning will be wrong, we are going to push up our national figures for production, and consequently of potential railroad traffic, beyond anything ever known before in peace times, and in all likelihood even beyond the levels reached during the war. Then business men will not be bothering themselves very much about rates. All they will be thinking about will once more be how to get transportation at any price.

"For this situation errors of the past are to blame. We cannot undo the past, but we can learn from it, and while probably nothing can be done now to obviate altogether the coming period of railroad congestion, which all railroad officers foresee, we can at least mitigate its severity and address ourselves to the task of assuring adequate transportation facilities for the more distant future."

And Its Fulfillment.

We did not have to wait even a year for this prophecy to come true. Not so many months ago 500,000 freight cars lay unused upon the side tracks; today, more than 130,000 are asked for that can not be supplied—and the rushing tide of prosperity is already being seriously checked by the "inability of our railroad facilities to handle the traffic."

Herbert Hoover, Secretary of Commerce, said in a recent address:

"Every year there has developed a serious car shortage and as a result there is today in New York a premium of 5 cents per bushel on wheat for export, due to the inability of the railroads to move grain in sufficient quantity to fill foreign demand. This premium does not add to the wealth of the farmer but is a direct charge against his just profit.

"There also exists a premium on soft coal ranging from 35 to 60 per cent above the normal price because of the car shortage. If there were sufficient cars to transport the coal the mines are capable of producing there would be no such premiums.

"It is safe to estimate that the car shortage levies a direct charge each year on both the producer and consumer of necessities of life, which amounts to no less than the entire annual cost of administering the affairs of the Federal

government."

In another recent address Secretary Hoover said that "with the most drastic economies we may conduct the Federal Government upon somewhere from three to three and one-quarter billions of dollars per year." Mr. Hoover is not a writer of fiction, but an engineer—and this is his estimate of the losses to the country from car shortage in each normal year. Who can estimate the loss in a year, such as 1907 for instance, when our "transportation facilities" sent the whole commercial and industrial structure of the Nation crashing into ruin?

The Unlearned Lesson.

One would think that we ought long ago to have learned that continued growth and permanent prosperity are impossible without adequate, efficient and economical transportation; that it is unspeakable folly to let the progress and the prosperity of a nation of 110,000,000 people depend upon a single method of transportation; that nothing will fully meet the needs of the Nation but the fullest possible development and coordination of "Road, Rail and River"; and that, for the situation which now confronts us, the greatest relief, in the shortest time and for the lowest cost can be obtained through the improvement of our waterways.

WHY NOT TAKE TIME BY THE FORELOCK.

The time is fast approaching when it will be necessary for the building trades employers to again turn their attention to the matter of arranging wage scales for next season. Why is this matter left to the opening of the building season in the spring, put off to the time when everything should have been settled, and then days, weeks and even months of valuable time consumed in reaching decisions? Such procedure looks like bad business. In the winter when the weather is inclement and building is at a low ebb, employers and employees should get together and straighten out the wage scales, thus making profitable the time that otherwise would be a drag.

It is to be hoped that next season more attention will be paid to established wage scales than was the custom the past year. The crafts sort of ran wild in their demands and yet this condition can be traced back to some of the contractors who tilted the scales and paid bonuses. If the contractors as the buyers were willing to pay, who can blame the building mechanics for selling their services for the highest price obtainable?

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News of the Week

The asterisk (*) prefix to an item indicates additional information to report published in previous issue.

INDIANAPOLIS

***Club Building & Hotel:** \$750,000.00. 8 sty. & bas. 86x170. S. W. corner of Meridian and St. Clair Sts. Archt. Adolph Scherrer, Indiana Trust Bldg. Owner, Elks Lodge, 30 East Vermont St. Plans nearing completion; ready for bids about January 1st. Brick, frpf. constr. The basement will contain a barber shop, laundry; 1st floor will contain bowling alleys, billiard room, & rooms for women, a large dining room and gymnasium will be on the mezzanine floor, private dining rooms and lodge business offices on 3d floor, 197 sleeping rooms will be on the upper floors.

***Apartment Building** (16 apts.) 2 sty. & bas. L. shape. 2 sty. & bas. 120x213. Maple Road Blvd. so. of New Jersey. Archt. George and Mac Lucas, Lemcke Annex. Owner, H. L. Moody, % Archt. Archt. receiving bids on separate contracts. Brick veneer over frame, tile & marble work, incinerators, terra cotta trim, steam heat, comp. roof.

***Club Building:** \$1,000,000.00. 12 sty. & bas. 75x200. 121 Monument Circle. Archt. Rubush and Hunter, 428 American Central Life Bldg. Owner, The Columbia Club, Frank A. Butler, Prest.; C. R. Rhodes, V. P.; Eben H. Wolcott, Treas.; Irving W. Lemaux, Secy., 121 Monument Circle. Plans on progress. Plans will be ready for bids about January 1st. Brick, reinforced concrete and steel, comp. roof, steam heat, marble & tiled floors, will include auditorium (seating 700) swimming pool, barber shop, billiard room, mezzanine floor, private dining rooms, kitchens, laundry, banquet room, guest rooms.

Y. M. C. A. Building: \$200,000. Newcastle, Indiana. Archt. McGuire and Shook, 320 Indiana Pythian Bldg, Indianapolis. Owner, Young Mens Christian Assn. Board of Trustees, Morris Goodwin, Prest.; A. P. Zeterburg, Chmn. Bldg.

Comm., Newcastle. Plans nearing completion. Ready for bids soon. Brick, frpf. construction.

Club Building (rem. & additions) \$50,000. 707 No. Illinois St. Private plans. Owner, Gatling Gun Club, 707 No. Illinois St. Preliminary plans. Owners financing. Definite data later. Work will consist of building of a modern front to the street line, top sty. addition, rear addition, enlarging drill room for use as a combined gymnasium and ball room, bowling alleys, swimming pool.

Warehouse: \$30,000. 1 sty. 100x100. Henry St. Archt. Vonnegut, Bohn and Mueller, 610 Indiana Trust Bldg. Owner, Merchants Trucking Co., % Archt. Plans in progress. Brick, mill construction.

Church: \$35,000. Brownsburg, Indiana. Archt. Merritt Harrison and Turnock, 500 Board of Trade Bldg., Indianapolis. Owner, Christian Church, Will Evans, Chmn. Bldg. Comm., Brownsburg, Indiana. Plans in progress. Brick, stone trim, wood truss roof, art glass, copper shingle roof, hot air heat.

Residence and Garage: \$25,000. N. S. Archt. Merritt Harrison and Turnock, 500 Board of Trade Bldg. Owner, name withheld for present. Preliminary plans in progress. Brick and stucco, Dutch Colonial, asbestos shingle roof, tile floors, hot water or vapor heat.

Country Hotel (rem. from old residence) \$10,000.00. Brookston, Indiana. Archt. Merritt Harrison and Turnock, 500 Board of Trade Bldg., Indianapolis. Owner, Harriett S. Paul, Brookston, Indiana. Plans in progress. Frame.

***Bank** (rem.) Greencastle, Indiana. Archt. McGuire & Shook, Indiana Pythian Bldg., Indianapolis. Owner, Central National Bank, Greencastle, Indiana. Archt. receiving bids to close November 10th. General alterations.

***Country Club:** \$50,000. near Helmsburg, Indiana, Brown County. Owner, Brown County Club, Oscar Lee, 607 City Trust Bldg.; James L. Nimal, 5118 Broadway. Lewis C. Holtegel, % Dunlap & Holtegel, all of Indianapolis. Archt., Rubush and Hunter, 428 Ameri-

can Central Life Bldg., Indianapolis. Plans in progress. Frame, heavy timber construction, 60 rooms, 5 baths, hot water heat, shingle roof.

***Church:** \$40,000. Newcastle, Indiana. Archt. Charles E. Bacon, 605 Odd Fellows Building, Indianapolis. Owner, Baptist Congregation Rev, J. W. Kinnett, Pastor. W. E. Waggener, Secy. Bldg. Comm., Newcastle, Indiana. Archt. receiving bids to close-November 21st. The following general contractors are figurnig: Bowyer Constr Co., J. M. Fant, both of Newcastle; T. D. Huff, Shirley, Ind.; T. E. Setters and Sons, Noblesville, Ind. Brick.

Contracts Awarded.

Apartment Building & Theater: \$1,000,000.00. 6 sty. & bas., Broadway and Sheridan Ave., Chicago, Ill. Archt. J. E. O. Pridmore, 38 South La Salle St., Chicago, Ill. Owner, Broadway Hotel Co., 30 No. La Salle St., Chicago, Ill. General contractor, Caldwell and Son Construction Co., State Savings and Trust Bldg., Indianapolis. Excavated. Starting footings. (This is the 1st unit of a \$5,000,000 project, the building is designed to carry 4 additional stories.)

***Factory and Warehouse:** 2 sty. 90x100. 16th and Missouri Sts. Archt. Sam A. Hastings, Denniston and Center Sts. Owner, United States Encaustic Tile Works, 359 West 16th St. General contract awarded to Nicholas Noe, 406 Lombard Bldg. \$17,495.00. Brick, mill construction.

***Packing Plant & Cold Storage:** \$90,000. 2 sty. & bas. 82x132. Pana, Ills. Archt. & Engineer, Thomas A. Winterrowd, 332 American Central Life Bldg., Indianapolis. Owner, The Wadley Co., 335 West North St., Indianapolis. General contract awarded to Jos. McCarty and Son, 104 So. Spruce St., Pana, Ill. Start work at once. Brick, reinf. concrete and steel.

Duplex Residences (2) \$30,000 total. 2734-36 and 30-32 No. Talbott. Owner and builder, Court Realty Co. Brick veneer. Excavating.

Residence: \$16,000. 2 sty. 30x32. 3130 Sutherland. Owner, W. H. Smith, % G. C. General contract let to C. A.



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Gardner, 407 South Audubon Road. Brick veneer. Excavating.

Residence: \$14,275.00. 2 sty. 30x37. 31 West 46th. St. Owner, Nellie Bittrolf. % G. C. General contract let to H. L. Simons, 4244 No. Capitol Ave. Brick veneer. Excavating.

*Hospital: "James Whitcomb Riley Hospital for Children." Archt. Robert Frost Daggett, Lemcke Annex, Indianapolis. Owner, Board of Trustees, Indiana University, Bloomington, Indiana. The following contracts were awarded: Heating let to W. H. Johnson and Son

Co., \$45,024.00; Plumbing let to J. A. Diggle, \$35,300.00; Electric Work let to Sanborn Electric Co., \$14,975.00, all of Indianapolis.

INDIANAPOLIS BUILDING PERMITS

Residence: \$6,000. 31 Bosart. Owner, Guy Denney, 526 Shelby St. Contract let to E. E. Barb, 612 No. Colorado.

Residence: \$5,300. 65th and Broadway. Owner, J. R. Fausett, % contractor. Contract let to S. P. Goss, 804 E. 64th St.

Residence: \$5,000. 336 No. Gladstone.

Owner, J. A. Carr, 319 No. Gladstone. Owner builds.

Duplex (Rem. from res.) \$5,000. 1836 No. Penn. Owner, Mrs. John W. Kern, 1836 No. Penn. General contractor, Marion Bldg. & Inv. Co., Hume Mansur Bldg.

Residence: (2) \$9,000 total. 609 & 626 No. Emerson. Owner, E. D. Stonehouse, at site. Owner builds.

Residence: \$4,500. 801 No. Sherman. Owner, J. L. Breedlove, 444 No. Chester. Owner builds.

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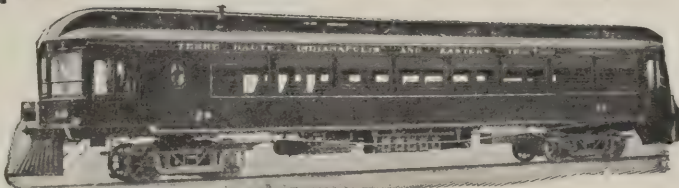
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CONNERSVILLE.

***High School:** \$150,000. Archt., The Elmer E. Dunlap & Co., 1050 No. Delaware St., Indianapolis. Owner, Board of School Trustee, Connersville, Ind. Plans completed. Owner will advertise for bids soon. Brick.

***School:** \$20,000. 2 sty. & bas. 43x57. Quercus Grove, Indiana. Archt., Karl P. H. Henkel, 108 Heinemann Bldg., Connersville. Owner, Walter Cook, Trustee, Patriot, Ind. Revised plans completed. Probably mature about March 1st. Brick.

***School:** \$20,000. 1 sty. & bas. 78x54. Patriot, Indiana. Archt., Karl K. Henkel, 108 Heinemann Bldg., Connersville. Owner, Walter Cook, Trustee, Patriot, Ind. Revised plans completed. Mature about March 1st. Brick and tile.

***Church:** \$20,000. 1 sty. & bas. 42x70. Alquina, Ind. Road from Connersville. Architect, Karl P. Henkel, 108 Heinemann Bldg., Connersville. Owner, M. E. Church. A. Price in charge, Alquina, Indiana, Fayette County, Connersville. Plans completed. Ready for bids about February 1st. Brick and tile, slate roof, hot air heat, septic tank, private water and lighting systems.

***Church:** \$25,000. 2 sty. & bas. 50x72. Milton, Indiana. Archt. H. M. Griffin, McFarlan Bldg., Connersville. Owner, Christian Church, Rev. F. C. McCormick, Pastor, Milton, Indiana. Plans completed. Ready for bids soon. Brick and tile, stone trim, 4 ply built-up-roof, steam heat.

***School:** 2 sty. & bas. 80x59, Shelby Twp., Ripley County, Indiana. Archt., H. M. Griffin, McFarlan Bldg., Connersville. Owner, William A. Greene, Trustee, R. F. D., Versailles, Indiana. Plans completed. Bids this winter. Brick, hollow tile, limestone trim, private water supply, built-up-roof, fire escapes. Will contain 6 class rooms, manual training and domestic science depts.

EVANSVILLE.

Parochial School Building (12 rooms and auditorium) \$100,000, Wabash Ave. and West Michigan St. Archt. Clifford Shopbell & Co., Furniture Bldg. Owner, St. Boniface Parochial School, Father

Hildebrand, Prest. Bldg. Comm.; W. A. Henn, Chmn. Bldg. Comm., Wabash & West Michigan. Preliminary plans in progress. Brick, stone trim.

Teachers Home: \$30,000. Archt. Clifford Shopbell & Co., Furniture Bldg. Owner, Catholic Diocese, Rev. F. P. Ryves, Upper 7th. St. Preliminary plans in progress. Brick, 2 sty. & bas.

***Church:** \$140,000. 2 sty. & bas. 69x176. (seating 920) Roman Renaissance style of architecture. Garvin St., near Virginia, Evansville. Archt., John T. Comes, Renshaw Bldg., Pittsburgh, Pa. Owner, St. Joseph's Congregation, Rev. Michael P. Seter, Pastor. Garvin & Virginia Sts., Evansville. Plans in progress. Ready for bids about March 1st.

***Hospital:** 2 sty. & bas., Harrisburg, Illinois. Archt., Harry E. Boyle and Co. Furniture Bldg., Evansville. Owner, Hospital Assn., Dr. A. J. Butner, Prest., Dr. W. J. Blackford, Secy, Harrisburg, Archt. receiving bids to close November 15th. Brick.

Residence: \$10,000. 2 sty. & bas., Mt. Carmel, Ills. Archt., Harry E. Boyle and Co., Furniture Bldg., Evansville. Owner, Ernest Hurd, Mt. Carmel, Ills. Plans in progress.

***Residence:** \$6,000. 5 rooms & bath. Forest Hills. Archt., Harry E. Boyle and Co., Furniture Bldg. Owner, Emile Simonel, Sr. Bids in; under advisement.

***Church:** \$20,000. 1 sty. & bas. 32x60. Louisiana and Garvin Sts. Archt., Anderson and Stingle, 108 Upper 4th. Owner, Christ Lutheran Church, Rev. J. H. Shunk, Pastor. Plans nearing completion. Frame and stucco, art glass.

Residence: \$7,500. Archt., Alfred E. Neucks, 515-16 Peoples Bank Bldg. Owner, R. H. Brookman, 307 Adams St. Receiving bids. Brick veneer over wood, asphalt shingle roof, furnace.

***School** (Consolidated) \$60,000. Scott Twp., Vanderburgh County. Archt. Anderson and Stingle, 108 Upper 4th., Evansville. Owner, James Litchfield, Trustee, Evansville. Archt. revising plans. Mature early spring.

Residence (Add.) Archt., Anderson and Stingle, 108 Upper 4th. Owner, Arthur C. Stone, 7 Adams Ave. Bids in. Work will consist of tiled sun parlor, hardwood floors, garage, general alterations.

Store Building (alterations and remodeling) 307-09 Main St., Evansville. Archt. Clifford Shopbell & Co., Furniture Bldg., Evansville. Owner, The Eisen-drath Millinery Co., Chicago, Illinois. Preliminary plans in progress. Work will consist of new store fronts, painting, decorating, light fixtures, store fixtures and general interior alterations.

***High School Building:** \$644,000.00. 2 sty. & bas. "Benjamin Boose High School," Washington and Harlan Aves., Evansville. Archt., Joseph C. Llewellyn Co., 38 South Dearborn St., Chicago, Ill. Asso. Archt., Capelle and Troutman, 409 American Trust Bldg., Evansville. Owner, Board of School Trustees, Abe Trowse, Pres., C. B. Enlow, Secretary. Daniel Wertz, Arthur L. Fisher, Business Manager, all of Evansville. The contracts were awarded as follows: Masonry and Carpentry to Simmons and Dick Co., Bloomington, Illinois, \$336,384.00; Cut stone and granite to Caden Cut Stone Co., Evansville, \$32,805; Structural steel to Union Foundry Co., Chicago, Ills., \$29,224.00; Ornamental iron to Douglass Iron Works, Chicago, Ills., \$6,775.00; Sheet metal and tile and comp. roofing to Ohio Valley Roofing Co., Evansville, \$26,236.00; Plastering to J. T. Herron, Evansville, \$49,469.00; Glass to Red Spot Paint and Varnish Co., Evansville, \$3,638; Painting to Daniels and Collins Co., Evansville, \$8,694.00; Terrazzo and tile floors, art marble and showers and toilet partitions to Art Mosaic & Tile Co., Chicago, Ills.; Sinks and shelves for laboratories to Alberine Stone Co., New York, \$4,068.00; Heating to Gottman and Weber Co., Evansville, \$85,096.00; Plumbing let to Newman-Johnson Plumbing Co., Evansville, \$24,136.00; Wiring to Evansville Electric Service Co., Evansville, \$10,979.86. Arthur L. Fisher, Business Manager was instructed to advertise at once for bids on program clocks, ash hoist, vacuum cleaner, linoleum for corridors, accordion doors and auditorium ceiling. Will break ground about November 15th.

***Lodge Building** (Addition) 2 sty. 45x60, Mt. Carmel, Ills. Archt. Harry E. Boyle and Co., Furniture Bldg., Evansville. Owner, Moose Lodge, Mt. Carmel, Ills. General contract let to Cleveland Constr. Co., Mt. Carmel, Ills.

(Continued on Page 11)

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***Factory** (addition) \$15,000. Archt., Russ and Karges, Furniture Bldg. Owner, Globe-Bosse-World Furniture Co. Brick work let to Ed. Goodge; Carpentry to Griesbacher and Dubber; Steel to International Steel and Iron Co., all of Evansville.

***Telephone Exchange Building** (Alteration and additions) \$50,000. Evansville. Archt. Engineering Dept. Central Union Telephone Co., Indianapolis. Owner, Indiana Bell Telephone Co., No. Meridian and New York Sts., Indianapolis. General contract awarded to The Scarborough-Davies Construction Co., Evansville. Approximately \$30,000.00 Start work in 10 days. Brick.

FT. WAYNE.

Masonic Hotel and Club House: (400 rooms) 5 sty. & bas. Lake Wawasee, Kosciusko County, Indiana. Archt. Chas. R. Weatherhogg, 250 West Wayne St., Ft. Wayne, Indiana. Owner, Wawasee Square and Compass Association, Andrew C. Weisberg, Pres. % The Oliver Hotel, South Bend, Ind. Eph P. Dailey, Secy., % Ft. Wayne Builders Exchange, Ft. Wayne, Rev. Arthur J. Folsom, 120 East Taber St., Ft. Wayne; Will C. Geake, Treas. 1322 West Jefferson St., Ft. Wayne, Charles J. Orbison, Attorney, Merchants Bank Bldg., Indianapolis.

Office and Store Building: 2 sty. & bas. 150x37. East Washington St. Private Plans. Owner, Rhoads-Morgan Co. (Wholesale paints, glass and building material) 1323 Calhoun St. Preliminary plans in progress. Brick.

Theater (Motion Picture) \$50,000. (seating 700) Broadway and Huestis Ave. Private plans. Owner, Broadway Theater Co., J. P. Mollet, Gen. Mgr. 2017 Lafayette H. L. Mollet, Prest. Ralph Mollet, Secy. all of Ft. Wayne. Plans in progress. Ready for bids shortly. Brick, steam heat, comp. roof.

Commercial Building (stores & offices) \$40,000. 2 sty. 30x150. Calhoun and Dawson Sts. Owner, Charles Lambarkis, Site purchased. Owner will take bids soon. Brick, steam heat, comp. roof, copper set store fronts. Will start wrecking old building on site at once.

Dairy Plant (additions & alterations) \$50,000. Archt. and Engineer, The McCormack Co., Century Bldg., Pittsburgh, Pa. Owner, Ft. Dairy Co., Fairfield and Baker Sts., Ft. Wayne, Indiana. Ready for bids. Brick. Locker rooms, shower baths, new machinery and equipment.

Parochial School: \$100,000. Owner, Lutheran Congregation of Fort Wayne, Rev. Jacob Miller, % St. Paul's Lutheran Church, in charge. Owners voted to build in the Spring. Brick. Definite data later. The following men

were appointed on the building committee: Dr. H. A. Duemling, Chas. Scheimann, Otto Bengs, C. W. Dickmeyer, William C. Gerding, Edward Oelschlaeger.

Contracts Awarded.

***Bank and Apartments** (rem.) \$25,000. Ligonier, Indiana. Archt., A. M. Strauss, 705 Shoaff Bldg., Ft. Wayne. Owner, Citizens Bank, Ligonier. General contract let to Ike W. Miller, Goshen, Indiana.

***Apartment Bldg.** (rem.) Archt. A. M. Strauss, 705 Shoaff Bldg. Owner, Louis J. Novitsky, 1107 Erie St. General contract let to H. T. Little, htg.; Garland Furnace Co.; plumbing to O. D. Ryan, electric work to Roetling Elect. Co.

***Church** (addition) \$80,000. Wayne St. Archt., Griffith and Goodrich, 211 E. Berry St. Owner, Wayne St., M. E. Church, Walter E. Cook, Chmn. Bldg. Comm. General contractor, J. F. Gumpfer, 614 Home Ave. Erecting steel.

***School:** \$48,000. near Kendallville. Archt., Griffith and Goodrich, 211 East Berry St., Ft. Wayne. Owner, Frank Bodenhafer Trustee, 105 East Williams St. Kendallville. General contractor, Ziess-Stone and Smith Constr. Co., Harlan, Ind. Foundation in.

BUILDING PERMITS ISSUED.

***Factory:** \$75,000. Owner, The Tokheim Oil Tank and Pump Co., Wabash Ave. Brick, steel sash, comp. roof, mill construction.

***Store Building:** \$30,000. 2 sty. & bas. 2040 Broadway. Owner, H. Hildebrand, 2038 Broadway. Brick, ordinary construction.

***Apartment & Garage:** \$34,200 and \$4,300 respectively. Clay and Berry Sts. Henry Kaiser, 1728 Spy Run. Brick, also for residence at 100 West Columbia, cost \$5,000.

Residence: \$4,500. 1639 Main St. B. A. Clemmer, 602 Madison St. Frame.

Residences (4) \$7,500-\$5,500-\$6,000-\$7,250, at 4319 Drury Lane, 4409 Beaver Ave., 918 Pasadena, 1007 Maxine Drive. Owner, Hilgeman and Schaff, 206 Noll Bldg.

Residence: \$5,100. 928 Forest. Owner, Louis Mesing, 2817 Hanna St.

Residences (2) \$6,500 each. 3707 Arlington and 1919 Anthony. Owner, Griswold & Preble, Citizens Trust Bldg.

Residence: \$4,500. 1102 Garfield. Owner, Clyde Dreisbach, 1257 Lake St.

Factory: \$5,000. Owner, Ft. Wayne Foundry and Machine Co.

Residence: \$6,500. 3023 Piqua. Owner, A. C. Lesh, at site.

GARY

Contracts Awarded.

***Store & Apartment Bldg.** (1 store, 2 apts.) \$20,000. 2 sty. 26x75. 4401 Broadway, Archt. L. H. Warriner, 673 Broadway. Owner, M. A. Gilbertson, 28 West 6th. St. General contract let to Joe Pera, 36 West 7th. St. Start work soon. Brick, ordinary constr.

Store & 3 Apts.: \$14,000. 2 sty. 25x70. 1084 Washington St. Archt. L. E. Hiner, Gary Bldg. Owner, Mrs. Lizzie Kormos, 1524 Madison Street. General contract let to Dan Bazin, 1628 Delaware St. Brick.

Apartment Bldg. (3 apts.) \$14,000. 1340 Jackson St. Owner, Alex Turin, 1628 Delaware St. Archt., L. E. Hiner, Gary Bldg. Plans completed. Start work soon.

LAPORTE.

Country Home: 2 sty. & bas. 41x50. near Laporte. Archt., George W. Allen, 721 Lincoln Way, Laporte. Owner, William Pelz, Laporte. Archt. receiving bids. Frame, 24 in. shingles on side walls, creosote shingles on roof, septic tank, private water system, furnace.

***High School Building:** \$400,000. 2 sty. & bas., Laporte. Archt. Miller, Fullenwider and Dowling, 646 No. Michigan Ave., Chicago, Ill. Owner, Board of School Trustees, Mrs. Mary Walker, Treas., Laporte, Indiana. Low bidder on general contract, Larson-Danielson Construction Co., Laporte; heating and plumbing, National Heating and Plumbing Co., South Bend, Ind. Electric work, Foutz Electric Co., Laporte, Indiana.

Contracts Awarded.

***Residence:** \$8,000. Sheridan Beach, Michigan City, Indiana. Archt. George W. Allen and Son, 721 Lincoln Way, Laporte. Owner, Mrs. Gertrude Spiro, Chicago, Ill. General contract let to Theo. Larson, Laporte, Indiana. Frame and stucco.

MICHIGAN CITY.

Vocational School: 3 sty. & bas. Archt. not selected. Owner, Board of Education, Michigan City. Contemplated. Mature early spring. Brick.

Residence: \$8,000. Long Beach. Owner, C. H. Lee, 341 Beldon Ave., Chicago, Ill. Archt. H. Harper, Merchants Bank Bldg. Benton Harbor, Mich. Plans in progress. Frame, 2 sty. 24x48. Vapor heat, shingle roof.

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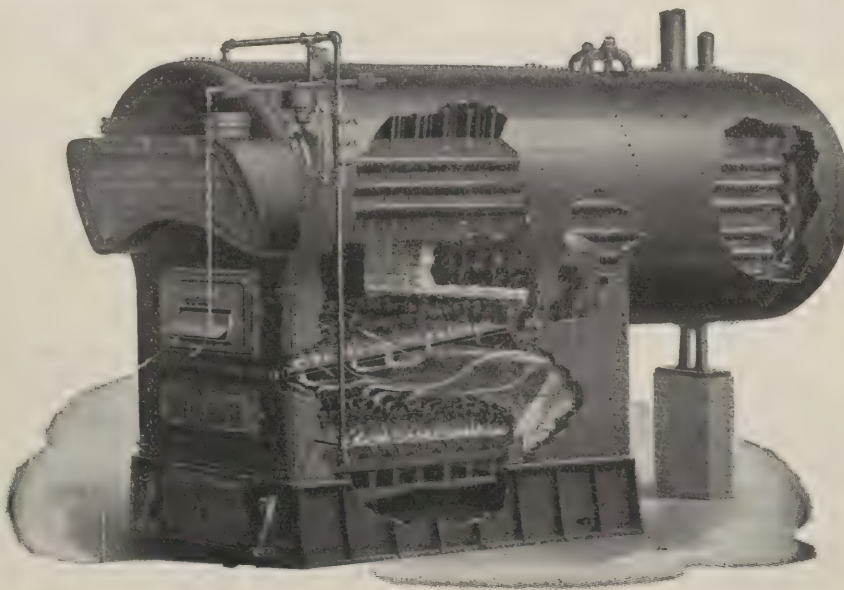
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DIRECTORS' AND ARCHITECTS' REGIONAL MEETING TO BE AN IMPORTANT ONE.

The Board Meeting of I. S. A., at Indianapolis, Saturday, November 11th, will offer some interesting topics for discussion since the time is just a little over a month removed from the holding of the regular semi-annual meeting of the Society. That affair is scheduled for the latter part of December, and is also to be held in the capital city, as has been the usual custom.

Since the state architects' organization has been seeking to pursue an aggressive progressive policy this season in the interest of the architectural profession the directors, in all probability, will devote considerable attention at next week's meeting to planning, rather, outlining, a program for the December assemblage that will be in accordance with the progressive spirit that has been so much in evidence this year. It has been the aim of the directors to make the function of the Society cover the business side of the profession rather than the ethical side which is more within the province of the Indiana Chapter of the A. I. A. As President Mahurin has oft times said, the mission of the state architects association is to bring the architects in closer contact with each other, tie the profession together, that all may work for its advancement both outwardly, through public action, and inwardly by the adoption of real business methods. There are matters affecting the profession that must be treated collectively, bringing out an aggressiveness that will push the profession to the fore, a spirit that far from lowering the standard will raise it in the estimation of the public. No less a man than E. J. Russell, a prominent St. Louis architect, honored member of the A. I. A., and chairman of the National Jurisdictional Awards Board, said last December at Indianapolis that architects must not be dreamers. Instead, they should use the best business methods in their practice, for, they deal with business men and to the degree of their business acumen are they respected and the profession acknowledged. To a further inquiry he said, "Oh yes, the dreamer may secure a large

commission, but, unless he is thoroughly competent to meet and cope with business men back of a large deal he, in all probability, will not repeat on other large commissions."

That is one of the things the Society is endeavoring to "put across"—the importance of business methods—that the public in Indiana will come to acknowledge the state architectural profession, respect its members and look to it for counsel when big things come up for action.

Then another important matter to be treated at the November 11th meeting has to do with the annual Architectural Exhibit of Indiana Architects, to be held at the John Herron Art Institute this winter, plans for which must be worked out soon. Last year the exhibit was a big success, attracted favorable comment from the press, and aroused much public interest. It is hoped that the outstate architects will make a big effort this year to be represented in this exhibit.

All members of the Board of Directors Indianapolis architects and those of central Indiana are urgently requested to be present at next Saturday's Society meeting.

STRUCTURAL SERVICE INFORMATION IN THE ARCHITECTURAL PROFESSIONAL FIELD.

At a recent meeting of the Board of Directors of the I. S. A., the matter of obtaining authentic, unbiased, valuable information on materials by architects for use in their practice and for their files and reference, was taken up with instructions that any information secured along this line be published in the Indiana Construction Recorder.

A communication addressed to the Structural Service Committee of the American Institute of Architects drew the following response from Mr. Sullivan W. Jones, New York, chairman of that committee.

"The Structural Service Committee was made a standing committee of the A. I. A. by the 52nd Annual Convention in 1919.

The duties of the Committee are defined as follows:

"The duties of the Committee on

Structural Service shall be to coordinate and correlate structural phases of the Institute's activities and to co-operate with departments of the Federal Government, states and municipalities and with affiliated organizations in matters where the Institute may properly render service toward improvements in structural materials, their safe and efficient application, and toward higher ideals in providing for the health, safety and comfort of the occupants of all buildings."

The field of work implied by these instructions—I will not say outlined—is almost without limits. It comprises the whole technique of construction with certain clear sociological implications.

The Committee has divided the work into three major categories as follows: research, standardization, information.

In performing the work in each of these categories the Committee cooperates with other interested bodies and with the Federal Government. The Committee, for the A. I. A., has established working contracts with a large number of Government, University and independent research laboratories, with the various Government Bureaus and agencies and with a large number of other national bodies similarly interested.

In order to give a more concrete picture of what the Committee is doing and will do in each of these categories, these illustrations will suffice.

Research Work.

The Committee will co-operate with any national body or the Government in conducting researches for the purpose of developing fundamental data or knowledge of any material or established practice involved in construction.

At the present time the Committee is co-operating with the National Research Council (Engineering Division), the Engineering Foundation, the U. S. Forest Products Laboratories, the Association of Wood Using Industries and other bodies in a research of national scope to develop fundamental knowledge on the subject of preservative coatings for wood and their application; with the American Society of Heating and Ventilating Engineers to secure basic data

(Continued on Page 15)

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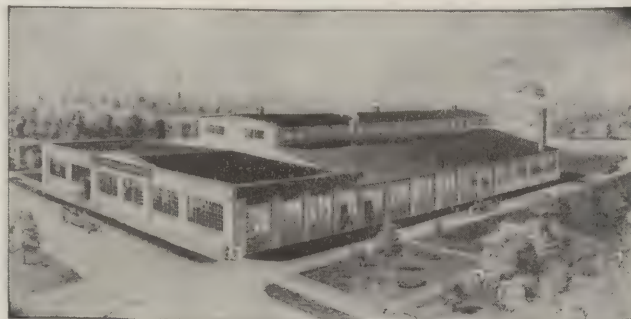
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Standardization.

The Committee represents the architectural profession, or rather the organized profession, in the whole standardization movement. This statement should not be taken to mean that the Institute is interested or will co-operate in the standardization of a single product. The only standardization in which the Institute is interested is standardization of a national scope or what is sometimes referred to as industrial standardization, meaning standardization which comprehends the product of an entire industry.

The A. I. A. is a member body of the American Engineering Standards Committee and through this membership is co-operating with twenty-one other national member bodies and with more than two hundred co-operating bodies in the work of formulating and promulgating American Standards. It is also collaborating with the Hollow Steel Door Society and Hardware Manufacturers in an effort to standardize hollow metal doors and morticed hardware for them. It is working with the National Terra Cotta Society in the preparation of standard specifications for terra cotta, with the Refrigerating Manufacturers Association in the preparation of a standard specification for refrigerating equipments; with the Indiana Limestone Quarrymen's Association in preparing a revised standard specification for limestone and setting. It is also working with the Department of Commerce Division of Simplified Practice in furthering the simplification program as it relates to construction. The Committee is represented on several of the conference committees at the U. S. Bureau of Standards. Through the Committee the Institute is represented on the Central Committee on Lumber Standards. All of the work on standardization offers the Committee an opportunity to add enormously to its store of technical information on products and practices.

Information.

The information service conducted by the Committee is of two sorts—namely, abstracting and publishing all current technical bulletins and reports published by the various university research and physical laboratories, the Government bureaus and the national technical societies. A vast amount of technical data is reviewed each month in the Committee office and all such material as relates to construction or construction practices is abstracted and reported monthly in the Journal of the A. I. A. The purpose of this service is to keep the architectural profession up to the minute on fresh knowledge with respect to the materials used and the practices employed in connection with construction.

The other class or kind of information service consists of answers to specific inquiries. The inquiries received cover the whole field of construction parties

and materials. When information necessary to adequately answer these inquiries is not contained in the Committee files a questionnaire is addressed to all authentic sources of the desired information the data thus secured is correlated and passed through to the inquirer. Frequently these inquiries relate to subjects of importance upon which there is no factual knowledge. In such cases the inquiry leads either to a research program or to a wide flung questioning of the profession with a view to getting basic facts and securing a pooling of experience. Such an inquiry is now under way to the end of securing information with respect to the causes, prevention and cure of leaking superstructure brick walls.

Because advertising can and should be made a useful and reliable medium for conveying information from manufacturers to architects the Committee on Structural Service has interested itself in the problem of improving advertising and making of it a more satisfactory and reliable mode of communication between manufacturers and architects. The Committee was authorized by the 55th Annual Convention to render a service of counsel and advice to manufacturers on their advertising to architects, and to aid the Committee and collaborate with it in this work the Convention also authorized the Committee to create a Producers Section. The members of the Producers Section are all manufacturers and the Executive Committee of the Producers Section meets jointly with the Executive Committee of the Structural Service Committee. These joint meetings discuss the many aspects of the whole problem of the business relationship between manufacturers and the architectural profession. In this field the committee is securing real accomplishments.

The Structural Service Bureau.

This bureau, organized and headed by D. Knickerbacker Boyd, Philadelphia, Pa., is an agency for serving Associations of manufacturers principally in connection with the standardization of their products, the preparation of publicity and the conduct of general propaganda. In connection with advertising, that is the formulation of advertising and sales policy and the preparation of copy, the record of the Bureau is indeed unique. Many of the publications for which the Bureau is primarily responsible are outstanding examples of technical advertising of high use value to the architectural profession. The bulletins of structural slate and blackboards and the basic specifications for wall and floor tile are examples of such

Incidentally, it is my understanding, that the Bureau renders an information service to the architectural profession generally. I think that any one who writes to the Bureau for information on any particular subject will receive an answer embodying most if not all available knowledge on the subject in point."

INDIANAPOLIS ARCHITECTS POSTPONE MEETING FOR A WEEK.

The regular monthly meeting of the Indianapolis Architects' Association usually held on the second Wednesday of each month has been postponed a week this time and will be held instead on Wednesday, November 15th. Arrangements for the program for the November meeting are being taken care of by Architect Fernor S. Cannon.

WINTER MONTHS OFFER BARGAIN COUNTER TO PROSPECTIVE BUILDERS.

More Americans are flocking to the building bargain counter this fall than at any time since the war halted home construction. Contractors and architects, usually the first to feel the approach of cold weather with a slump in business, report a steadily increased volume of inquiries and city officials are writing more permits for erection of homes.

Men in the building industry, from material manufacturer to carpenter and mason, have long known the economic advantage of building in the "slack season." For several years the industry has waged a steady campaign to bring this fact before the public and spread the congested activity of a few months over the entire year.

When the greater portion of building is crowded into seven months, prices reach their highest in the spring and summer when the demand crowds supply. The same situation obtains in the labor phase of the work.

By building in the fall and as far as possible into the winter, this demand is more nearly proportioned among 12 months of the year; mills and factories are able to maintain a steadier flow of production; raw material is stabilized; workmen are not shifting jobs so often, and the contractor and architect are able to keep their basic organizations intact, thus decreasing overhead expenses and assuring more satisfactory and efficient work.

Men in the industry see in this autumn's increased building, the prospect of a broadening of the old short season and a consequent stabilization of building costs, estimating that the certain success of the home owners who are building this winter will prompt many others to take the step in succeeding seasons.

The manufacturers of cement particularly have waged steady campaigns on this one subject, in perfecting methods of using their product in cold weather to the best advantage, and to bring a realization of the savings to be effected before the public.

That such campaigns have borne fruit is evidenced in reports for proposed construction from many cities which show a greater volume of all classes of building on the books for fall and winter than ever before.

RICHMOND.

***Church:** \$100,000. Archt. not selected. Owner, First Christian Church, Rev. L. E. Murray, Pastor, 10th St. Carl Thompson, Chmn. Bldg. Comm. Owners voted to build. Mature early spring. Brick, stone trim.

Residence: \$10,000. 2 sty. & bas. Archt. Herbert Spielman, 1210 Mercantile Library Bldg., Cincinnati, Ohio. Owner, Walter Davis, % Davis Motor Car Co., Richmond, Indiana. Plans in progress. Ready for bids soon. Stone and stucco.

SOUTH BEND.

***Lodge and Offices:** \$300,000. 6 sty. & bas. 82x90. Lafayette and Jefferson Sts. Archt. Austin and Shambleau, 111 No. Lafayette. Owner, Knights of Pythias Lodge No. 14, David C. Gibson, Treas., South Bend. Archt. receiving new bids. (Incorrectly reported last week as awarded.) Brick.

MISCELLANEOUS CITIES.

Alexandria: Factory Building, about 1 sty. 60x200. Archt. not selected. Owner, Ziegler Mfg. Co. (Screw machine products) Alexandria. Contemplated. Probably mature spring. Brick.

East Chicago: Packing Plant (additions) \$60,000. Owner, Cudahy Packing Co., East Chicago. Plans in progress. Brick. Start work soon.

***Lebanon:** Church (rem.) Rossville, Indiana. Archt. Frost and Kellog, Reporter Bldg., Lebanon. Owner, Methodist Church, Rossville. Revised plans completed. Mature late winter.

Noblesville: Commercial Garage and Salesroom, 2 sty. about 75x125. Archt. not selected. Owner, George Mills, (automobiles) Noblesville. Contemplated. Mature about March 1st.

***Plymouth:** Packing Plant, (rem.) \$25,000. Engineer, M. B. Carpenter, 105 No. Clark St., Chicago, Ill. Owner, Rittenhouse Produce Co., Plymouth. Ready for bids. 3 sty. 50x70. Brick, mill constr., refrigerating equipt., ice machinery, motors, electric freight elevator.

Contracts Awarded.

***Clay City:** Church, \$60,000. 2 sty. & bas. 60x75. Archt., Leonard F. W. Steube, 400 Adams Bldg., Danville, Ill. Owner, United Brethren Congregation, Rev. T. B. Kelsey, Pastor, Clay City. Foundation in. Ready for bids about March 1st on superstructure. * Brick stone trim.

***Logansport:** Residence (colonial) \$20,000. 2 sty. & bas. Archt. Allen and Garriett, Masonic Temple Bldg. Owner, Bert Wills, % Sellers Clothing Co. General contract let to George W. Price, Logansport, Ind. Brick veneer.

***Newcastle:** Garage, (addition top and side) Owner, Goodwin Bros. Auto Co., J. C. Goodwin, Mgr. General contractor, F. M. Fant, Newcastle. Excavated.

***Peru:** Spray Pond. 4 feet deep, 120x80. Engineer, Snider and Rotz, Indianapolis. Owner, City of Peru, William Hara, Supt. of the Light Plant. Owner will build by day labor.

***Terre Haute:** Residence & Garage, \$10,000. Archt. Shourds-Stoner & Co., 511 Tribune Bldg. Owner, Dr. W. H. Miller, 312 McKeen Block. General contractor, H. F. Lippert, R. R., Terre Haute.

Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field. Copy should reach us, at the latest, Wednesday of the week of publication.

SCHOOL HOUSE FURNITURE
NOTICE TO BIDDERS.

Notice is hereby given that the undersigned, William H. Evans, as trustee of Center school township of Marion county, Indiana, and the advisory board of Center school township of said county and state, will, until the hour of 10 a. m., on Saturday, the 4th day of November, 1922, at the office of said trustee, 412 Saks Bldg., located at the southwest corner of Washington and Pennsylvania streets, in the city of Indianapolis, Ind., receive sealed bids for the furnishing and installation of

130 stationary school desks and rears, assorted sizes.

35 adjustable school desks and rears, assorted sizes.

6 teachers' desks, 4 or 5 drawers.

1 six-foot office table, oak.

1 eight-foot office table, oak.

6 oak swivel chairs.

18 heavy oak leg chairs, office type.

300 opera chairs.

In the school building located at Raymond and Perkins streets, in the said Center township.

Delivery of above to be made within ten days of signing of contract.

Bidders are to submit samples of the above articles.

All proposals must be made on blank form No. 96 prescribed by the state board of accounts, which may be secured at the office of the board, and shall be accompanied by a certified check for not less than 3 per cent of the bid submitted, payable to the trustee of Center school township, Marion county, Indiana, and the said check of any accepted bidder shall be cashed by the payee, and the amount thereof retained by him as agreed liquidated damages, in the event that such accepted bidder fails to enter into a proper contract for the work for which his bid shall be accepted, and to give the proper approved bond required, within ten days from and after the date of the acceptance of such bid. All checks of unsuccessful bidders will be returned to the respective bidders.

Within ten days of the acceptance of any bid, the accepted bidder will be required to enter into a proper written contract with the trustee to perform the bid and secure the contract by a proper bond with approved security for the faithful performance of such contract, according to the terms thereof.

Each bidder shall file with his bid the non-collusion affidavit required by statute.

The said school trustee and said advisory board, expressly reserve the right to reject any and all bids, and to take reasonable time to investigate the bids and qualifications of the respective bidders before acting on the bids submitted.

Dated this 14th day of October, 1922.

WILLIAM H. EVANS,
Trustee of Center School Township,
Marion County, Indiana.

FRED BROWN,
BOYD TEMPLETON,
WILLIAM C. KASSEBAUM,
Members of Advisory Board of Center
Township, Marion County, Indiana.



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WRITE FOR QUOTATIONS

Official Paper

Associated Building Contractors of Indiana

FRED W. JUNGCLAUS, President
Indianapolis

C. C. PIERSON, Secretary
Indianapolis

ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller.....President

Office, 411 Sycamore St.

SLIGHT LULL ONLY TEMPORARY ACCORDING TO PROSPECTS.

The falling off in the number of building contracts granted in a single month is no indication that a stop has been called on building or that prospects are nil, according to Evansville contractors.

A constant growing demand for homes exists to such an extent that the architects are busy with plans, contractors are figuring, and both are continually the recipients of inquiries from prospective builders.

Evansville is somewhat more favorably located than other Indiana cities when it comes to open winters thus enabling contractors to keep up their building activities and the indications are that these activities will be carried right on well towards spring.

OUTSIDERS SPEAK WELL OF LOCAL RESIDENTIAL CONSTRUCTION.

A more impartial view of the home building industry is usually obtained by a new-comer or person from out of town. It is interesting to know that people recently from some of the large cities place some of the newer Evansville residences in the class with homes in the better districts in those cities.

LOCAL FIRMS CUT IN FOR FAIR SHARE OF WORK ON NEW HIGH SCHOOL BUILDING.

With the award last Saturday night of contracts totalling \$644,921.86 for the construction of the new Benjamin Bosse high school the Evansville public school system entered on the largest and most important building venture in its history.

While the masonry and carpentry contract, amounting to 52% of the above amount, went to Bloomington, Ill. contractors, local contractors for other branches of the work fared well they landing eight of the thirteen contracts awarded. Of the contracts that went out of the city most of them were for materials and work not done by local firms.

The successful Evansville firms and

the work they secured was as follows: Cut stone, Caden Stone Co.; roofing and sheet metal, Ohio Valley Roofing Co.; plastering, J. T. Herron; glass, Red Spot Paint & Varnish Co.; painting, Daniels & Collins; heating, Gottman & Weber; plumbing, Newman-Johnson Co.; wiring, Evansville Electric Service Co. This work given to local firms amounts to \$241,103.86 or 37% of the entire contract price.

NEW FACTORIES SHAPING UP.

The addition to the mirror plant of the Globe-Bosse-World Furinture company will be complete in about a month.

Ed Goodge is doing the brick work, and carpentry is being done by Griesbacher and Dubber. Steel sash is being furnished by the International Steel and Iron company.

BUILDING TALK HEREABOUTS HOLDS OUT PROMISE.

What with numerous residences being figured, several industrial plants talking improvements, a church or two contemplating construction work, the mention of township school improvements near Evansville, and some building projects in nearby towns, local contractors are not only busy figuring but see a sil-

sheen casting its promising rays over the future.

FT. WAYNE

BUILDERS' EXCHANGE
Member State A. B. C.

Max Irmscher.....President

Eph Dailey.....Secretary

825 Calhoun St.

Phone 2001

BUILDING EFFORTS BEING SPEED- ED UP TO OFFSET ARRIVAL OF BAD WEATHER.

Efforts of local contractors are being redoubled in order to take advantage of the pleasant days now prevailing in order to get as much of their work as possible enclosed before the bad weather sets in. From the present outlook it seems safe to say that a large part of the building construction work under way will be gotten under roof before unfavorable weather occurs to put a stop to outside building operations. With the roof on contractors can go right ahead and finish up the interiors with little delay to their projects. All of which means that the building trades me-

chanics in many of the various crafts will be kept busy well into the winter, a situation much to be desired in that the contractors will be enabled to hold their working organizations intact.

INDICATIONS GOOD FOR RENEWED HOME BUILDING ACTIVITY IN 1923.

Realty activity in this city gives every indication of a continued building volume of sizeable proportions next year. At that it will take real building encouragement inducement, and effort to maintain the 1922 pace which has reeled off total figures far beyond any previous local yearly building record.

In addition to lot sales for new home sites in the already developed districts plans are being contemplated for the opening of other residential sub-divisions for next spring.

Ft. Wayne took care of her house building needs this year, can do so again and her contractors stand ready to prove it.

NOT THE LEAST IMPORTANT ITEM IN FT. WAYNE'S 1922 ACTIVITIES.

While Ft. Wayne has done a remarkable building construction business during the 1922 season and much has been said about the large contracts that have been awarded, they ranging from \$200,000 to \$1,000,000 each, there is another feature that deserves more than passing mention because of importance to the city's life in more ways than one. This feature relates to the residential construction that has been done.

Since January more than eight hundred new houses have been built, an item of great importance since adequate housing is so essential to the industrial expansion of a city, and Ft. Wayne is expanding in that direction. New factories and additions mean more employees, these must be taken care of or they will seek other localities where living conditions are agreeable. Then, too, extensive house building affords vast employment opportunities to the local building trades mechanics and holds them to a city thus assuring a good supply of men to handle the construction operations. Further, this great volume of house building has meant thousands and thousands of dollars to various local business interests concerned with the furnishing and equipping new homes.

Taken all in all new home building in Ft. Wayne has been one of the most important local features of the year.

Remember

You can substantially reduce the cost of your compensation and liability insurance by insuring in the BUILDERS & MANUFACTURERS MUTUAL CASUALTY CO. (a strong company, organized and economically managed by contractors, and devoted exclusively to rendering a particular service and reducing the cost of insurance in building construction.)

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Member State A. B. C.

F. W. Junglaus.....President
C. C. Pierson.....Secretary
320 Peoples Bank Building

MEETINGS.

Executive Committee meets second Tuesday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

Mason Contractors Association meets every Thursday—1 P. M.

General Contractors meet second Friday each month.

PLANS ON FILE.

At 320 Peoples Bank Building,
Indianapolis.

None this week.

WAIVER OF LIEN.

Kletsch, Florence, as owner, and Burton Construction Co., as contractor, agrees to erect a double brick veneer residence on lot 300, Osgood's Forest Park add., for \$10,300. No liens to be filed.

OCTOBER BUILDING AT INDIANAPOLIS SCORES HEAVILY.

Another down and two more months to go. In the building game at Indianapolis it is not a case of whether 1922 will win against 1921, the game is won right now. The only remaining question is just how big a score can be piled up for a record before Time, the referee, blows the whistle for the end, and clears the field for the new contender, 1923, to gallop out into the arena where the previous years have striven.

When September had been stopped after a gain down the field, October came into the play and, by steady plunging, bucked for one of the best advances of the year, scoring more points for 1922. During the past 31 days, October's period on the offensive, there were 1,406 building permits issued, the third largest number for a month during the season, while the estimated valuation of these permits was \$2,431,513, the fourth largest monthly total recorded in 1922. These figures exceeded those for September and August this year and bested October, 1921, totals to the extent of 337 permits for an estimated valuation of \$687,981.

The number of permits issued in October, 1922, far exceeded any monthly permit total registered at any time in 1921, and the total estimated valuation for the October operations this year just lacked \$67,762 of equaling the highest monthly total for valuation turned in by any one month last year, that of

June, 1921, when \$2,499,275 was recorded.

These figures just posted on the city's record books tell the interesting story that to date there has been no inclination on the part of the Public to call a halt on building construction operations. The demand for new buildings is still great, and costs, having held to an even steady level, have done much to perpetuate building activities, nor must the fact be overlooked that the weather has been propitious.

One of the most interesting features of the October operations had to do with residential construction, 311 permits for that class of work, for a total estimated valuation of \$1,323,475, having been issued, equaling 54% of the total volume of business for the month. The other 46% covered a wide range of projects, including additions and alterations, store buildings, a community house and miscellaneous repairs.

The comparative figures are:

Month	Per	Est. Val.
October, 1922-----	1406	\$2,431,513
October, 1921-----	1069	1,743,532

Gain, October, 1922, 337 \$ 687,981

LARGER INDIANA CITIES REPRESENTED AT CONTRACTORS' CONFERENCE.

The sixth monthly conference of contractors held at Indianapolis, Thursday, November 2, under the auspices of the Associated Building Contractors of Indiana opened with a 12:30 p. m. luncheon at the Lincoln Hotel.

The business session was called to order at 1:30 p. m. at the headquarters of the State Association, People's Bank Building, the large committee room of the Building Contractors' Association of Indianapolis being put at the disposal of the State A. B. C.'s for the conference.

Early arrivals, as delegates from the local city associations around the state, were: E. L. Danner and J. A. Weaver, Kokomo; A. E. Kemmer, Lafayette; W. R. Harding, W. C. Looker and E. A. Simpson, Michigan City; Lee Glass and Charles Rowe, Muncie; Walter Fassnacht and Charles Jordan, South Bend; Guy Brill and F. Burget, Terre Haute. Among the visitors were, State A. B. C.'s Counselor Harry A. Fenton, Indianapolis, just returned from an extensive trip to the Pacific Coast, and Otto C. Holtz, Chicago, general manager of the Builders and Manufacturers Mutual Casualty Co.

BUILDING PERMITS.

*Club House: \$110,000. 10 sty. 42x121 and 77x57. E. Michigan St. Private plans. Owner, Community Club Building, E. M. Hardin, Trustee, 3208 E. Michigan St. General contractor, Hardin Constr. Co., 3208 E. Michigan St. Brick.

*Apartment Bldg.: \$30,000. (6 apts.) 2 sty. 32x70. 5243 Central Ave. Archt. and general contractor, Walker-Brooks Co., 134 No. Delaware St. Owner, Bertha Miller, % Contractor. Brick veneer. tile roof, steam heat.

Duplex Residences (2) \$30,000 total. 2734-36 and 30-32 No. Talbott. Owner and builder, Court Realty Co. Brick veneer. Excavating.

Residence: \$16,000. 2 sty. 30-32. 3130

Sutherland. Owner, W. H. Smith, % G. C. General contract let to 407 South Audubon Road. Brick veneer. Excavating.

Residence: \$14,275.00. 2 sty. 30x37. 31 West 46th St. Owner, Nellie Bittrolf, % G. C. General contract let to H. L. Simon, 4244 No. Capitol Ave. Brick veneer. Exc.

Residences (3 doubles) \$13,500 total. 718 to 728 E. Raymond St. Owner, Laurel B. Medsker. General contract let to Horace McCalment, 1240 King Ave. Excavating.

Residences: (3) \$10,500 total. 823-31-37 East 60th. Owner, Enos D. Pray, 530 Peoples Bank Bldg.

Residences: (2) \$10,000, total 337 Berkley Rd. and 4311 Cornelius. Owner, W. E. Ruge, 241 West 31st. St. Owner builds.

Residence: \$10,000. 3675 No. Delaware St. Owner, Bertha Seyfried. General contract let to W. F. Seyfried at site. Brick veneer. Excavating.

Residence: \$9,100. 2834 No. Penn. Owner, R. H. Sherwood, 2847 No. Meridian. General contract to Albert Fuller, % Owner. Tile and stucco. Excavating.

Residence (Double) \$9,000. 4108-10 College. Owner, Frank Perry, Treas., Murat Theater.

Residence: \$9,000. 3350-52 Central Ave. Owner, Samuel V. Keplar, 18 No. Tremont. Owner builds.

Residence (Double) \$8,400. 932-34 No. Oakland. Owner, Chas. Brandt, 809 No. Keystone. Owner builds.

Residence (Double) \$8,000. 4410-12 E. Washington. Owner, Wakefield-Patton Construction Co. Owner builds.

Residence (Double) \$8,000. 317-19 No. State St. Owner, Marion County Realty Co., American Central Life Bldg. Owner builds.

Residence (Double) \$8,000. 543-45 No. Oakland. Owner, Amanda Miller, 541 No. Oakland Ave. General contract let to Phil Calkins, 2206 Roosevelt Ave.

Residence: \$7,000. 5234-36 College Ave. Owner, I. H. Norman, at site.

Residence: \$6,500. 4014 No. Capitol. Owner, C. C. Finnefrock, 4110 Ruckle St.

Residence: \$6,200. 407 Poplar Road. Owner, S. L. Montgomery, 3604 East Washington St., Apartment No. 4.

Residence (double) \$9,000. 3243-45 College Ave. Owner, Florence Kretsch, 1623 Shelby St. General contract let to Burton Constr. Co., Union Trust Bldg. Brick veneer.

Residences (2) \$8,400 total. 614 & 618 East 49th. Owner, Gertrude and F. A. Wyerbacher, % contractor. General contract let to C. J. Van Tassel, 3510 No. Meridian St.

Residence (double) \$8,000. 5805-07 Lowell. Owner, H. W. Haworth, 5729 East New York St. General contract let to H. R. Cox, 648 No. Temple.

Residence: \$7,500 3933 Winthrop. Owner, Everett M. Schofield, 806 State Life Bldg.

Residence (double) \$7,500. 4901 Park Ave. Owner, C. J. Van Tassel, 3510 No. Meridian St. Owner builds.

Residence: \$7,100. 803 Northview. Owner, Harry J. Meyer. % contractor. General contract let to F. C. Bakemier, 1308 Prospect St.

Residence (double) \$6,000. 367-69 Grande Ave. Owner, John P. Fischer, at site.

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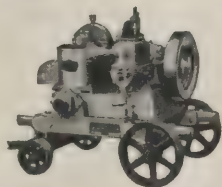
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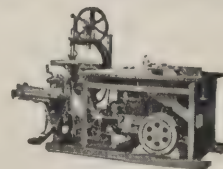
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Building Trades Employers'
Association.

Member State A. B. C.'s

J. Wesley Reed President
E. E. Cole Secretary

108 Citizens National Bank Bldg.,
Hammond, Indiana

MEETING NIGHTS

General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.

CUTTING OUT THE GAMBLE.

The necessity for the improvement of methods has long been felt in the contracting business and such need is emphasized by the contractor's wail that, instead of engaging in a business, he is playing a most hazardous game.

In any discussion of a contractor's business you will hear the assertion that the business is a gamble, that profits cannot be assured, and that a contractor's hope of salvation is that from some future work an abnormal profit can be derived which will compensate or over balance the losses sustained on work which has been performed. This is a frank admission, and is indicative of an unhealthy condition which certainly calls for the administration of some treatment. Primarily competition will not permit a realization of the hope for large profits; the uncertainty of chance must be eliminated, or at least reduced to a minimum not in excess of that of any other business in order to produce the necessary volume of work. It must all be done on a close margin, and it is seldom if ever that a contractor can withstand a loss.

As diagnosed by most authorities the fault is with the contractor himself, and consists of blindly following precedent, employing methods some of which are now obsolete and others which never had any valid reason for existence. In numbers of cases there is an absolute failure to acquire the requisite knowledge of the materials to be furnished and the work to be performed.

A contractor sustaining losses is prone to communicate them to others with whom he is in contact, and it is thus that the whole industry is rendered ill and in need of a remedy.

In addition to a profit on his material and labor costs a contractor is entitled to a reasonable margin on his operating costs, inclusive of his own salary, depreciation on plant and equipment, interest on borrowed capital, taxes, and losses through bad accounts. If the business is to endure such business principles can not be ignored or laid aside for the gambling methods, and the contractor, who is habitually remiss in making up his bid and who applies his prices and profits by the rule of guess, cannot find salvation in the quantity survey system as, through force of habit, he will continue his rule of guess practices and eventually be self-effaced.—(Reprinted from The Constructor of the Associated General Contractors of America.)

HAS RILED THINGS UP.

The State Auditor has stirred the Chambers of Commerce of Hammond, Whiting and East Chicago and everybody else in this "neck of the woods" by placing an exorbitant value on the submerged land in mud lake (Lake George) which lays within the Jones Laughlin Steel Co.'s purchase and if adhered to may knock out the deal that meant another big steel mill for the Calumet District.

There is considerable building construction work being figured but for some cause or another there is a great deal of delay in the letting of contracts.

YEA BO!

A fortune awaits the man who will invent some process that will cause contractors to pay their dues promptly.

BUT THEY ARE NOT.

If building contractors were as slow as our courts it would take a year to build a two-room shack, the Association against Androff has been again put off until December. This is the case involving the legitimacy of the Association to enforce the payment of a surety bond when a member fails to abide by the rules and regulations of the organization.

E. E. COLE.

MUNCIE

Associated Building Contractors
Member State A. B. C.

Chas. Rowe President
J. A. Gallivan Secretary

314 Main Street

GLASS SETTING RULING BY JURISDICTIONAL AWARDS BOARD.

At the July meeting of the National Board for Jurisdictional Awards an agreement between the painters and bricklayers effective Dec. 5th, 1910, was approved with the understanding that it does not effect the decision of the Board made on March 11th, 1920, regarding vitrolite and opaque glass agreement is as follows:

Section 1. All plate and window glass, mirrors, beveled plate, rough, ribbed, wire, figured, colored, or art glass set in sash, frames, doors, or skylights, constructed of wood, sheet metal, iron, stone, or other material and set with putty or moulding, shall be set by members of the Painters Union and that where glass is used as a substitute for ceramic, mosaic, or encaustic tile, and set on floors, walls and ceilings in mortar, cement, or other plastic material, shall be set by members of the Bricklayers Union. It is further agreed that all glass delivered in stock sheets shall be cut out by a member of the Painters Union.

Section 2. Where glass is used as a substitute for marble in interior finish or decoration and is carved cut, polished

and rubbed, it shall be set by members of the Bricklayers Union.

The painters applied for a re-hearing on the decision of the Board regarding the setting of vitrolite and opaque glass and it was suggested and agreed that the contending parties meet and report the results of their conference to the next meeting of the Board. This matter will be given consideration at the meeting at Washington, D. C., November 13.

LET'S KEEP BUILDING GOING ALL WINTER.

There is no excuse for anything less than a twelve-months' construction season—except the excuse of bad habit.

There is no reason why the winter months should not take some of the burden of keeping things going.

It can be done and is being done every year by builders and contractors who know the profit of keeping their efficient organizations together and working.

Let's all do it!

BUILDING INFLUENCE REACHES EVEN INTO TEXTILE INDUSTRY.

If you were owner of a textile mill how would you like to get an order for a strip of cotton cloth 30 inches wide and 17,000 miles long?

An order of that size would mean that over 30,000 bales, or 15,000,000 pounds, of cotton would be used in weaving the cloth; that 1600 looms would be kept busy every day for an entire year.

Every year textile manufacturers of the United States are called upon to deliver such an order for a single industry. Over 17,000 miles of cloth are needed for new cement sacks alone.

Although the cement companies redeem all sacks returned to the mill in good or repairable condition about 15 per cent of all cloth sacks shipped fail to come back. This means that 30,000,000 new sacks must be provided annually.

ONE TO FILL.

Simpson was employed as a hod-carrier on a big building, and had been instructed that he must carry up fourteen bricks in his hod. One morning the supply of bricks ran out, and although he tried his best he could only find thirteen to put into his hod.

One of the masons on the sixth story staging heard a loud yell from the street, and shouted down, "What do you want?"

"Throw me down one brick," called out Simpson, pointing to his hod, "to make my number good."—(Bulletin Building Construction Employers' Association, Chicago.)

HEATING AND PIPING MOTTO.

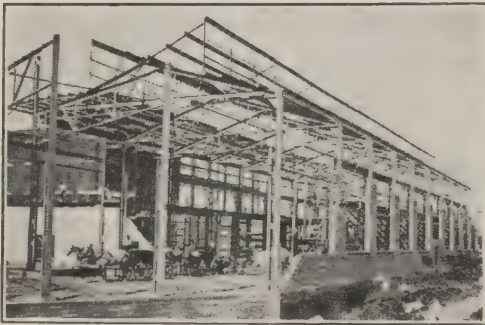
The Heating and Piping Contractors of Cleveland have sent out a neat, blue-printed wall card bearing the following:

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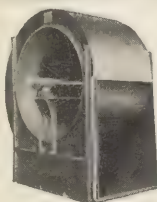
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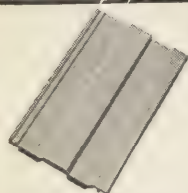
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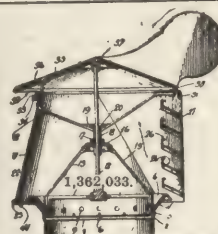
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INDIANA CONSTRUCTION RECORDER

FOR
ARCHITECT
ENGINEER

Devoted to the
Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

VOL. IV

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CONFERENCE DISCUSSIONS RE- VEAL EFFECT OF ASSOCIA- TION EFFORT.

If for no other reason than that they keep the contractors of the various cities of Indiana in direct touch with each other, the monthly conferences conducted by the Associated Building Contractors of Indiana are well worth the effort thus expended, and have proved a valuable asset in the functioning of the state association. However, they go farther than mere contact, they have developed into an open forum where free discussions of conditions, situations, needs and trends as affecting the building contracting business are gone over, bringing out points of value to the members of the industry and acquainting the delegates of the local city associations who attend with an intimate knowledge of the actual influences that are at work in the individual localities around the state, both for good and bad, and the methods employed to combat the latter and encourage the former. Heretofore the contractors of the state have worked more or less in the dark in tackling the problems that were common to all, no matter where they operated, for there seemed no visible means of co-operative effort to pool troubles and arrive at a collective remedy that could be applied, regardless of the locality.

The first step toward a happy solution, that would tend to alleviate the aloofness of the contractors in the various cities, and mold them into a collective whole the state over, was taken when the Associated Building Contractors of Indiana was organized and machinery put in operation to bring the contractors together for the advancement of the contracting business. Gradual development and accomplishment revealed the wisdom of the original conception, but so large was the organization that it was impossible to

hold a general meeting more than once a year. In the meantime current conditions and situations arose to demand immediate action and, as a result, the monthly conference idea was advanced this year to meet with instant favor.

Seven conferences have been held and there is no denying the fact that the intimate association afforded the contractors through these monthly gatherings has done much to enable the builders to keep the building situation and conditions in hand, contributing not a little to a stabilization that has made Indiana's great building volume for 1922 possible. The esprit de corps developed among the contractors has prevented the baiting of contractors in one city against those of another locality to upset local conditions.

These things were brought out at the conference at Indianapolis last week, not in so many words, but by the atmosphere that enveloped the assemblage. Practically each delegate reported satisfactory conditions in his locality and led one to believe by his conversation that association effort had done much to aid in bringing about such a status. Though there had been annoying situations at times no contractor charged that outside Indiana contractors had come into the local field to aggravate affairs by bidding up wages to steal away men or foment discontentment among the local mechanics.

But one city, the name of which is omitted for obvious reasons, reported unfavorable conditions and these were attributed to the contractors themselves who, failing to stick together, bid against each other, tilting wages recklessly, in order to secure help.

Practically every city represented at the conference reported a scarcity of certain building trades craftsmen, particularly plasterers. This scarcity, due greatly to a lack of skilled men, has caused some of the larger cities about the country to pay exceedingly high wages, a fact that has taken many of these craftsmen out of Indiana, the bait of bonuses and overtime being held out. While this topic was being discussed Charles Glenn, secretary of the Indianapolis Plasterers' Assn., informed the delegates that the members of the International Master Plasterers' Association, at a recent convention at Cleveland, went on record as opposed to the payment of "overtime" to the journeymen plasterers, attributing this feature a cause for a great deal of trouble in the plastering contracting business. He further said that all master plasterers had been urged to take on all the apprentices that they are allowed by the Union in order that

more skilled plasterers may be developed.

Fred W. Jungclauss, Indianapolis, president of the State A. B. C's., acting as chairman of the conference, in welcoming the visiting delegates, admonished the contractors to consider the association a vital part of their business, he holding it as such as much as any other feature of their business affairs. He said that while it does not pay dividends in visible dollars and cents, nevertheless, it does pay dividends indirectly in that it tends to protect the contractor's interests and makes for favorable building conditions. To illustrate his point he said Indianapolis has had less labor trouble this year than ever before, due to the fact that there is a strong contractors' association in Indianapolis to defend the contractor employer and protect his rights.

Attorney Herry Fenton, Indianapolis, just returned from a trip to the Pacific Coast, told the contractors that nowhere in all his travels had he found a state contractors' association such as existed in Indiana, and he was more than proud of the organization. He said that the far Western contractors marveled at what had been accomplished by the builders in Indiana. In conclusion he counseled the contractors to stick together, advising them that no one but they can build their own association, that they are bound together by a common purpose and each and every builder owes it to himself and his industry as a specific duty to get behind the association for the advancement and defense of the industry.

Another speaker was Otto C. Holtz, Chicago, general manager of the Builders and Manufacturers Mutual Casualty Co., who, in referring to organization, said it was not primarily for defense but to establish confidence. He said the general contractors were to blame for the suspicion that had been stirred up in that there was a time when they juggled the sub-contractor, and now it was up to them by co-operation and fair dealing to re-establish confidence. Odium, he said, had been brought upon the contracting business by certain builders who, trying to make a living by cheating, had made contractors a football between the architect and owner, leading to a general "passing of the buck." The contractor has his rights, he is entitled to the right to live, he must play fair with his fellow contractor, and they all, playing fair, must seek, through co-operative association effort, to place the industry above reproach.

The matter of the annual State A. B. C's., convention at Michigan City was

(Continued on Page 7)

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taken up and the date for same was set for January 23, 24, and 25. Mr. E. A. Simpson, of the convention city, extended a cordial invitation to all Indiana contractors to come to Michigan City for the convention, announcing that the local builders would try to show the visitors a good time. "Try nothing," broke in W. R. Harding of that place, "we are going to show you the time of your lives."

It was decided to hold no more conferences till after the January convention.

Those present at Indianapolis were: E. L. Danner, J. A. Weaver, Thomas Heckman, Kokomo; A. E. Kemmer, Lafayette; L. M. Glass, Charles Rowe, Muncie; E. A. Simpson, W. R. Harding, W. C. Looker, Michigan City; W. O. Fassnacht, Charles Jordan, South Bend; Guy Brill, F. A. Burget, Terre Haute; F. W. Jungclaus, C. C. Pierson, Charles Glenn, John H. Owens, Indianapolis; and visitors, Otto C. Holtz, Chicago; Attorney Harry A. Fenton, Indianapolis.

THE THREE FORCES IN CONSTRUCTION

Three years of organization work among "constructors" have resulted in dividing the industry into three fairly well defined camps. One camp realizes its obligation to the industry as a whole and believes in the "help one another" spirit. Another camp is too busy and too firmly steeped in the doctrine of traditional failure to give proper heed to the tidings of the times. The third class includes that selfish type found in all lines of human endeavor which realizes no obligation to society or its industry not in consonance with its own personal ends and interests. The last two—happily, diminishing types of constructors—furnish many discouragements to those who are trying to carry forward the present ethical and material movement in our industry. So far as ethical work is concerned, some are scoffers; so far as material results are concerned, the vision of all is limited to the ends of their noses. Occasionally we encounter those who are used to working in the "dark." "Ephraim is joined to his idols" and wishes to be let alone.

VOCATIONAL EDUCATION THAT WILL COUNT

The training of building mechanics is an enterprise which justifies your wholehearted support. Some unions representing building mechanics have officially approved vocational training. The real test of their sincerity however, will be found not in resolutions but in actual co-operation with local groups. The employer and his organization whether in an open or closed shop community is confronted with the need of more and better trained mechanics. One of the means to remedy the existing situation is through vocational training for building mechanics in night and day schools. What are you contemplating? Take the matter up now with your educational officials in order that classes may be started this fall.

What has your local association done along this line? What is it contemplating? Why not go into the matter at once with your local educational officials and get some building trades classes started?

News of the Week

The asterisk (*) prefix to an item indicates additional information to report published in previous issue.

INDIANAPOLIS.

Condenser And Still Building: 1 sty. 85x102. Archt. Batchelder & Scales, 426 Board of Trade Bldg. Owner, Republic Creosoting Co., 1614 Merchants Bank Bldg. Preliminary plans in progress. Reinf. concrete and brick, composition roof, metal sash and operators, cement floor, fire doors.

Garbage Disposal Plant: "Sellers Farm." Private plans. Owner, Board of Sanitary Commissioners, City Hall. Plans in progress. Brick, steel sash, composition roof, steel roof trusses, steel tanks, garbage conveyors, chain drives, garbage cookers and dryers, screening apparatus, motors, storage & separating tanks, steam driven pumps, vacuum pumps.

***Church:** \$30,000. Martindale avenue. Architect, W. H. Garns, 818 Fletcher Trust Building. Owner, Scott's Chapel M. E. Church (Colored) 2131 Martindale Ave. Plans nearing completion. Ready for bids in 10 days. Brick, stone trim, tile.

***Residences** (4 doubles) 2 sty. & bas. Connersville, Indiana. Archt. W. H.

Garns, 818 Fletcher Trust Bldg., Indianapolis. Owner, Charles Melhorn, Connersville. Plans about completed. Ready for bids soon. Frame.

***School Building:** 2 sty. & bas. Jackson Township, Decatur County, Indiana. Architect, The Elmer E. Dunlap Co., 1050 No. Delaware St., Indianapolis. Owner, Cliff N. Fulton, Trustee, Letts, Indiana. Owner receiving bids to close December 1st, at 1:30 p. m. (See legal advertising in this issue) Brick.

***Temple:** (Hebrew) \$40,000.00. 1 sty. & bas. 1027 South Meridian St. Archt., Everett H. Crabb, 1112 State Life Building. Owner, Congregation of Kneseth Israel, 547 Eddy street, Rev. Philip Adelman, Rabbi, 943 Maple St. Plans and specifications completed. Architect ready for bids in 10 days. Brick.

Factory (addition), 2 sty. and bas., 49 x70, \$25,000, South East St. Archt., Russell N. Edwards Co., No. 45 Union Trust Bldg. Owner, American Tent and Awning Co., John C. Truemper, Mgr., 632 South East St. Plans completed. Ready for bids next week. Brick, mill construction, steel sash, comp. roof, no heat.

***Electric Light and Power Plant** (Add.) \$50,000, Crawfordsville, Ind. Engineer (consulting), Harry C. Carroll, 511 Traction Terminal Bldg., Indianapolis. Owner, City of Crawfordsville, James H. Hamilton, City Clerk, City Hall, Crawfordsville, Ind. Low bidder on general contract, Bowyer Constr. Co., New Castle.

Contracts Awarded.

Apartment Building (5 apts.) rem. from residence, also addition & 5 car garage. 784 Middle Drive, Woodruff Place. Architect, Everett H. Crabb, 1112 State Life Bldg. Owner, Charles Nelson, 784 Middle Drive, Woodruff Place. General contract awarded to Brandt Bros. Indiana Trust Bldg. on percentage basis. Work will consist of new baths, hardwood floors, lighting fixtures, hot water heat, and general alterations. Start work immediately. Archt. taking bids in heating and plumbing.

Garage & Salesroom: \$35,000. 1 sty. & bas. 50x150. 1231 No. Mer. St. Owner, Dr. Goethe Link, 608 Indiana Pythian Bldg. General contract awarded to Lynn B. Millikan, 501 No. Delaware St. Brick, comp. roof, steam heat, steel sash. Start work at once.

BLUFFTON.

***School:** \$80,000. 1 sty. & bas. Jackson School Township, Huntington County, Indiana. Archt., Everett I. Brown, Studebaker Bank Building, Bluffton. Owner, N. W. Van Arsdol, Trustee, Roanoke, Indiana. Low bidder on general contract, Ed. S. Moore and Son, Kokomo, Indiana. Will award contracts if State Tax Board gives authority to proceed.



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Factory Blow-Pipe Work
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Dust Collectors

INDIANAPOLIS



VENTILATORS

EVANSVILLE.

***Catholic Boys High School:** \$350,000.00. Lincoln Ave. Archt., Clifford Shopbell, Furniture Bldg Owner, Catholic Diocese. Francis Joseph Reitz, Brother Ephraim, Monsignor F. X. Unterreitmeier, Rev. Francis P. Ryves, Committee. Plans in progress. Plans will be ready for bids the latter part of December. Brick, fireproof construction. Will include an auditorium with a capacity of 1200, stage, gymnasium and class rooms.

***Parochial School:** (12 class rooms and gymnasium) 2 sty. & bas. 160x70. Wabash Ave. and West Michigan St. Architect, Clifford Shopbell & Co., Furniture Bldg. Owner, St. Boniface Catholic Congregation, Rev. J. H. Hillenbrand, Prest. Bldg. Committee; William Muensterman, V. P., George P. Stocker, Secy, all of Evansville. Preliminary plans in progress. Mature about March 1st.

***City Hall (Addition)** \$47,000. Archt. Russ and Karges, Furniture Building. Owner, City of Evansville, % City Clerk, City Hall. Plans and specifications com-

pleted and approved. Owner will advertise for bids about January 1st. Brick, fireproof construction.

Residence & Garage: \$10,000. Boonville, Indiana. Archt. Harry E. Boyle & Co., Furniture Bldg., Evansville. Owner, Henry Hays, Boonville. Plans completed.

Bungalows (5) \$5,000 each. Heinlein Ave. and Oregon street. Archt. Harry E. Boyle and Co., Furniture Bldg. Owner, Harry Mannheimer. Start work at once. Owner builds, Frame, ordinary construction.

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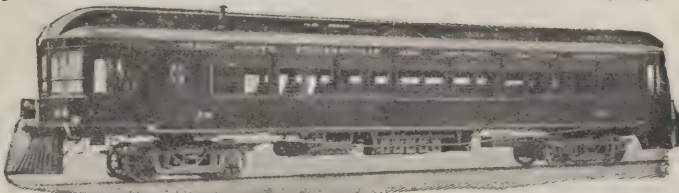
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UNION TRACTION CO. of INDIANA

***Residence:** \$5,500. Mt. Vernon, Indiana. Archt. Harry E. Boyle and Co., Furniture Bldg., Evansville. Owner, John Keck, Mt. Vernon, Indiana. Owner taking bids.

Residence (Rem.) Mt. Vernon, Indiana. Archt. Harry E. Boyle and Co., Furniture Building, Evansville. Owner, William Donaldson, Mt. Vernon. Plans in progress. General alterations.

Contracts Awarded.

***Apartment Building** (70 apts.) \$500,000. 3 sty. & bas. 210x112. Evansville, Ind. Architect and Engineer, The Donaldson System of Construction, 1114 International Life Building, St. Louis, Mo. Owner, The Donaldson Arms Realty Co., 1114 International Life Building, St. Louis. Plumbing let to Broderick Plumbing Co., East St. Louis, Ills. Mill work let to Hill Beham Lumber Co., 6500 Page Ave., St. Louis. Plans completed. Start excavating at once. Stucco, reinforced concrete floor and roof construction.

***High School** (16 rooms) Tell City, Indiana. Architect, Clifford Shopbell & Co., Evansville. Owner, Board of Education, Tell City. General contractors, Harley and Caldwell, Tell City. Electric work to Evansville Electric Service Co., Evansville. Starting brick work.

***Factory Building:** \$70,000. 3 sty. 200x58. Jasper, Indiana. Architect, Clifford Shopbell & Co., Furniture Bldg., Evansville. Owner, Hoosier Desk Co., W. E. Cox, Presti, Jasper, Indiana. General contract awarded to Beggs Construction Co., Scottsburg, Indiana. \$50,000. Start work at once.

FT. WAYNE.

***School Building:** "McCullough School" \$175,000. 2 sty. & bas. 12 rooms. Archt. Guy Mahurin, 500 Lincoln Life Building. Owner, Board of School Trustees, Byron H. Somers, Prest., Ely E. Perry, Secy., Henry J. Bowerfind, Treas., Administration Building, Clinton & Montgomery Sts. Owner receiving bids to close November 27th. 4:00 p. m. Brick, concrete and steel.

Parochial School: \$75,000. 2 sty. & bas. State Boulevard near Alabama St. Owner, St. Paul's Lutheran Church. Site purchased. Mature about March 1st. Brick, stone trim.

Store Building: 1 sty. 24x60. Archi-

tect, Pohlmeier and Pohlmeier, 303 Central Building. Owner, A. W. Manth, 702 East Lewis St. Architect taking bids. Press Brick, copper set store front, composition roof, hot air heat.

Warehouse: 1 sty. 24x60. Architect, Pohlmeier and Pohlmeier, 303 Central Building. Owner, Freiburger Hardware Co., 1914 Calhoun St. Architect taking bids. Press brick; composition roof.

***Church:** \$150,000. (Sunday School, Auditorium & Parish House) 2 sty. & bas. 118x66 and 56x07. Fairfield Ave. and Berry street. Architect, Guy H. Mahurin, 500 Lincoln Life Building. Owner, Plymouth Congregational Church William J. Hess, Chairman Building Committee, 1345 Maple St. Plans completed. Ready for bids December 1st. Brick, stone trim.

Church: \$50,000. South Side. Architect, Guy Mahurin, 500 Lincoln Life Building. Owner, South Side Baptist Church, % Architect. Plans completed. Mature about March 1st. Brick, stone trim.

***Masonic Temple:** \$400,000. 5 sty. & bas. Architect, Chas. Weatherhogg, 250 West Wayne St. Owner, Masonic Temple Association, F. H. Pocock, Chairman Building Committee, 709 Court street. Plans completed and approved. Ready for bids in two weeks. Brick, fireproof construction.

***Bank Building:** Angola, Indiana. Architect, Chas. Weatherhogg, 250 West Wayne St., Ft. Wayne. Owner, First National Bank, Angola, Ind. Plans in progress. Brick, Bedford stone.

Residence (Bungalow Type) \$25,000. 1 sty. & bas. 72x52. South Whitley, Indiana. Archt. A. M. Strauss, 705 Shoaff Building, Ft. Wayne. Owner, Robert F. Hicks, South Whitley, Ind. Plans in progress. Brick veneer, tile roof, tile floors in baths, vapor heat, hardwood floors.

Apartment Building (rem. from residence) Wabash, Indiana. Architect, A. M. Strauss, 705 Shoaff Building, Ft. Wayne. Owner, Dr. M. F. Jordan, Wabash, Ind. Plans in progress. Work will consist of baths, plumbing, vapor heat and general alterations.

***Combination Auditorium & Gymnasium:** Nebraska School, Boone & Fry Sts. Architect, A. M. Strauss, 705 Shoaff Building. Owner, Board of School Trustees, Byron H. Somers, Prest., Henry J.

Bowerfind, Secy. Revised plans completed. Owner will probably advertise for bids in December. Brick.

Church: \$10,000. South Milford, Indiana. Architect, A. M. Strauss, 705 Shoaff Building, Ft. Wayne. Owner, Christian Church, Board of Trustees, South Milford, Indiana. Receiving bids. Frame.

***Commercial Building** (alteration and addition) \$35,000. 3 sty. & bas. 60x60. Architect, A. M. Strauss, 705 Shoaff Building. Owner, Dr. M. I. Rosenthal, 336 West Barry St. Revising plans. Brick, steel sash, copper set front.

Residence: \$12,000. Architect, Leighton Bowers, 433 Utility Building. Owner, Harry Zwahlen, 3212 Indiana Ave. Architect receiving bids. Brick veneer.

***Residence:** \$12,000. (7 rooms) Kinsmore and Indiana. Architect, Leighton Bowers, 433 Utility Building. Owner, H. W. Ginty, 618 East Jefferson. Plans nearing completion. Ready for bids shortly.

***Doctor's Residence** (Offices, operating rooms, laundry, waiting room and 3 car garage) 2 sty. & bas. 70x35. New Haven, Indiana. Architect, J. M. E. Riedel, 305 Noll Building, Ft. Wayne. Owner, Dr. Cowen, New Haven, Ind. Architect will take bids in about 10 days. Brick, Spanish tile roof, terrazzo floors, vapor heat, hardwood floors.

Residence and Garage: \$60,000. 1 & 2 sty. & bas. 88x66. & 40x50. Forest Park Boulevard. Architect, J. M. E. Riedel, 305 Noll Building. Owner, G. Max Hofmann, 1118 Calhoun St. Bids in; will probably award contracts upon return of Mr. Hofmann about November 25th. Stucco, tile and terrazzo floors, tile roof, central heating plant.

Residence: \$6,500. Architect, F. G. Fortney and Clarence Levey, 509 Bass Block. Owner, Mrs. Rose Richter, 1119 Huffman St. Architect receiving bids. Frame, asphalt shingle roof, furnace heat.

Contracts Awarded.

***Residence:** \$12,000. 2 sty. & bas. Vermont Ave. Architect, Leighton Bowers, 433 Utility Building. Owner, Dr. John W. Kannel, 1315 Wells St. General contract awarded to George Kronmiller, 1723 Cortland St. Brick veneer.

***Residence:** \$15,000. 2 sty. & bas. 50x (Continued on Page 11)

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INDIANAPOLIS

26. Lake Ave. and Delta Boulevard. Architect, F. G. Fortney and Clarence Levey, 509 Bass Block. Owner, Mrs. Susan Simminger, 124½ Washington Boulevard. General contract awarded to William G. Harrod, 2401 Florida Drive. Brick veneer.

*Swimming Pool: Architect, Griffith and Goodrich, 211 East Berry St. Owner, Y. W. C. A. Miss Ida L. Jones, Secy. General contract awarded to Indiana Engineering and Construction Co., Central Building. Reinf. concrete.

*Warehouse & Offices: 3 sty. & bas. 41x114. 2038 Broadway. Architect, Leighton Bowers, 433 Utility Building. Owner, Hildebrand Hardware Co., 2038 Broadway. Owner builds. Foundation in. Brick, concrete and steel.

*School (Grade and High) 2 sty. 110x88. (12 rooms) Pierceton, Ind. Architect, Griffith and Goodrich, 211 East Berry St., Fort Wayne. Owner, A. J. Menzie, Trustee, Pierceton, Indiana. General contractor, Noah Franz, Silver Lake and Burket, Indiana. Work not started.

*Store and Office Building: \$70,000. 4 sty. 122 West Wayne St. Architect, Chas. Weatherhogg, 250 West Wayne St. Owner, Brown-Cooper Realty Co., Utility Building. General contractor, Indiana Engineering & Construction Co. Heating, plmg. & wiring let to A. H. Hattersley & Sons. Excavating. Brick, semi-fireproof construction.

*Residence: \$30,000. Architect, Pohlmeier and Pohlmeier, 303 Central Bldg.

Owner, Walter T. Shepard, Secy. Lincoln Life Insurance Co. General contractor, Fred Rump, 2411 So. Wayne St. Heating to Chas. McCormick; plumbing to Henry Yobst; wiring let to Fisher Electric Co. Foundation in. Brick.

BUILDING PERMITS ISSUED.

Residences (8) on Kensington Blvd. as follows: \$8,750, \$8,850, \$4,600, \$7,250, \$10,000, \$8,750, \$5,250 and \$4,950. Owner and builder James Peddicord, 334 Utility Bldg. All frame.

Residences (5) at 2933 Lillie St., \$6,230. 110 Banning Ave., \$5,600, 4105 Calhoun St., \$5,600, 1706 & 1710 Crescent St., \$5,200 each. Owner and builder, City and Suburban Building Co., 202 Utility Bldg. Owner builds.

Residence: \$5,400. 1046 Northwood Blvd. Owner, Marion Snyder, at site.

Residences (4) \$7,200; \$9,800; \$9,500; \$10,000 respectively, at 1914 No. Anthony Blvd., 1601, 1617 & 2014 Kensington Blvd. Owner, W. E. Doud, 228 Utility Building.

Residences (2) \$7,000 Total. 465 and 469 Wiebke St. Owner, L. Wells, at site.

FRANKFORT.

Contracts Awarded.

Store Building (rem.) Architect, Rodney Leonard, Peoples Life Bldg. Owner, W. H. Spencer (5 and 10 cent stores), Frankfort. Contract let to O. M. Reed, Frankfort. Start work soon. Work will

consist of cast iron columns, brick work and general alterations.

Undertaking Establishment: \$8,000. 1 sty. 68x66. Architect, Rodney Leonard, Peoples Life Building. Owner, Goodwin Bros. Bert Freeman, Supt. of Construction. Work started. Brick.

GARY.

Contracts Awarded.

Residences (10) \$7,500 each. 2 sty. & bas. about 22x42. West End. Owner and bulider, Robert Cenek, 673 Broadway. Start work soon. Owner builds and awards separate contracts. Brick veneer and frame.

*Apartment Building: \$14,000. 3 sty. 24x46. 1340 Jackson St. Architect, L. F. Hiner, Gary Building. Owner, Alex Turin, 1628 Delaware St. General contract let to Dan Bazin, 1628 Delaware St. Brick.

HAMMOND.

Hotel: \$100,000. 3 sty. & bas. 50x125. State St. East of Post Office. Owner, Dickson Brothers, Hammond. Plans in progress. Ready for bids soon. Brick.

*Hotel (120 rooms) Stores (12) Offices (26) and Commercial Garage: \$250,000. State and Hohman Sts. Architect, C. Howard Crane, 127 No. Dearborn St., Chicago, Ill. Owner, Bereolos Bros., Hammond. Architect receiving bids.

(Continued on Page 13)

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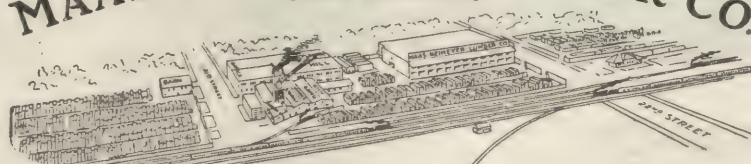
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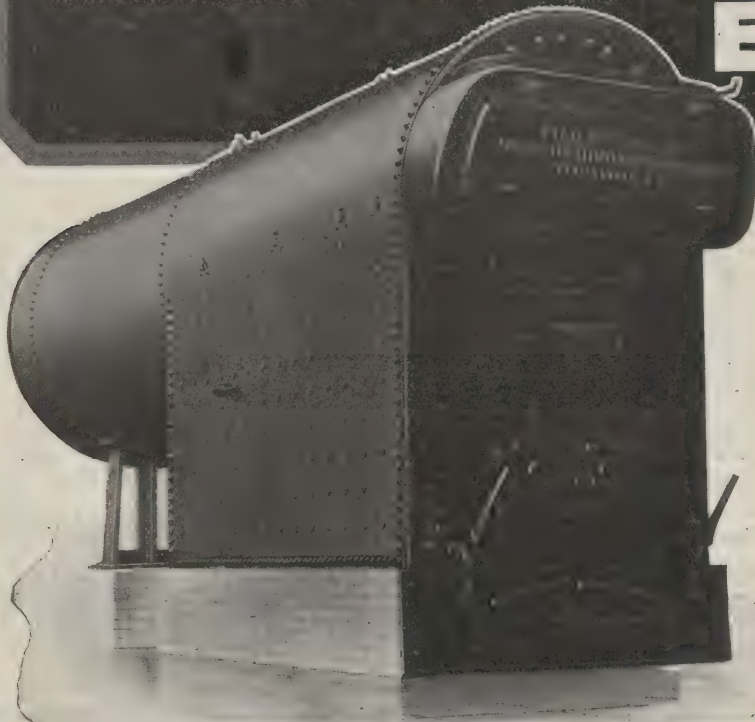
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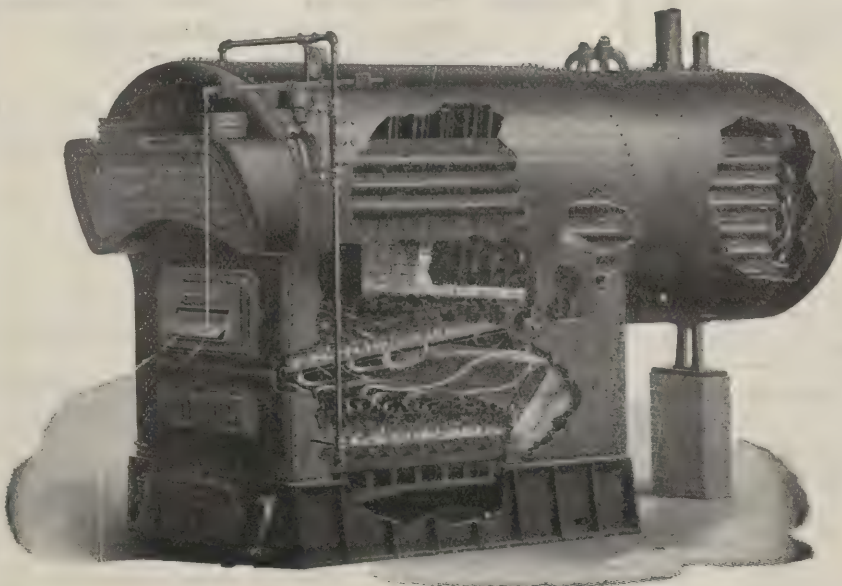
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Contracts Awarded.

***Dairy Building:** 2 sty. & bas. 80x150. Architect, A. C. Berry and Co. Owner, Hammond Dairy Co., 680 Oakley Ave., Hammond. General contract awarded to J. W. Snyder Construction Co., Chicago, Illinois. \$64,000. Brick, reinf. concrete and steel.

***Store and Apartment Bldg.:** \$21,000. East Chicago, Indiana. Owner, Pollak Store, East Chicago, Ind. General contract let to Ed. Greenwald, Hammond. Brick.

***Factory and Assembly Plant:** (1st unit) 500x1400. Torrence Ave. and 130 St. Owner, The Ford Motor Co., Detroit, Michigan. Structural steel let to American Steel Co., Detroit, Michigan. Start work shortly.

JEFFERSONVILLE.

Residence & Garage: \$25,000. Court Ave. Private plans. Owner, J. F. Voigt, Jeffersonville. Sketches. Mature early spring. Brick veneer.

Police Station (Addition) 2 sty. & bas. 32x30. Architect, Paul Moosmiller, 9th and Market Sts., New Albany, Ind. Owner, City of Jeffersonville, H. B. Dietz, City Clerk, City Hall, Jeffersonville. Preliminary plans in progress.

LINTON.

Church: \$8,000. 1 sty. and basement. 34x50. 5 miles east of Lyons, Indiana. Architect, John T. Fritz, Linton, Ind. Owner, Rev. W. H. Thompson, Pastor, Lyons, Indiana. Architect receiving bids. Brick and hollow tile, stone trim, asphalt shingle roof, warm air furnace, structural steel, yellow pine trim.

Residence (Rem.) 1½ sty. 30x32. Architect, John T. Fritz. Owner, Chas. Skomp. General contract let to William Anderson. Frame, asphalt shingle roof, new bath, electric wiring.

MUNCIE.

***Masonic Temple:** \$500,000. 4 sty. & bas. 160x112. Main and Madison Sts. Architect, Cuno Kibele, 335 Johnson Building. Owner, Masonic Temple Association, Eugene Vatek, Chmn., 1004 East Main St. Foundation in. Architect will be ready for bids on structural steel in two weeks.

***Gymnasium:** \$150,000. Archt. Kibele and Gerrard, 335 Johnson Building. Owner, Indiana State Normal School, Board of Trustees. Muncie, Indiana. Plans nearing completion. Expect to advertise for bids about January 1st. Brick.

NEW ALBANY.

***Church:** (Fire Rebuild) \$50,000. 514 West Main St. Private plans. Owner, Main Street Methodist Church, Rev. William H. Howerton, Pastor, 518 West Main St. H. Schultz, Secy. Board of Trustees, 612 West Main St., all of New Albany. Taking bids.

Factory (Addition) \$15,000. 2 sty. 100x180. 8th and Cemetery Sts. Private plans. Owner, Period Cabinet Manufacturing Co., New Albany. Sketches. Owner will probably build by day labor. Brick, mill construction.

Contracts Awarded.

***Residence and Garage:** \$25,000. 2 sty. & bas. (20 rooms) Silver Hill, New Albany. Architect, Vevin-Wischmeyer and Morgan, 1317 Starks Bldg., Louisville, Ky. Owner, George Moser, Silver and Market Sts., New Albany, Ind. General contract awarded to Stephen Day and Son, New Albany, Ind. Brick, stone trim.

SOUTH BEND.

Apartment Building and Stores: \$400,000. Bartlett and Michigan Sts. Architect, Walter Ahlschlager, 1710-44 Conway Building, Chicago, Ill. Owner, Robert Elbel and Associates, 428 No. Michigan St., South Bend, Indiana. Architect receiving bids. Brick, steel joist floor and roof construction, terra cotta trim, metal windows and metal doors, store fronts, (2) elevators, 7½ H. P. and 10 H. P. Expanded metal ceilings, clay tile partitions, incinerator, asphalt roof, marble, tile and terrazzo floors and wainscoting.

***Apartment Building (18 apts.)** 3 sty. & bas. 87x97. Architect, Austin and Shambleau, 111 No. Lafayette St. Owner, Thomas Moerdock, South Bend. Bids in; under advisement. Brick, reinf. concrete, composition roof, steam heat, refrigerators, ranges, vacuum cleaner, terazzo & tile work, incinerator, in-door beds.

Contracts Awarded.

***Store Building:** \$25,000. 2 sty. & bas. 60x105. 2219 So. Chapin St. Owner, Deka and Mamiszak, 830 So. Chapin St. General contractor, Smoger Lumber Co., 407 So. Laurel St. Starting foundation. Brick.

***Residence:** \$8,000. 1809 Portage St. Owner, F. A. Clark. General contractor, Stanley Bowles, at site. Foundation in. Frame.

TERRE HAUTE.

Hominy Mill (Fire Rebuild) \$500,000. Owner, The American Hominy Co., Chicago, Ill. and Terre Haute, Ind. Contemplated. Definite data later. Brick and concrete.

Hotel (83 rooms) \$200,000. 4 sty. & bas. 60x130. Paris, Illinois. Architect, Johnson, Miller and Miller, 30 No. 5th St., Terre Haute. Owner, Paris Hotel Co., C. W. North, in charge, Champaign, Illinois. Plans completed. Brick, Bedford stone trim, reinforced concrete skeleton frame constr., marquise, mail chute, steel sash, tar & gravel roof, 2 boilers, kitchen equip., refrigerating plant, laundry equip. Elevator, boiler feed pump, incinerator, marble and tile work.

Bank (remodeling present building or new building) \$30,000. Farmersburg, Ind. Architect, Shourds-Stoner Co., Tribune Bldg., Terre Haute. Owner, First National Bank, C. L. Combs, Cashier, Farmersburg, Indiana. Preliminary plans. Definite data later. Brick.

VINCENNES.

***Creamery Building:** \$18,000. 1 sty. & bas. 63x55. Princeton, Indiana. Architect, John Bayard, 231½ Main St., Vincennes, Indiana. Owner, Tip Top Cream-

ery Co., F. C. Ball, Mgr., Princeton, Indiana. Plans in progress. Brick, concrete and steel, composition roof, electric freight elevator.

MISCELLANEOUS CITIES.

Auburn: Light Plant (machinery and general equipt.) Owner, City of Auburn, Glenn Potter, Clerk, City Hall. Receiving bids to close November 23d. (Note extension of closing date) steam turbo generator, motor driven exciter, condenser, switchboard, two centrifugal pumps.

Farmland: Waterworks and Sewage Plant: \$40,000. Owner, City of Farmland, % City Clerk. Mature about March 1st.

Goshen: 3 service stations. Washington and 3d Sts., Madison & 11th Sts., Chicago & Pike Sts. The Sinclair Oil Co., South Bend, Indiana purchased the above sites and will build service stations.

Hartford City: Hotel (rem.) Hartford City Hotel. Owner, F. M. Bush, Seymour, Indiana. Taking bids. Work will consist of new plumbing, 11 baths, lavatories in 42 rooms, papering and decorating, new furniture, rem. lobby and dining room and general interior alterations.

Lafayette: Residence for President of Purdue University. Architect, Nicol, Scholer and Hocman, Ross Bldy. Owner, Board of Trustees, Purdue University, Lafayette, Indiana. Sketches. Details undecided. Probably brick walls.

***Laporte:** High School, \$400,000. 2 sty. & bas., Laporte. Architect, Miller, Fullenwider and Dowling, 646 No. Michigan Ave., Chicago, Ill. Owner, Board of School Trustees, G. W. Gilderman, Prest. Mary J. Walker, Treas., H. H. Keller, Secy., Laporte. Low bidders are as follows: General contract, Larson-Danielson Construction Co., Laporte; low on heating and plumbing, National Heating and Plumbing Co., South Bend, Ind.; Electric work, Foutz Electric Co., Laporte. The bids ran higher than the amount of money on hand for building purposes; the Board of Education are waiting to see whether or not additional funds can be obtained before final action is taken on the bids which were submitted.

Marion: Office and Warehouse, 1 sty. 160x60. 8th and Big Four R. R. Owner, Marion Insulated Wire and Rubber Co., 8th and Big Four R. R. Contemplated. Brick, mill construction.

Mishawaka: Reservoir, \$40,000. (500,000 gallon capacity) Engineer, Burns & McDonnell, 402 Interstate Building, Kansas City. Owner, City of Mishawaka, % Clerk, City Hall, Mishawaka, Indiana. Plans in progress.

***Peru:** Club House, \$45,000. Architect, Jessie Osborn. Owner, Knights of Columbus, Mr. McNamara, Prest. % Peru Furniture Co. Revising plans. Ready for bids about December 10th. Brick, 2 sty. & bas.

Contracts Awarded.

Anderson: Printing Establishment. 2 sty. & bas. 40x150. Private plans. Owner, Bulletin Printing Co.; General contract awarded to Eshelman and Sons, 7 Griffith Block, Anderson, Indiana. Excavated. Brick, reinf. concrete & steel.

***Union City:** Township school (rem.)

(Continued on Page 16)

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The Executive Committee of the New York Chapter of the American Institute of Architects, as trustees of the Traveling Scholarship, founded by Pierre L. Le Brun, announces a competition for the selection of a beneficiary. The program will be issued about December 30th, 1922, calling for drawings to be delivered about March 1st, 1923.

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"Any architect or architectural draughtsman, a citizen and resident of the United States, not under twenty-three or over thirty years of age, who shall, for at least three years, have been either engaged in active practice, or employed as an architectural draughtsman and who is not and has not been the beneficiary of any other traveling scholarship, shall be eligible to compete."

"Every competitor must be nominated by a member of the American Institute of Architects who shall certify in writing that the above conditions are fulfilled, and that in his opinion the competitor is deserving of the scholarship. No member of the Institute shall nominate more than one (1) candidate."

"Every competitor must engage to remain, if successful, at least six months abroad and to devote well and truly that length of time to travel and the study of architecture otherwise than by entering any school or atelier or attending lectures, it being intended that the benefit derived from this traveling scholarship shall supplement school or office experience."

"The successful competitor shall write from time to time, but not less than once every two months, to the New York Chapter of the American Institute of Architects, giving an account of the employment of his time."

All those wishing to enter the competition should arrange at once for nomination by a member of the American Institute of Architects. Nomination blanks can be had of the secretary of any Chapter, A. I. A., or of the Le Brun Scholarship Committee, 215 West 57th Street, New York. Nominations should be sent, so as to be received before January 1st, 1923.

INDIANAPOLIS ARCHITECTS TO MEET WEDNESDAY NIGHT.

Another entertaining evening is in store for the members of the Indianapolis Architects' Association next Wednesday night at the Hoosier Athletic Club. The occasion will be the second monthly fall meeting of the city architects' association, and while not divulging any details, Architect Fernor S. Cannon, chairman of the Program Committee for the evening, intimates a good time for those attending. A 6:30 p. m. dinner at the above club is announced as a starter for the evening's diversion.

CHANGE IN ARCHITECTURAL CIRCLES IN EVANSVILLE.

The firm of Capelle & Troutman, Architects, has dissolved partnership and Mr. Charles L. Troutman has taken over the interests of this firm to continue business as formerly in the suite of offices 409 and 410 American Trust Building, Evansville, Indiana.

I. S. OF A. DELEGATES TO CHICAGO COMMERCIAL CONGRESS.

When the 15th Annual Southern Commercial Congress meets at Chicago, November 20 and 22, the Indiana Society of Architects will be represented there by Architects G. W. Allen, Laporte and A. F. Wickes, Gary, appointed delegates by the Society board of directors at the Ft. Wayne meetings in October. The aim of the congress is to encourage closer commercial relations between the North and the South.

SUPPOSE HE HAD BEEN A PROS- PECTIVE CLIENT.

Why do some architects have such forbidding looking offices? Recently I called on a firm of architects, and the reception room was a narrow 3 ft. by about 10 ft. passage. You could see nothing of the office, but I could hear different individuals talking. A push button bell was there to attract attention. I rang it a few times, but no attention was paid.

Finally, a man came out while I was standing there, through a double swing door that reminded one of the old saloon days before anti-prohibition time, but, he was too busy to more than glance my way.

I called at that office in response to some matter in which the architect was interested. I was a little amused at first in the lack of method employed. Then, after standing around first on one foot and then the other for about fifteen minutes, I grew disgusted at the lack of ordinary courtesy and departed.

It would take a crowbar to have me go back to that establishment again.

Both architects' and builders' offices should be open enough so that when a visitor calls he will at least receive attention.

One's office entrance should be attractive and, beyond that, at least inviting, not repellant to possible clients and customers.—(Building Age, September.)

& add.) \$60,000. Jackson Twp. Randolph Co. Architect, C. E. Losch, Union City, Ind. General contractor, Bert Arbaugh, Portland, Ind. Plumbing let to Robick Hardware Co., Winchester, Indiana. Heating not let. May not start work until early spring.

Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field.

Copy should reach us, at the latest, Wednesday of the week of publication.

SCHOOL HOUSE. NOTICE TO CONTRACTORS.

Notice is hereby given that sealed bids will be received by the Township Trustee and Advisory Board of Jackson Township, Decatur County, Indiana, at the office of Cliff N. Fulton, Lettes, Indiana, until 1:30 p. m., December 1, 1922, for the construction and completion of a two-story and basement school building in said Jackson Township, Decatur County, Indiana, in accordance with plans and specifications as prepared by The Elmer E. Dunlap Co., architects,

copies of which are now on file in the office of the Trustee, in the office of the State Board of Accounts, State House, Indianapolis, also in the office of the architects, 1050 N. Delaware St., Indianapolis.

Separate bids will be received for furnishing all materials and necessary labor for the following branches of construction:

1. General Construction.
2. Electric Wiring and Bell System.
3. Plumbing and Sewering.
4. Heating and Ventilating.

All bids must be submitted on Form No. 96, adopted and approved by the State Board of Accounts. Bids to be delivered in sealed envelopes addressed to Cliff N. Fulton, Township Trustee, endorsed with title of work and name and address of bidder.

Each bidder will be required to file with his bid a certified check as follows: General Construction, \$1,500; Electric Wiring and Bell System, \$200; Plumbing and Sewering, \$400; Heating and Ventilating, \$750. Checks to be made payable to Cliff N. Fulton, Township Trustee, and will be held as a guarantee of good faith that the said bidder or bidders will enter into a contract with and execute a bond approved by the Trustee for the faithful performance thereof if his bid or bids are accepted. Checks of the unsuccessful bidders will

be returned when contracts have been executed.

Each bidder, to whom contract is awarded, will be required to execute bond, approved by the Trustee for the full amount of the contract. Should he fail to enter into such contract and execute the bond required within ten days after award of contract, then he or they shall forfeit the amount of said certified check as liquidated damages for the use and benefit of the proper fund of Jackson Township, Decatur County, Indiana.

The Trustee reserves the right to reject any or all bids and, further, to require any bidder to show to the satisfaction of the Trustee and Advisory Board that he is competent to perform the work on which he bids.

Copies of plans and specifications may be obtained at the office of the Architects, 1050 N. Delaware St., Indianapolis, upon deposit of \$25 for each set; said deposits to be returned upon the safe return of the plans and specifications to the office of the Architects on or before the day and hour set for receiving bids.

J. R. THURSTON,

OVID HOUE,

A. B. MONTGRIFF,

Advisory Board.

(Signed) CLIFF N. FULTON,
Trustee Jackson Twp., Decatur Co., Ind.

RETAIL QUOTATIONS

Indianapolis Building Materials

LUMBER.

Framing Lumber.	
2x4 in. 8, 16 ft.—No. 2 common	\$44.00
2x4 in. 18, 20 ft.—No. 2 common	46.00
2x6 in. 8, 16 ft.—No. 2 common	42.00
2x6 in. 18, 20 ft.—No. 2 common	44.00
2x8 in. 8, 12, 14, 16 ft.—No. 2 common	46.00
2x8 in. 18, 20 ft.—No. 2 common	44.00
2x10 in. 8, 12, 14, 16 ft.—No. 2 common	46.00
2x10 in. 18, 20 ft.—No. 2 common	44.00
2x12 in. 8, 12, 14, 16 ft.—No. 2 common	47.00
2x12 in. 18, 20 ft.—No. 2 common	47.00
Same—No. 1 common, add \$8.00 per M to above quotations.	
Boards.	
Yellow Pine, S & S, 1x4 in.—No. 1 common	\$50.00
Yellow Pine, S & S, 1x4 in.—No. 2 common	37.50
Yellow Pine, S & S, 1x6 in.—No. 1 common	52.50
Yellow Pine, S & S, 1x6 in.—No. 2 common	44.00
Yellow Pine, S & S, 1x8, & 10 in.—No. 1 common	55.00
Yellow Pine, S & S, 1x8, & 10 in.—No. 2 common	45.00
Yellow Pine, S & S, 1x12 in.—No. 1 common	65.00
Yellow Pine, S & S, 1x12 in.—No. 2 common	50.00
Bevel Siding.	
6 in. clear redwood	\$65.00
6 in. select poplar	70.00
8 in. clear cypress	75.00
Drop Siding.	
Yellow Pine, 1x6 in.—Clear	\$70.00
Yellow Pine, 1x6 in.—No. 1 common	60.00
Yellow Pine, 1x6 in.—No. 2 common	45.00
Yellow Pine, 1x8 in.—No. 1 common	60.00
Yellow Pine, 1x8 in.—No. 2 common	47.00
Finish.	
Yellow Pine, 1x6 in. to 10 in.	\$ 90.00
Yellow Pine, 1x12 in.	110.00
Cypress, 1x12 in.	150.00
Cypress, 1x6 in. to 10 in.	140.00
Hardwood Flooring.	
Oak Flooring	\$130.00
Maple Flooring	130.00
Edge Grain Flooring	110.00
No. 1 Yellow Pine Flooring	75.00
Yellow Pine Flooring.	
1x4 in. clear flat grain	\$85.00
1x4 in.—No. 1 common	65.00
1x4 in.—No. 2 common	42.00
1x6 in.—No. 1 common	55.00
1x6 in.—No. 2 common	45.00
Shingles.	
Oregon cedar, clear 5-2 in.	\$8.00
Extra XAX, 6-2 in.	7.00

CLAY PRODUCTS.

BRICK.	
Common, F. O. B. cars, Indianapolis	\$15.50 to \$16.50 M.
Face, F. O. B. cars, Indianapolis	23.00 to 40.00 M.

HOLLOW CLAY PARTITIONING TILE.

Size (Inches)	Wt. Each	Pcs. to Min C/L	Deld. from Stock M.
3x12x12	15 lbs.	3570	\$84.00
4x12x12	16 lbs.	3200	95.00
6x12x12	22 lbs.	2400	123.80
8x12x12	30 lbs.	1800	169.00
10x12x12	35 lbs.	1500	192.00
12x12x12	42 lbs.	1200	238.90

BAKUP TILE.

Size (Inches)	Wt. Each	Pcs. to Min C/L	Deld. from Stock M.
4x5x12	9 lbs.	5000	\$ 45.92
5x8x12 (2-cell)	15 lbs.	3200	76.50
5x8x12 (3-cell)	17 lbs.	3200	86.75

GYPSUM BLOCKS.

Size (Inches)	From Warehouse
3x12x30 Hollow	\$132.00
4x12x30 Hollow	154.00

FLUE LININGS.

	Joint
Flue Linings, 8 1/2 x 8 1/2	\$0.60
Flue Linings, 8 1/2 x 13	.90
Flue Linings, 8 1/2 x 18	1.35
Flue Linings, 13 x 13	1.15
Flue Linings, 13 x 18	1.75
Flue Linings, 18 x 18	2.25
12 inch Round Lining	1.35

WALL COPING.

	Per ft.
9 in.	\$0.20
13 in.	.30
18 in.	.60
Angles, three times price per ft.	

CEMENT BLOCKS

Plain—8 in.x12 in.x16 in.	\$0.22 each
Rock Face—8 in.x12 in.x16 in.	.25 each
For fittings, corners, window blocks, add 25 c/.	
For Water-Proof Blocks add two cents per block.	

CEMENTS.

	Each
Portland, paper bags	\$0.90
Portland, cloth bags	.95
White Portland, cloth bags	2.60
Bricklaying	.66 and .75
Cloth sacks included, returnable at 7c each.	

Official Paper

Associated Building Contractors of Indiana

FRED W. JUNGCLAUS, President
Indianapolis

C. C. PIERSON, Secretary
Indianapolis

ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller.....President

Office, 411 Sycamore St.

VARIOUS GAINS SHOWN BY LOCAL BUILDING OPERATIONS IN OCTOBER

Activity in building in Evansville during the month of October showed a decided improvement not only over the corresponding period a year ago but also over the building construction operations of the individual four preceding months. The estimated valuation on the projects for which permits were issued in the month of October was the third highest monthly total registered during the year, carrying out previous predictions by Evansville contractors that active building operations would extend right on in to the late fall.

Comparative building figures for Evansville are:

	Per.	Est. Val.
October, 1922	136	\$246,506
October, 1921	101	106,725
Gain, Oct., 1922	35	\$139,781

BIG WORK IN PROSPECT

Evansville has a big construction program ahead of her, in the opinion of the U. S. Department of Labor, which has just issued its October survey of the industrial situation here.

The building of the Benjamin Bosse high school, the new Catholic high school and the proposed new shops of the C. and E. I. Railroad company are listed as three large projects about to demand prompt attention.

SEE THE SILVER LINING

While statisticians are producing figures to show that Evansville is from six months to a year behind in building, and that the city is normally ten years behind in construction work, Anderson and Veatch, local contractors, take the view that every indication points to a large increase in building of every kind next year, and to unusual activity during the present winter season.

This firm argues that manufacturing plants and other industries in Evansville are running full time and unemployment is no longer a problem. The city is on the shreshold of a very active

industrial era, with a large but healthy expansion and growth in prospect. Such conditions always prompt extensive building programs.

As industrial building was engaged in on a large scale during the war, the new building activity will undoubtedly be turned toward public buildings, churches and homes.

FACTORY BUILDING WORK ASSUMING NEW ACTIVITY

More factory additions are now being planned throughout the city than has been the case for some time. Five industrial plants right now are either actively engaged in construction operations or are about to enter upon same while several others are contemplating improvements, all of which lends cheer to the local contracting ranks.

FT. WAYNE

BUILDERS' EXCHANGE
Member State A. B. C.

Max Irmscher.....President

Eph Dailey.....Secretary
825 Calhoun St.

Phone 2001

GRAND TOTAL IN BUILDING STEADILY PILING UP AT FT. WAYNE

Check in another million dollar building month for Ft. Wayne. That makes three this year for this city, and all three of them have come along consecutively, August, September and October, each turning in totals running into seven figures. The entire aggregate amount for building permits issued in Ft. Wayne since August 1st, is \$4,792,949, or just \$6,807 less than the estimated valuation of all local building operations, for which permits were granted during the first nine months of 1921.

During the month of October there were 189 permits for building issued by the local city building inspector. These represented an estimated investment of \$1,383,445 in new building construction, a remarkable figure, coming in the late fall when activity in this line is supposed to slow up. While not reaching the heights attained by September and August, building operations, nevertheless, it was a grand performance for October and showed a gain of 236.7% over the corresponding period in 1921, when the estimated valuations totaled \$410,765 for the 137 permits issued.

Ft. Wayne's October building operations were the second highest recorded

in the State, being exceeded only by those at Indianapolis where \$2,431,513 was registered. None of the other Indiana cities came near equaling the local showing for the past month.

By virtue of the latest building totals recorded here Ft. Wayne has eased into second place in the standing of Indiana cities relative to building operations for 1922, having crowded South Bend back into third position. Indianapolis naturally is away out in front.

For the first ten months of 1922 the figures show Ft. Wayne and South Bend running neck and neck for place and show positions as follows:

	Per.	Est. Val.
Ft. Wayne	1810	\$8,599,749
South Bend	3709	7,969,843
Ft. Wayne October Figures:		
October, 1922	189	\$1,383,445
October, 1921	137	410,765

Gain, Oct., 1922..... 52 \$ 972,680

DEMAND FOR HELP HEAVY IN LOCAL BUILDING CONSTRUCTION FIELD

The effect of building activity at Ft. Wayne is already manifested at the local employment bureau where constant calls are being made for building trades mechanics, there being a big demand for certain of the crafts, while the supply is considerably short.

Last week 189 laborers were given employment while at least 50 more could have been placed had they been available.

Plumbers, bricklayers and plasterers are especially in demand, and contractors seem unable to obtain extra workmen to take care of the jobs on hand.

CITY ZONING LAW ADVOCATED

A petition is to be presented to the board of works asking that the board use its authority in three matters of civic improvement. The petition will ask for action on a city zoning law, the establishing of a building line on Harrison and Clinton streets and the opening of Clinton street under the Pennsylvania and Wabash railroad tracks. Local realtors are behind the petition which has a direct bearing on future building to a certain extent.

NEARLY \$100,000 FOR NEW RESIDENCES IN ONE DAY

Saturday, November 4, developed a brisk demand at the city building inspector's office for permits to construct new residences, sixteen such permits being granted. The total estimated valuation of these projects for which permits were issued amounted to \$97,730.

Remember

You can substantially reduce the cost of your compensation and liability insurance by insuring in the BUILDERS & MANUFACTURERS MUTUAL CASUALTY CO. (a strong company, organized and economically managed by contractors, and devoted exclusively to rendering a particular service and reducing the cost of insurance in building construction.)

SURPLUS OVER \$500,000.00

It will pay you to inquire of its rates and service.
See the secretary of your association or write to

**Builders & Manufacturers
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CHICAGO

INDIANAPOLIS

Building Contractor's Association
Member State A. B. C.

F. W. Jungelaus.....President
C. C. Pierson.....Secretary
320 Peoples Bank Building

MEETINGS.

Executive Committee meets second Tuesday each month.
Painter Contractors meet every Wednesday, 4.00 p. m.
Plasterer Contractors meet every Wednesday noon.
Mason Contractors Association meets every Thursday—1 P. M.
General Contractors meet second Friday each month.

PLANS ON FILE.

At 320 Peoples Bank Building,
Indianapolis.
None this week.

WAIVER OF LIEN.

None filed with Recorder of Marion County, this week.

BUILDING FIGURES STILL SOARING AT INDIANAPOLIS.

October, with the fourth highest monthly total for 1922 in building construction estimated valuations for which permits were granted at Indianapolis, sent the year's figures to date soaring on toward unprecedented heights.

Considering the lateness of the season, local building activity of such proportions as was put across in October was all the more surprising, it exceeded that of both August and September, to say nothing of the 40 per cent gain over the business transacted during the corresponding period in 1921.

The monthly returns from January 1st, to November 1st, 1922, are:

	1922	1921
January	\$ 580,706	\$ 1,025,529
February	1,170,398	617,834
March	2,065,051	2,336,964
April	2,566,389	1,527,647
May	3,420,847	1,550,601
June	2,289,941	2,499,275
July	3,349,348	1,401,115
August	2,074,941	1,235,260
September	1,928,956	1,456,725
October	2,431,513	1,743,532

Total -----\$21,878,090 \$15,394,482

This year's figures show a gain of \$6,483,608, or 42 per cent over the first ten months of 1921 and are \$3,549,125, or 19 per cent better than the entire volume of building construction consummated in 1921.

DISPUTES AS TO JURISDICTION IN CONSTRUCTION FIELD UP FOR CONSIDERATION NEXT WEEK.

The National Board of Jurisdictional Awards will hold a meeting at Washington, D. C., the coming week, November 13th. Many matters of importance to

the construction industry will be brought up at that time.

The continued difficulty in many cities over the Hollow Metal Trim and Door questions will undoubtedly receive consideration and attention from the Board. An application is now on file to be acted upon at this meeting requesting the Board to grant a re-hearing on the question.

Artificial Stone, Granite Dressing, Altering and Finishing the same is an additional dispute which will be acted upon. The other subjects which are scheduled for this meeting and which may be heard are the following:

Vitrolite and similar opaque glass (re-hearing).

Corrugated Sheeting.

Contestants: Iron Workers and Sheet Metal Workers.

Derricks—Erection and handling for setting stone.

Contestants: Iron Workers and Bricklayers.

Agreement between the bricklayers and roofers covering flat faced tile.

Agreements between the sheet metal workers and lathers covering metal studing and furring.

Jurisdiction over cork insulation and substitutes thereof.

PERMITS FOR OVER 300 RESIDENCES GRANTED IN OCTOBER.

Interesting in that it shows that which goes to make up a month's building program at Indianapolis, an analysis of the permits issued during October is here set forth.

Of the 1,406 permits granted a classification reveals that they covered the following construction work:

Residences	311
Additions and alterations	820
Sheds and garages	233
Stores (non-fireproof)	7
Fireproof structures	4
Concrete block buildings	29
Tenement houses	2

Total -----1,406

INDIANA BRICK MEN OBJECT TO ADVANCED FREIGHT RATES.

Revision of intrastate freight rates on brick is predicted by tariff experts of the Indiana Public Service Commission following the hearing which was concluded a few days ago on the protest of the Indiana Brick Manufacturers' Association against proposed increased rates submitted by the railroads. Increased rates were proposed by the railroads October 16, but were suspended by the commission pending the public hearing.

Testimony which has been presented by the brick manufacturers has been to the effect that the proposed rates would discriminate against Indiana shippers in favor of Illinois brick manufacturers.

BUILDING PERMITS.

(Week of Nov. 3d to Nov. 9th)

*Printing Plant (add.) \$26,000. 2 sty. 35x85. 311 East Ohio. Owner, The Enquirer Printing Co., 311 East Ohio. General contract, Thompson-Binger Co., Indiana Pythian Bldg. Work started. Reinf. conc.

Residences (7) \$21,000 (Total) 5301 & 09 Carrollton, 812-22-18-10-26 E. 53d Owner, W. B. Morgan, 2534 Park Ave. Owner builds. Frame.

*Garage: (Addition) \$20,000. 453 Virginia Ave. Owner, Wangelin-Sharp Co., 453 Virginia Ave. General contractor, John R. Curry Constr. Co., Lombard Bldg.

Salesroom and Garage: \$20,000. 1 sty. 50x150. 1231 No. Meridian St. Owner, Goethe Link, 608 Indiana Pythian Bldg. General contract let to Lynn B. Millikan, Bardin Hotel. Start work at once. Brick.

Duplex Apartment: \$18,500. 3446 Fall Creek Boulevard. Owner, Circle City Constr. Co., Fletcher Trust Bldg. Brick veneer. Owner builds.

*Factory (Add.) \$17,000. 359 West 16th Owner, U. S. Encaustic Tile Co., 359 West 16th. General contract let to Nicholas Noe, Lombard Building. Brick.

*Coal Handling Plant: \$15,000. 1402 No. Senate Ave. Owner, Active Coal Co., Board of Trade Building. General contractor, Neff and Fry, Camden, Ohio. Concrete.

Residence: \$12,000. (double) 817-23 East 24th. Owner, William Drinkard, Prest. Drinkard Veneer Co., Bloyd and Elliott Sts. General contract let to O. P. McLeland, 3920 Winthrop.

Residence (Double) \$11,000. 4218-20 Broadway. Owner, Charles C. Branson, Treas., W. H. Bass Photo Co., So New Jersey St. Owner builds.

Residence (Double): \$11,000. 2213-15 East Garfield. Owner, John Ohleyer, 1204 Union St. General contract to R. M. Green, % owner. Brick veneer.

Residence (double) \$11,000. 4351-53 Central Ave. Owner, Nash Liebling, 3040 No. New Jersey St. General contract let to H. A. Wilsey, % Owner.

Residences (2) \$9,000 total. 4427 & 31 Winthrop. Owner, Fred Lawrence, 4244 Sunset.

Residence: \$10,000. 538 West New York St. Owner, F. A. Howard. Contract let to Indianapolis Stucco Co.

Residence: \$8,000. 4066 No. Capitol. Owner, T. L. Loyd, % G. C. contract let to T. B. Cookerly, 3316 Graceland Ave.

Residence (double) \$8,500. 537 East 48th. Owner, Myrtle M. Shields, at site.

Residences (2) \$7,000 total. 2137 & 41 Applegate. Owner, L. C. Huey Bldg. Co.

Residences (2) \$7,500 total. 2819 & 23 Nowland. Owner, Lillie M. Wilson, 2435 Shelby St.

Loading Platform & Rem: \$7,000. South and Senate. Owner, Illinois Central Ry. Co.

Residence (double) \$7,500. 4610 Central. Owner, Realtor Building Co., Lemcke Bldg.

Residence (double): \$6,000. 715-17 48th. Owner, A. E. Glidden, 2226 No. Talbot.

Residence: \$5,800. 1321 No. Dearborn. Owner, Harvey Gard, 1301 No. Dearborn.

Residence (double) \$5,900. 3605-07 W. Mich. Owner, Christina A. Goettsche, 3561 West Michigan. General contract let to William L. McClelland, 513 Holly.

Store: \$5,000. 2711 Northwestern. Owner, Deranian Bros., 2711 Northwestern Ave. Contract let to W. A. Pittman, 638 West 31st.

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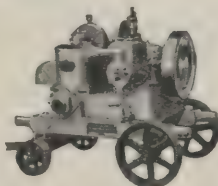
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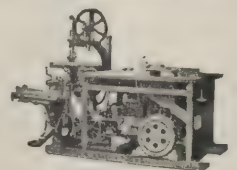
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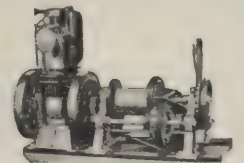
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CALUMET DISTRICT

CONSISTING OF
HAMMOND INDIANA HARBOR
EAST CHICAGO WHITING

Building Trades Employers'
Association.

Member State A. B. C.'s

J. Wesley Reed President
E. E. Cole Secretary

108 Citizens National Bank Bldg.,
Hammond, Indiana

MEETING NIGHTS

General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.

THE OUTSIDER AGAIN

One of the most annoying conditions that the local Building Trades Employers' Association has to contend with, and one that is a source of serious financial loss, has to do with the fact that contractors can come into the territory and bid off the largest and best projects and consider that they have no obligation to the local association. Although these contractors are members of associations and know the wherewithall that is required to maintain satisfactory working conditions it is almost impossible to collect dues from these outsiders.

In this district three big projects have just been completed and five more are now under construction by outside contractors, mostly from Chicago, and they have not paid anything into the treasury of the local association. The matter has been taken up with the Chicago contractors' associations and the National organizations of which these men are members and those associations have endeavored to assist us by notifying the contractors in question that they should comply with the rules and regulations of the Calumet District organization, but to date it has been impossible to secure anything from these outsiders. We are wondering if they are as prompt in paying their dues at home.

If the Building Trades Employers' Association was able to collect dues on the large projects executed in its territory, and it would be if the local contractors did the work, it would make quite a difference in the financial affairs of the local association. Not only that, but our contractors feel that it is not fair to them to have to pay dues to protect local conditions and then have outsiders come in, take advantage of the work the local association has done, pick off the cream of the construction work, and then contribute nothing to the cause that has made the building situation propitious to their carrying on their work.

It seems to us if a man wants to be honest and has the welfare of the contracting industry at heart he would at least live up to the rules and obligations as provided for by both the local and the national contractors' associations. However, if he is for himself alone and believes in the Devil taking the hindmost, feels that any advantages he can take of his fellow contractors is the

thing to do, then there is not much co-operation to be expected from him, for he possesses the inclinations of the animal who roots, grunts, and swipes all the food. It is this attitude as much as any other that has aided in keeping the contracting conditions all awry. When the outsider sneaks in, profits by the work of the local loyal builders, and then ignores them in their commendable effort, it reminds one of the fellow who lies in bed on a cold morning while his partner goes to the cellar and builds the fire, warms up the house, and then, when the temperature reaches a cozy condition, gets up and dresses comfortably.

HAS TO HOLD HIS JOB

The laborers are trying to stir up a little trouble for The Henry Co., at the water works job. It was just about time for this outbreak as things had been running along too smoothly for the Business Agent, who has to upset things or lose his job. Wonder how far he will get this time? Not far, we are willing to wager.

OH, BOY!

Building homes is not the only thing Charley Rhoads does. With his surplus earning he did some dabbling in oil stock, and recently received word that the company in which he is interested struck a big gusher down in Texas. It is some step from a busy contractor to an oil magnate, but Charles seems to have made the jump alright, but we are still banking on him to stick to the contractors.

DAZZLING

The artist in charge of the arrangements for the Modern Electrical Home that is to be opened to the Public next week in Kenwood, has a big force of electricians and decorators at work putting on the finishing touches. This display is to represent the most up-to-date, modern, convenient, home ever put on exhibition in the Calumet District.

E. E. COLE.

MUNCIE

Associated Building Contractors
Member State A. B. C.

Chas. Rowe President
J. A. Gallivan Secretary

314 Main Street

MUNCIE'S BUILDING PULSE FOR 1922 ACCOUNTED FOR.

A resume of the building situation in Muncie for the season of 1922 was ably made by Contractor Lee Glass at the contractors' conference at Indianapolis, and the various details brought out accounted for the normal and halting pulse that throbbed through the local building industry during the past ten months, making for activity at times and a slowing up at others.

Early in the spring building circles in Muncie felt quite a tremor when an attempt was made to reduce bricklayers from \$1.25 per hour to \$1.15. After much parlying the Bricklayers' Union

agreed to the reduction, but insisted on the ninety-day clause, and the old scale was to be kept in effect to July 12th. However, when the latter date rolled around conditions were such that there was such a scarcity of help, and other cities were paying \$1.25, therefore, rather than lose all available bricklayers, the local contractors continued the \$1.25 per hour wage.

The next shock to Muncie building affairs occurred when the carpenters stood for 90 cents per hour, as against 80 cents offered by the contractors. Finally, a compromise was effected by the Muncie A. B. C.'s., at 85 cents, with the provision that an agreement be signed by both the employers and the employees. This was accomplished, and was the first time in years that the contractors had been able to secure an agreement with the carpenters.

This city, like others, experienced a scarcity of journeymen plasterers and, while no agreement was made with the Union, nevertheless, the \$1 per hour scale has been maintained. No trouble was experienced with regard to common labor, which was plentiful at all times. This branch is not organized. Craftsmen in the other building lines met the demand, and no trouble was caused by them at any time. It might be added that working agreements were signed up early in the spring with the plumbers.

The Muncie A. B. C.'s. members are now turning their attention to next season's affairs, and will start early to consider wage scales for 1923, thereby hoping to get things threshed out so a good get-away can be made when spring building time opens.

NOW THEY ALL KNOW.

President Charles Rowe, of the Muncie A. B. C.'s., and General Contractor Lee Glass, attended the State A. B. C.'s. conference at Indianapolis, November 2, to tell the other contractors from around the State how Muncie contractors do things and what they have done to keep local building moving.

QUITE A VOID.

Our sister city, Anderson, was conspicuous by her absence at Indianapolis the other day. What's up, Anderson, have you got things going in ship-shape order? One thing can be said for the Anderson contractors, they all stuck together this season and brought about favorable building conditions. However, Anderson enthusiasm is always a welcomed contribution to a gathering of Indiana contractors, nor has your cordial hospitality, when we all met with you, been forgotten.

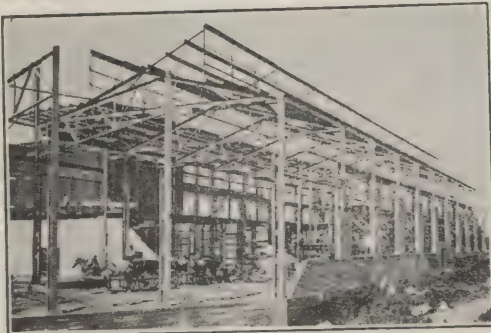
NOT ALL DONE YET.

Announcement has been made that bids are to be received soon on the steel superstructure frame for the new Masonic Temple. There is also the probability that bids may be invited before the first of the year for the construction of the new gymnasium at the State Normal School.

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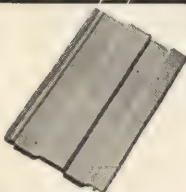
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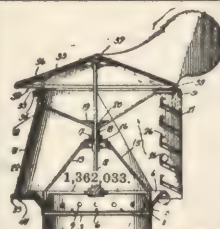
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Delays in the arrival of building materials at the job cost the building contractors and the owners money.

If you expect to complete your building on schedule, be sure your materials arrive on time. It is risky business to build on promises.

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MAIN 5368

INDIANA CONSTRUCTION RECORDER

FOR
ARCHITECT
ENGINEER

Devoted to the
Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

VOL. IV

INDIANAPOLIS, INDIANA, NOVEMBER 18, 1922

No. 33

INDIANA CONSTRUCTION RECORDER
Published Every Saturday

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the Act of March 3, 1879.

THE GARY MATTER AND THE BIG BONE.

(With Apologies to Geo. Ade)

VIRGIL CHIBBE, Secretary
Columbia, S. C., Builders' Exchange

"There was once a wise guy who figured
that the large size of his hat was
due to the liberal helping of gray matter
that nature had dished out to him.

He was right but he overlooked the
big bone in the helping.

His gray matter told him that it was
time for him to build a home instead of
easing out all his money in rents.

But here the big bone got in its work
and convinced him that a man of his
brains did not need anybody else's ideas
about how to plan the inside or outside
of his home.

"No architect for me. With my brains
I am too wise to need any architect's
plan; and as for the work on the build-
ing, no man can put anything over on
me there."

So the wise guy looked up a contrac-
tor of skill and reliability and asked
for the contractor's figure on the kind of
house he thought he wanted.

The contractor said the wise guy's
plans were shy of details, but that he
could supply the lack and build the house
for so much.

"You overlook my brains" said the wise
guy; "when you name such a figure; I'm
the only man that's going to be a profi-
teer on the house."

And he went in search of a cheap man
to build his house.

The wise guy got bids on his house
from several cheap men before he found
one cheap enough to suit his wisdom.

Being so wise, he looped several dol-
lars off the cheap man's price by insist-
ing that he buy some of the material
at a cheaper price than even the cheap
man thought was safe.

"I have too much brains," said the wise
guy, "not to know that there is no

difference in these materials except the
price. Buy the cheapest."

The wise guy kept his brains at work
during the building of his house.

He watched every move of the cheap
enough man with what the big bone
in his head told him was an eagle eye.

In due time the house was done; the
wise guy knew it was done.

The wise guy also was done; he did
not know it.

The cheap paint shining on the cheap
house hid this knowledge as completely
as it hid the cheap workmanship and its
own short-comings.

The wise guy was puffed with pride
because the size of his hat had enabled
him to buy so pretty and so comfortable
a house without anybody's putting one
over on him.

He invited a friend, who had just
built a house of the same size thru an
architect's office by a skillful and reliable
contractor, to compare notes. When he
found he had apparently saved several
dollars he went home and celebrated by
having ice cream for supper.

He was not disturbed at finding out

that the cheap enough man had not paid
all the material bills on the house.

But when he found he had to pay off a
builder's lien on the house for these bills
his gray matter began to reproach him
for not consulting it. He snubbed his
gray matter because his house was still
a dollar or two cheaper than his friends.

But he could not snub the paint on
his house for peeling within a year.

His brains could not close the joints
that were now gaping open nor stop the
leaks in his roof.

He knew now that he had been done,
but it was too late to call the architect.

He put his hand in his pocket and
pushed out enough coin to persuade the
reliable and skillful contractor to put on
a new roof, replace the cracked plaster,
and paint the house with good paint.

The contractor was able to stop the
mouths of the gaping joints by the free
use of putty under the paint.

He could not putty up the cracked
confidence of the wise guy in the size
of his hat nor restore him his pride in
his house.

(Continued on Page 7)

FALL HAS LITTLE EFFECT ON BUILDING IN INDIANA WHERE ACTIVITY DURING OCTOBER CONTINUED BRISK ACCORDING TO RETURNS.

Very slight indeed was the decrease in the volume of building business done
in Indiana's leading cities during October from that of September, in fact, the
past month's total just lacked 3% of reaching the previous monthly total. It
was one of the best months of the year and far exceeded the record hung up by
the corresponding periods of years past.

According to the reports sent in by the building inspectors of Indiana's eight
largest cities there was a total of 2,584 permits issued for new buildings for an
estimated valuation of \$5,263,480. These figures compare favorably with the
building activity that has been ruling in Indiana all summer, and represent a
gain of 824 permits over those issued in October 1921. In the matter of esti-
mated valuations the past October showed a surplus of \$2,086,568 over the same
item for the corresponding period a year ago, or a gain of 65.6%.

Taking the individual cities and comparing them with their October, 1921,
performances one finds that seven of the eight showed varying gains, Gary, of
the whole lot, being the only community to turn in a loss. The best record of
the month was hung up by Ft. Wayne, which turned in a 236.7% gain over the
corresponding period last year. Other cities in the order of their gain were:
Evansville, 130.9%; Richmond, 91%; Hammond, 61.7%; South Bend, 59.2%;
Indianapolis, 40%; Terre Haute, 16.3%. Gary trailed as before stated with an
8.6% loss.

The October permit records for 1922 and 1921 were:

And he went in search of a cheap man to build his house.

The wise guy got bids on his house from several cheap men before he found one cheap enough to suit his wisdom.

Being so wise, he looped several dollars off the cheap man's price by insisting that he buy some of the material at a cheaper price than even the cheap man thought was safe.

'I have too much brains,' said the wise guy, 'not to know that there is no

—1922—		—1921—		
Cities	Per	Est. Val.	Per	Est. Val.
Evansville -----	136	\$ 246,506	101	\$ 106,725
Ft. Wayne -----	189	1,383,445	137	410,765
Gary -----	98	278,457	49	304,750
Hammond -----	67	193,475	45	119,650
Indianapolis -----	1,406	2,431,513	1,069	1,743,532
Richmond -----	36	33,525	29	17,925
South Bend -----	497	565,045	235	360,552
Terre Haute -----	155	131,514	95	113,013
Total -----	2,584	\$5,263,480	1,760	\$3,176,912

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When he collected his bill, he remarked to the wise guy: "When you need me again, call me at the Builders Exchange."

Moral: Save money in the long run by buying skill and reliability."
(From Pittsburgh, Pa., Builders' Exchange Bulletin.)

HOPE OFFERED BY UNDERWRITERS' NEW CONSTRUCTION CLASSIFICATION.

A new construction classification just announced by the Underwriters Laboratories of the National Board of Fire Underwriters opens the way, it is announced by the National Lumber Manufacturers' Association, for a considerable extension of economical house construction. The new classification consists of ordinary wood construction with metallic lath and gypsum plaster cover-

ing. The engineers have found that such construction will resist an unusually severe fire for longer than an hour.

A step further in the same direction, which is not improbable, will have a very beneficial effect on the "twilight" zones of many American cities. The new classification applies only to interior work, gypsum plaster not being adapted to weather exposure.

Though it does not result in lower insurance rates on frame construction, it contributes greatly to safety and fire-resistance in both ordinary and frame construction, and will justify building codes in broadening the zones within which frame construction is permissible.

As about three-fourths of American buildings are of frame, any innovation which increases their resistance to fire is of the utmost importance. Consequently the undue extension of fire limits into residence quarters often imposes

heavier construction costs than property and rental values will bear. This has resulted in the twilight zone or land of stagnation.

RESULT OF EFFICIENT TRAINING.

The detail had just arrived near the front lines when the captain looked around and noticed a private, hatless and coatless.

"Where's the rest of your uniform?" he demanded.

"Back where we came from."

"Go back and get it."

The private vanished and later reappeared correctly uniformed but without his rifle.

"Where's your gun?"

"Left it back where we came from."

"Listen!" bellowed the captain. "You're a fine soldier. What were you in civilian life?"

"Plumber's assistant."

News of the Week

The asterick (*) prefix to an item indicates additional information to report published in previous issue.

INDIANAPOLIS.

Office Building (General Offices) 5 story and basement, 50x180. Corner Alabama and McCarty Sts. Architect, Robert Frost Daggett, 959 Lemcke Annex. Owner, Eli Lilly Co., Josiah K. Lilly, Pres.; James E. Lilly, V.-P.; Charles Lynn, Secy.; William A. Hanley, Supt. (Mfrs. Pharmaceuticals and Biologicals), 210-50 E. McCarty St. Plans in progress. Brick, reinforced concrete and steel, frpf. construction, elevators, composition roof.

Family Hotel (84 apartments) \$500,000. 8 sty. & bas. 54x170. at 2035 North Meridian St. Architect, W. K. Eldridge, 914 Hume Mansur Building. Owner The E. G. Spink Co., 914 Hume Mansur Building. Plans in progress. Ready for bids on material and separate contracts about January 1st. Brick, stone trim, reinforced concrete floor and roof construction, composition roof, steam heat, hollow tile, tile floors, incinerators.

Office Building: 3 or 4 sty. and bas., Fall Creek Blvd. and Meridian St. Architect, Rubush and Hunter, 428 American Central Life Bldg. Owner, The American Central Life Insurance Co., Herbert M. Woollen, Pres., American Central Life Bldg. Archt. selected, mature 1923. Plans not started, details undecided.

Salesroom and Garage: \$250,000, 3

sty. and bas., 100x200. Corner of 13th and Meridian Sts. Archt., J. Edwin Kopf and Woolling, 402 Indiana Pythian Bldg. Owner, Meridian and Thirteenth Realty Co., Crawford Fairbanks, Terre Haute, K. K. Woolling, 402 Indiana Pythian Bldg. and John Collett, 25 E. 33rd. Lessee of building, The Buick Motor Co., Illinois and Vermont Sts. Preliminary plans in progress. Brick, reinforced concrete and steel, frpf construction, composition roof, steam heat, tile and marble work, copper set fronts, elevators, steel sash. Will contain shops, service dept., offices and salesroom.

Grade School (4 room addition) School No. 23 at 13th and Missouri Sts. Architect, Bass, Knowlton and Co., 312 No. Meridian St. Owner, Board of School Commissioners, Walter Twiname. Business Director, 150 No. Meridian St. Architect selected. Brick. (note correct architect.)

Grade School (8 room addition) School No. 67, at 3615 West Walnut St. Architect, J. Edwin Kopf and Woolling, 402 Indiana Pythian Bldg. Owner, Board of School Commissioners, Walter Twiname. Business Director, 150 No. Meridian St. Architect selected. (note correct architect.)

***Sewage Disposal Plant** (Division No. 3) \$900,000. Consulting Engineer, Chas. H. Hurd, 1405 Merchants Bank Building. Owner, City of Indianapolis. Board of Sanitary Commissioners, Jay A. Cravens, Prest., John L. Elliott, V. P., Lucius B. Swift, Secy. City Hall, Indianapolis. General contract awarded to L. W. Hancock, 709 Louisville Trust Bldg., Louisville, Ky. Brk., reconc., frpf. constr. Equipment contracts also awarded.

***Church:** \$30,000. Martindale Avenue. Architect, W. H. Gams, 818 Fletcher Trust Building. Owner, Scott's Chapel M. E. Church (Colored) 2131 Martindale Ave. Architect receiving bids to close at once. Brick. Stone trim.

Church: \$20,000. Ames, Iowa. Architect, A. A. Honeywell, 412 Penway Building, Indianapolis. Owner, United Brethren Church, Rev. R. E. Williams, Pastor. Ames, Iowa. Plans completed and sent to owner. Probably take bids soon. Brick, ordinary construction, hot air furnace, asphalt roof, art glass.

Residences (4 double houses) 4 families to each house, and 36 private garages. \$70,000. 20th St. between Capitol and Illinois Sts. Architect, Walter B. Stern, 302 Castle Hall Building. Owner, George O. Rafert, Beech Grove, Indianapolis. Plans nearing completion. Owner will build by day labor and award separate contracts. Stucco, tar and gravel roofs, 16 furnaces.

Residence: (double) 2 sty. & bas. 48th and Broadway. Architect, Edwin C. Doeppers, % Engineering Department, City Hall. Owner, Max H. Ziegler, 2327 Talbott Ave. Plans in progress. Ready for bids about December 1st. Brick veneer, tile baths, tile roof, furnace heat, hardwood floors.

Residence: 2 sty. & bas. 34th and Winthrop. Architect, Edwin C. Doeppers, % Engineering Department, City Hall. Owner, T. R. Mead, 906 Lemcke Building. Plans in progress. Ready for



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INDIANAPOLIS



VENTILATORS

bids soon. Brick veneer, hot water heat, tile roof, tile bath, hardwood floors.

*Apartment Building (16 apts.) 2 sty. & bas. L Shape, 120x213. Maple Road Bldg. near New Jersey St. Architect, George and Mac Lucas, Lemcke Annex. Owner, H. L. Moody, % Architect. Archt. receiving bids on separate contracts. Brick veneer over frame, terra cotta trim.

Bank (Rem.) Crawfordsville, Indiana. Architect, Edw. D. Pierre, 321 Occidental Bldg., Indianapolis. Owner, Crawfordsville Trust Co., Crawfordsville, Ind. Plans in progress. Ready for bids soon. Stone or terra cotta front and general interior remodeling.

*Residence (Rem. & alteration) 5111 No. Meridian St. Architect, Myers and Coffin, 412 Penway Building. Owner, John W. Esterline, 227 East South St. Plans completed. Ready for bids next week. Work will consist of moving present frame residence from Meridian St. back to Pennsylvania St., stuccoing exterior, new heating system, new plumbing, electric wiring, tearing out walls, sun porches, mill work and general alterations.

Residence and Garage: 2 sty. & bas. 9 rooms. Forest Park Addition. Architect, Charles H. Byfield, 923 Peoples Bank Bldg. Owner, John G. McCullough,

106 No. Delaware St. Plans in progress. Ready for bids about December 1st. Brick veneer, tile roof, vapor heat, art glass, tile and hardwood floors, clothes chute, laundry.

Contracts Awarded.

Apartment Building: \$120,000. 3 sty. & bas. 65x132. Woodruff Place. Private plans. Owner, Walter F. Meyers, in charge of Company forming, 726 Indiana Pythian Building, General contractor, State Construction Co., 726 Indiana Pythian Bldg. (without competition). Plans in progress, mature about December 1st. Brick, stone trim, vacuum steam heating, tile floors, laundry equip. incinerators, composition roof.

Apartment Building: \$80,000, 2 sty. and bas., 65x132, East Washington and Chester. Private plans. Owner, The Blackstone Realty Co., Walter F. Meyers, 726 Indiana Pythian Bldg., W. Bruce Demarcus, 2251 N. Meridian St., J. J. Kiser, % Meyer-Kiser Bank, 136 E. Washington St. General contract awarded to the State Construction Co., 726 Indiana Pythian Bldg. Brick, ordinary construction, vapor heat, stone trim, incinerators, composition roof.

*Department Store: \$70,000, 3 sty. addition, 17x195 and 2 sty. top addition to present building, 67x137, 311 West Washington St. Architect, Batchelder

and Scales, Board of Trade Building. Owner, The Fair Store, Louis Traugott, Pres., 311 West Washington St. General contract awarded to the Service Construction Co., 419 Castle Hall Bldg. Electric work let to Hatfield Electric Co. Start work shortly. Brick, terra cotta, steel frame constr.

*Bank (Rem. from hotel lobby and store room) "St. Dennis Hotel," Columbus, Indiana. Architect, McGuire and Shook, 320 Indiana Pythian Building, Indianapolis. Owner, Union Trust Company, Columbus, Indiana. General contract awarded to R. N. Good, Columbus, neatng and plumbing let to Columbus Machine Co., Columbus; electric wiring to Santisteban and Co., Columbus. Bank fixtures let to Ohmer and Son Co., Dayton, Ohio.

*Electric Light and Power Plant (Add.) \$50,000. 1 sty. Crawfordsville, Ind. Engineer, Harry C. Carroll and W. A. Breining, 511 Traction Terminal Bldg., Indpls. Owner, City of Crawfordsville, Jas. H. Hamilton, City Clerk, Crawfordsville. General contract awarded to Bowyer Construction Co., New-castle, Ind. Brick stack let to J. M. Cutshall & Co., Brazil Indiana. Start work shortly. Brick.

Ice Storage: \$35,000, 60 ft. high, 44x

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84. Private plans. Owner, Polar Ice and Fuel Co., 20th and Northwestern. General contractor, William P. Jungclauss Co., 825 Massachusetts Ave. Brk. work to Albert C. Johnson, 834 Mass. Ave. Excavated.

Apartment and Stores: \$30,000, 2 sty. and bas., 44x70, 3449 College Ave. Private plans. Owner, Harris Cohen, 627 Russell Ave. General contract awarded to Abraham Kwitny, 1137 South Illinois St. Brk. Excavating.

***Stores:** \$20,000, 1 sty. and bas., 53x172, 3504-10 College Ave. Private plans. Owner, Gustave Schmidt, %Crystal Theatre, N. Illinois St. General contract let to Ostrom Realty Co., Peoples Bank Bldg. Brk. Excavating.

Residence: \$17,500, 2 sty. & bas. 44 Hampton Drive. Architect, Edwin C. Doepfers, % Engineering Department, City Hall. Owner, Dr. H. A. Van Osdol, 314 Board of Trade Building. Brick veneer, slate roof, tile bath, furnace heat. Foundation in. Carpenter work by day labor.

Apartment Building (4 Apts.), \$15,000, Washington and Arlington. Private plans. Owner, William M. Wilson, at site. Owner builds and awards separate contracts.

Residence (Double) \$14,000, 4543 Central Ave. Private plans. Owner, Samuel Jacobs, (Tailor) 334 Indiana Ave. General contractor, Gale Construction Co., 2117 Gale St. Plans in progress. Start work about January 1st. Brick veneer.

Public Garage: \$14,000, 1 sty., 61x208, 1422 N. Illinois St. Private plans. Owner, Gray, Gribben and Gray, Indiana Ave. and Ohio St. General contract let to John Fisher and owner. Excavating. Brick and concrete block.

Residence: \$13,000, 4461 Central Ave. Private plans. Owner, M. C. Nelson, at site. General contractor, A. N. Kercheval, 1704 Ludlow. Brick veneer.

Residence: \$13,000, 3631 N. Pennsylvania St. Private plans. Owner and builder, Taylor C. Power, 730 Indiana Pythian Bldg. Excavating.

Stores: \$12,000, 2923-29 Central Ave. Private plans. Owner, Ida M. Klotz, 3269 Park Ave. General contract let to George Adrian, 4912 E. New York St. 1 sty. and bas., 50x80. Excavating.

Apartment Building: Shelby and

Wade Sts., (12 apts.), \$15,000, 2 sty. & bas., 36x90. Private plans. Owner, J. P. Laube, 2202 Shelby St. General contract let to Jason Bohley, 1115 East Troy Ave.

Stores: \$12,000, 1 sty., 40x75, 2945 Central Ave. Owner, Chas. B. Spann, 217 East Fall Creek Boulevard. Owner builds.

Bungalow: \$6,000 Byram Ave., near 40th. Private plans. Owner and builder, Federal Loan and Investment Co., 7th floor Lemcke Annex. Start work in 30 days. Frame, asphalt shingle roof, furnace.

ANDERSON.

Parochial School: \$75,000, 11th St. near Pearl. Architect, E. R. Watkins, 335 Union Building. Owner, St. Marys Catholic Congregation, Rev. Thomas Travers, Pastor. Preliminary plans. Brick, 12 rooms, gymnasium and auditorium.

Hotel (Rem.), \$60,000, "Doxey Hotel." Archt., E. R. Watkins, 335 Union Bldg. Owner, Anderson Hotel Corp.; Thos. N. Stillwell, Pres. Starting work. Owner builds and buys materials. Taking bids on elevators (passenger), tile floors, stucco, dining room and cafeteria equipt.

EVANSVILLE.

***Apartment Building:** \$480,000. (60 apts.) 3 sty. & bas. 208x112. Cor. 2nd & Howard Sts., Evansville. Owner, The Donaldson Arms Realty Co., J. Chester Vaught, Prest., Evansville; C. W. Donaldson, V. P., International Life Bldg., St. Louis, Mo. Archt., The Donaldson System of Construction, 1114 International Life Bldg., St. Louis, Mo. Supervising Architect, Charles L. Troutman, American Trust Bldg., Evansville. Engineer in charge of construction will be J. K. Moury, % The Donaldson System, St. Louis. Excavating. Brick, reinforced concrete.

Community High School: \$50,000, 2 sty. and bas. (6 recitation rooms, auditorium, gymnasium, domestic science & manual training) Tamms, Ill. Archt., Harry E. Boyle & Co., Furniture Bldg., Evansville. Owner, Board of Education,

Tamms, Ill. Plans in progress. Brick, stone trim.

Sanitarium: \$13,000, near Evansville. Archt., Anderson and Stingle, 110 Upper 4th St. Owner, Dr. S. R. Laubscher, Evansville, Rural Route No. 6, Fulton Road. Plans in progress. Brick, composition roof, steam heat.

School (for colored children) \$8,000. (4 rooms), Tamms, Ill. Archt., Harry E. Boyle and Co., Furniture Bldg., Evansville. Owner, Board of Education, Tamms, Ill. Plans in progress. Frame.

Residence: 2 sty. and bas., Mt. Vernon, Ind. Archt., Harry E. Boyle and Co., Furniture Bldg., Evansville. Owner, William Donaldson, Mt. Vernon, Ind. Plans in progress. Frame.

***Factory (Cigars),** \$75,000, 4 sty. Archt., Alfred E. Neucks, 515-16 Peoples Bank Bldg. Owner, General Cigar Co. Plans in progress. Brick.

***Building (for wagons),** 1 sty., 48x144. Archt., Alfred E. Neucks, 515-16 Peoples Bank Bldg. Owner, Evansville Pure Milk Co., 8th and Walnut. Ready for bids next week. Brick, steel roof trusses, composition roof, steel sash.

***Residence (Dutch colonial),** \$12,000, 1609 Kentucky Ave. Archt., Alfred E. Neucks, 515-16 Peoples Bank Bldg. Owner, Gus Bauman, Washington Court. Plans nearing completion. Ready for bids shortly.

***Residence:** Forest Hills. Archt., Harry E. Boyle and Co., Furniture Bldg. Owner, Emil Simonel. Archt. receiving bids.

Parochial School: N. E. corner Jefferson and Evans Avenues. Owner, Trustees of the Trinity Lutheran Church, Rev. W. G. Polack, Pastor. Site purchased. Will start work about April 1st. Brick. Architect not selected.

Warehouse (Fire rebuild), \$5,000, 9th and Delaware. Owner, Southwestern Broom Co., 9th and Delaware. Start work soon. Brick.

Contracts Awarded.

***Factory:** \$10,000, 1 sty., 40x80. Architect, Russ and Karges, Furniture Bldg. Owner, Evansville Enameling Co. General contract let to M. J. Hoffman Construction Co., Furniture Bldg. Brk., 2 10,000 gal. storage tanks, oil burning furnace.

***Residence:** \$6,000, Monroe and Ky. Archt., Alfred E. Neucks, 515-16 Peoples Bank Bldg. Owner, Walter Daud-

(Continued on Page 11)

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INDIANAPOLIS

istel. General contractor, John Wilkin-son, 1323 McCormick St. Brick veneer.

FT. WAYNE.

***Dairy Building** (alteration and additions), \$50,000, 2 sty., 60x100, Fairfield and Baker Sts. Archt. and Engineer, The McCormick Co., Century Bldg., Pittsburgh, Pa. Owner, Ft. Wayne Dairy Co., Fairfield and Baker, Ft. Wayne. Owner taking bids. High pressure steam, conduit electric system, struct. steel columns, hollow tile, 1 passenger elevator, ammonia system, refrigerating plant, electric crane, steel sash, tin clad fire doors, composition floors, metal skylights, vacuum pumps, light fixture, composition roof.

College (addition), \$100,000, 4 sty. & bas., 227 W. Jefferson. Archt., A. M. Strauss, 705 Shoaff Building. Owner, Ross College of Chiropractic, 227 W. Jefferson St. Preliminary plans in progress. Brick, will contain class rooms, auditorium and recreation rooms.

Residence and Garage: 2 sty. and bas., Old Mill Road. Owner, Dale W. McMillan, Pres. McMillan Elevator Co., Davis and G. R. & I. R. R. Site purchased, 527 foot front, will build early spring. Probably brick.

Residence: 2 sty. and bas., Old Mill Road. Owner, S. W. Greenland, 2820 Fairfield. Will build in spring.

Residence: 2 sty. and bas., Old Mill Road. Owner, Byron H. Somers, Pres. Board of School Trustees. Will build in spring.

Residence and Garage: 2 sty. and bas., Old Mill Road. Owner, Chas. M. Niezer, 604 West Wayne St. Will build early spring. Brick.

Factory: 1 or 2 sty., Calhoun and Superior Sts. Owner, Ft. Wayne Box Co., W. W. Rockhill, Pres.; Samuel M. Foster, Secy.; A. G. Burry, Treas., Calhoun and Superior Sts. Contemplated, mature early spring. Brick.

Residence: \$10,000, 2 sty. and bas., Westwood Addition. Architect and Owner, Wayne E. Bell, % Mahurin and Mahurin, 124 West Jefferson St. Sketches mature about March 1st. Frame.

BUILDING PERMITS.

Residence: \$4,500. 2025 Curdes Ave. Owner, Peter Baltes, 930 Madison. Owner builds.

Residences (7) various locations. \$5,000 each. Owner, Lochner Bros. Owner builds.

Residences (3) various locations. \$5,000 each. Owner, W. G. Harrod, 2401 Florida Dr.

Residences (2) 2117 Cass & 3402 Cen. \$4,000 each. Owner, C. S. Kitch & Co.

Residences (5) various locations, \$7,500 each. Owner, Lantz Bros. Owner builds.

LAPORTE.

Contracts Awarded.

***Hotel** (Addition) \$35,000. (24 rooms, with baths) Michigan City. Indiana. Architect, George W. Allen, 721 Lincoln Way. Laporte. Owner, Sheridan Beach Hotel. % John Wolfe, Mgr. Hotel Rumley. Laporte. General contract let to J. B. Goodall and Sons, Peru, Indiana; heating and plumbing to Simpson and

TERRE HAUTE.

Superpower Plant: \$7,000,000, west bank of the Wabash River, 4½ miles from Terre Haute. Engineers and general contractors, Stone and Webster Co., Boston, Mass. & Chicago, Ill. Owner, Indiana Electric Corporation, Joseph H. Brewer, Pres., Grand Rapids, Mich. Plans in progress. Start work soon. Brick, steel sash, stack, composition roof, two 20,000 K.W. units, and the installation of 3 additional equal power units later.

***High School:** \$700,000, East Side. Archt., Johnson, Miller and Miller, 30 N. 5th St., Terre Haute. Mechanical Engineer, Lewis and Warren, Realty Bldg., Louisville, Ky. Owner, Board of School Trustees, Administration Bldg., Terre Haute. Plans in progress. Plans and specifications are to be ready so bids can be advertised for about May 1st.

Parochial School: \$85,000, 2 sty. & bas., 14 rooms and auditorium, 19th and Poplar Sts. Architect, Johnson, Miller and Miller, 30 N. 5th St. Owner, St. Patrick's Congregation, 19th and Poplar Sts. Plans in progress. Ready for bids in 3 weeks. Brick, reinforced concrete and steel.

***Residence and Garage:** \$15,000. Archt., Johnson, Miller and Miller, 30 N. 5th St. Owner, Jos. Moore, Terre Haute. Bids rejected. Architect will revise plans and ask for new bids about March 1st. Brick and stucco.

***Residence and Garage:** \$20,000, Alendale. Archt., Johnson, Miller and Miller, 30 N. 5th St. Owner, M. Trueheart, %Architect. Plans completed, mature late winter. Stucco on hollow tile.

City Hall: Site of present building. The present city building has been condemned, a new building is contemplated for next year. Definite data later. Brk.

***Lodge Building:** \$20,000, Clinton, Indiana. Archt., Thomas and Allen, 25½ S. 5th St., Terre Haute. Owner, Red Men's Lodge, Clinton, Ind. Owners financing, may mature in spring. Brk. 2 sty.

***Residence:** 2 sty. and bas., Brazil, Ind. Archt., Johnson, Miller and Miller, 30 N. 5th St., Terre Haute. Owner, Dr. D. B. Kreider, Brazil. Bids rejected, will revise plans and ask for new bids about March 1st.

***Bank (Rem. and Alterations):** \$30,000, Farmersburg, Ind. Archt., Shourds-Stoner Co., 511 Tribune Bldg., Terre Haute. Owner, First National Bank, Farmersburg, Ind. Plans in progress. Brick, new front, bank fixtures, tile and marble work, painting and decorating, light fixtures and general alterations.

***Power Plant (mining):** \$75,000, near Sullivan, Mine No. 29. Archt. and Eng., Shourds-Stoner Co., 511 Tribune Bldg., Terre Haute. Owner, Vigo Mining Co., Terre Haute. Owner builds. Footings in. 1 sty., 50x80. Brick, steel truss roof, equipt. purchased.

***Store and Office Building:** (9 stores and 42 offices), 6th and Cherry Sts. Archt., Shourds-Stoner Co., 511 Tribune Bldg. Owner, Mrs. Lillian Deming. Revised plans completed. Will receive new bids about March 1st. Brick.

Residence: \$15,000. Archt., Shourds-Stoner Co., 511 Tribune Bldg. Owner,

Mrs. J. R. Jeswick, %Architect. General contractor, E. J. Workman, 436 Willow St. Excavated. Brick veneer.

Residence: \$10,000. Archt., Shourds-Stoner Co., 511 Tribune Bldg. Owner, Dr. W. H. Miller, Tribune Bldg. General contract let to Henry F. Libbert, 3236 N. 18th St.

Residence and Garage: \$12,000, 2 sty. and bas., 44x32. (8 rooms). Architect, J. D. Palmer Co., McKeen Block. Owner, Dr. W. E. Miller, Dentist, McKeen Block. Plans nearing completion. Archt. will be ready for bids in a few days. Frame, asphalt shingle roof, hot air furnace, Dutch Colonial design.

Residence and 2-Car Garage: \$8,000, 1 sty. and bas., 45x44, Edgewood Grove. Archt., Abe B. Levin, % Levin Bros., 527 Ohio St. Archt. receiving bids. Stucco, furnace, asphalt shingle roof.

MISCELLANEOUS CITIES.

Brazil: Factory (addition) Owner, The Stout Furniture Co., are contemplating the expansion of its plant. Definite data later. Brick. 3 sty.

***Covington:** High school, addition. Architect, Liese and Ludwick, Danville, Ill. Owner, Board of School Trustees, Covington. Plans in progress. Brick.

Frankfort: Light Fixtures (for several schools) \$5,000. Archt., Rodney Leonard, 309 Peoples Life Bldg. Owner, Board of School Trustees, Richard Heavilon. Taking bids to close November 24th, at 10:00 A. M.

Gary: Freight House and Shops, \$400,000. Archt. and Eng., S. A. Jordan, Union Station, Cincinnati, Ohio. Owner, Baltimore and Ohio R. R. Co., Daniel Willard, Pres., Baltimore, Md.

Laporte: Comfort Station. Archt. Arthur C. Stigley. Owner, Board of Public Works, LaPorte. Plans completed.

***Monon:** City Hall, \$10,000. Architect, True L. Brookie. Owner, City of Monon, % City Clerk. Owner builds. Architect buys material. Foundation in. Brick.

***Plymouth:** Egg Packing Plant (rem.) \$25,000. Engineer, M. B. Carpenter, 105 N. Clark St., Chicago, Ill. Owner, Rittenhouse Produce Co., Plymouth. Start work shortly.

***Scipio:** School Building (Addition) \$27,391.04. School Dist. No. 7, Geneva Twp., Jennings County, Indiana. Architect, Frank J. Rettig, North Vernon, Indiana. Owner, John T. Richardson, Trustee, Scipio, Indiana. Low bidder on general contract, Charles D. Bennett, Scipio, Ind. Heating, plumbing and wiring included in general contract. (Will South Whitley: Building (for Salesman) \$50,000. Owner, International Association of Specialty Salesman, South Whitley. Contemplated. Will mature in spring.

Contracts Awarded.

***Whiting:** Office and store building, \$17,000. Archt., Mac Turner, 633 Hohman St., Hammond. Owner, Abe J. Winsberg, 418 LaPorte St., Whiting. General contract let to Ed. J. Greenwald, 340 Cleveland Ave., Whiting. Brk., 2 sty., 25x100.

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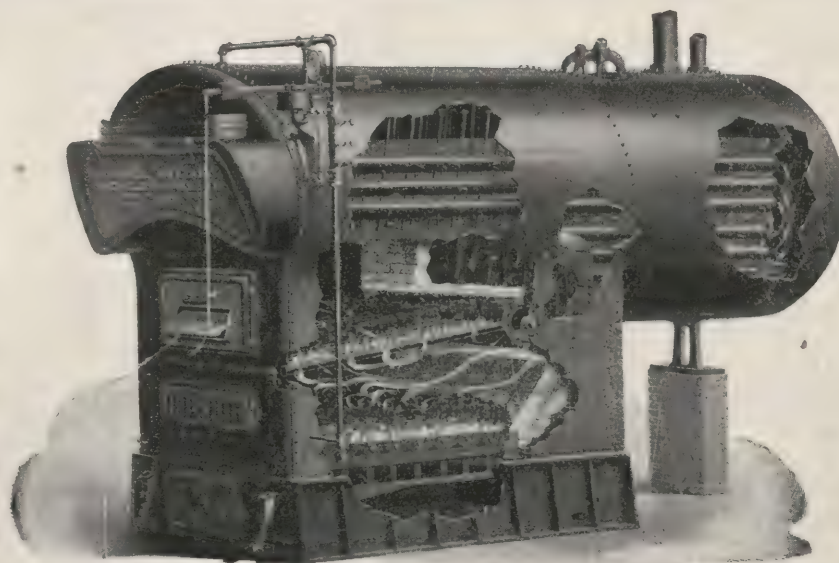
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SCHOOL HOUSE. NOTICE TO CONTRACTORS.

Notice is hereby given that sealed bids will be received by the Township Trustee and Advisory Board of Jackson Township, Decatur County, Indiana, at the office of Cliff N. Fulton, Lettes, Indiana, until 1:30 p. m., December 1, 1922, for the construction and completion of a two-story and basement school building in said Jackson Township, Decatur County, Indiana, in accordance with plans and specifications as prepared by The Elmer E. Dunlap Co., architects, copies of which are now on file in the office of the Trustee, in the office of the State Board of Accounts, State House, Indianapolis, also in the office of the architects, 1050 N. Delaware St., Indianapolis.

Separate bids will be received for furnishing all materials and necessary labor for the following branches of construction:

1. General Construction.
2. Electric Wiring and Bell System.
3. Plumbing and Sewering.
4. Heating and Ventilating.

All bids must be submitted on Form No. 96, adopted and approved by the State Board of Accounts. Bids to be delivered in sealed envelopes addressed to Cliff N. Fulton, Township Trustee, endorsed with title of work and name and address of bidder.

Each bidder will be required to file with his bid a certified check as follows: General Construction, \$1,500; Electric Wiring and Bell System, \$200; Plumbing and Sewering, \$400; Heating and Ventilating, \$750. Checks to be made payable to Cliff N. Fulton, Township Trustee, and will be held as a guarantee of good faith that the said bidder or bidders will enter into a contract with and execute a bond approved by the Trustee for the faithful performance thereof if his bid or bids are accepted. Checks of the unsuccessful bidders will be returned when contracts have been executed.

Each bidder, to whom contract is awarded, will be required to execute bond, approved by the Trustee for the full amount of the contract. Should he fail to enter into such contract and execute the bond required within ten days after award of contract, then he or they shall forfeit the amount of said certified check as liquidated damages for the use and benefit of the proper fund of

Jackson Township, Decatur County, Indiana.

The Trustee reserves the right to reject any or all bids and, further, to require any bidder to show to the satisfaction of the Trustee and Advisory Board that he is competent to perform the work on which he bids.

Copies of plans and specifications may be obtained at the office of the Architects, 1050 N. Delaware St., Indianapolis, upon deposit of \$25 for each set; said deposits to be returned upon the safe return of the plans and specifications to the office of the Architects on or before the day and hour set for receiving bids.

J. R. THURSTON,
OVID HOUZE,

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Advisory Board.

(Signed) CLIFF N. FULTON,
Trustee Jackson Twp., Decatur Co., Ind.

OLD GIVES WAY TO THE NEW.

The demand for housing facilities in Evansville has made the remodeling of houses, especially the older larger types, into apartments an attractive proposition. Quite a bit of this sort of construction work has been going on, and as a result many of the well known old homesteads of Evansville have been thus transformed into modern duplex and four-apartment buildings.

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	Joint
Flue Linings, 8 $\frac{1}{2}$ x8 $\frac{1}{2}$	\$0.60
Flue Linings, 8 $\frac{1}{2}$ x13.....	.90
Flue Linings, 8 $\frac{1}{2}$ x18.....	1.35
Flue Linings, 13x13.....	1.15
Flue Linings, 13x18.....	1.75
Flue Linings, 18x18.....	2.25
12 inch Round Lining.....	1.35

WALL COPING.

	Per ft.
9 in.	\$0.20
13 in.30
18 in.60
Angles, three times price per ft.	

CEMENT BLOCKS

Plain—8 in.x12 in.x16 in.....	\$0.22 each
Rock Face—8 in.x12 in.x16 in.....	.25 each
For fittings, corners, window blocks, add 25c.	
For Water-Proof Blocks add two cents per block.	

LIME, CEMENT AND PLASTER

LIME.

	Each
Finish, Hydrate, 50 lb. paper sacks.....	\$0.47.
Mason's Hydrate, 50 lb. paper sacks.....	.40
Chemical Hydrate, 50 lb. paper sacks.....	.52
Single Bags, any kind.....	.65
Lump Lime, bulk.....	per cwt. .75

CEMENTS.

	Each
Portland, paper bags.....	\$0.90
Portland, cloth bags.....	.95
White Portland, cloth bags.....	2.60
Bricklaying.....	.66 and .75
Cloth sacks included, returnable at 7c each.	

MORTAR FOR BRICKLAYING.

Carney's cement, cloth, per bag.....	\$0.75
Brickment, paper, per bag.....	.66
Brickment, cloth, per bag.....	.70
Cloth sacks included, returnable at 7c each.	

PLASTERS AND FINISHES.

	Each
No. 1, Prepared, 1st coat, cloth sack.....	\$0.60
No. 2 Prepared, 2nd coat cloth sack.....	.60
Special, Prepared Metal Lath, cloth sack.....	.65
Single Sack, any kind.....	.75
Plaster—Unsanded (Neat) 80 lb. paper sacks.....	.78
Plaster—Unsanded (Neat) 100 lb. cloth sacks.....	1.05
Single Sack, paper.....	1.00
Wood Fibre, 100 lb. paper sacks.....	.75
No. 1 Moulding Plaster, 100 lb. cloth.....	1.40
No. 1 Moulding Plaster, 80 lb. paper.....	1.10
Michigan Stucco, 100 lb. cloth.....	1.00
Plaster Paris, satin finish, paper.....	1.00
Superior Plaster Paris, 80 lb. Pa.....	1.00
Keene's Cement, 100 lb. cloth sack.....	2.00
White Trowel, Prepared, 80 lb. cloth sack.....	1.30
White Sandflet, Prepared, 100 lb. cloth sack.....	1.25
Petander, (at yard).....	pound, .12
Cloth sacks included, returnable at 7c each.	

MORTAR COLORS.

	Pound
Red, 100 lb. sacks.....	.02 $\frac{1}{2}$
Puff, 100 lb. sacks.....	.03 $\frac{1}{2}$
Chocolate Brown, 100 lb. sacks.....	.03 $\frac{1}{2}$
Plack, Dble. Str., 100 lb. sacks.....	.05 $\frac{1}{2}$
Black, Szl. Str., 100 lb. sacks.....	.03 $\frac{1}{2}$
Special Chocolate, 100 lb. sacks.....	.04 $\frac{1}{2}$
In quantities less than 1 sack.....	.06

SAND.

	Ton
White Silica, bulk.....	\$ 8.00
White Silica, cloth sacks.....	10.00
Michigan, bulk.....	5.50
Michigan, cloth sacks.....	7.50
Cloth sacks included, returnable at 7c each.	

ROOFING MATERIALS.

	Square
Slate Surface (8 inx12 $\frac{3}{4}$ in.).....	\$6.25
Slate Surface, strip shingles.....	6.00
Colors—Red, Green or Blue-Black.	

ROLL ROOFING.

	Roll
Green Slate Surface.....	\$3.00
Red Slate Surface.....	3.00
Blue Black Slate Surface.....	2.40
Class C Heavy, 55 lb. (3 ply).....	2.40
Light (1-Ply) 35 lb.....	1.75
Black Waterproof Paper, 500 sq. ft.....	1.50

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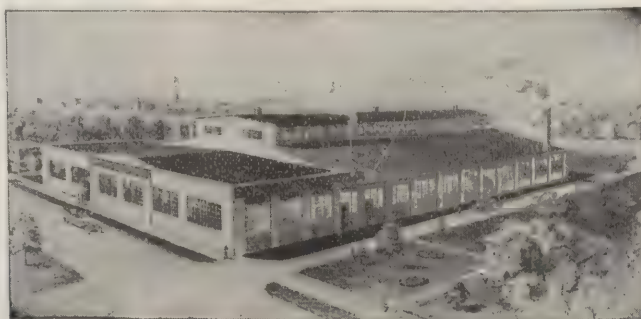
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INDIANA

Official Paper

Indiana Society of Architects

Office of the Secretary
500 BOARD OF TRADE BUILDING
Indianapolis, Ind.

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"Your Individual Prestige Can Never Be Greater Than the Prestige of the Profession to Which You Belong"

MATTERS OF VITAL INTEREST TO I. S. OF A., ADVANCED BY DIRECTORS.

The subject matter taken up for consideration by the board of directors of the Indiana Society of Architects at the regular monthly meeting at Indianapolis, November 11, while not extensive, was broad in its scope and will have a vital bearing on the immediate and future function of the organization.

Conditions have arisen that will necessitate the postponing of the semi-annual meeting of the I. S. of A. from December to the second Saturday of January this year. All members are advised to make special note of this change. The rearrangement was occasioned by the fact that the society will hold its semi-annual meeting this year in conjunction with the Annual Architectural Exhibit of Indiana architects. This affair is to be held at the John Herron Art Institute at Indianapolis, and since it was impossible for the institute management to assign galleries to the architects for the month of December, the second Saturday, of which it has been the custom to hold the semi-annual meeting of the I. S. of A., the directors of the society decided to postpone the affair until January so that all those attending the meeting might be able to view the architectural exhibit.

Another important matter taken up dealt with the monthly regional architects' meeting idea, and since the Fort Wayne meeting in October was such a success, and the semi-annual meeting has been postponed, the directors concluded to hold another regional meeting in December at Evansville for the benefit of southern and southwestern Indiana architects.

It is the aim of the directors to hold one of these regional meetings every other month in some Indiana city that the architects throughout the state may be brought into closer contact with the State Architects' Association, and the

whole body of the state architectural profession kept in more timely touch with the trend of current architectural and building affairs as they arise. The meetings not scheduled for outside cities will be held at Indianapolis, due announcements of which will be given.

The directors also took up for consideration and discussion a proposition that will have to be passed upon at the semi-annual meeting, since it will call for more or less of a reorganization of the present scheme of the society and occasion an amendment to the constitution and by-laws. It has been proposed that the society organize regional architects' clubs, each to be a subsidiary of the parent organization. For this purpose it has been proposed that the state be divided into various districts, each of which would have its own architectural club, the membership of which would be composed of the architects of that given district. Monthly meetings of these clubs would be held regularly and reports made to the parent body, the Indiana Society of Architects. Further, the board of directors of the state organization would be reorganized and be made up of men from the regional clubs, one to be appointed or elected from each club to serve on the directorate of the state association. Such an arrangement will make for a stronger I. S. of A., and will tend to create a greater solidarity amongst the Indiana architects. While the idea is merely tentative, it is worthy of serious consideration.

INDIANAPOLIS ARCHITECTS TAKE DEFINITE STAND IN MATTER OF CIVIC INTEREST.

Believing that the best interests of the city and the future needs of the citizens can not be met by the scheme proposed by a committee appointed by Mayor Lew Shank to build a combination market house and municipal auditorium, the members of the Indianapolis Architects' Association at the regular monthly meeting Wednesday night at

the Hoosier Athletic Club took a definite stand opposing the matter as now advocated.

After much discussion this resolution was drawn up and adopted:

Whereas, the city of Indianapolis is contemplating the erection of a new market house and auditorium to replace the inadequate facilities afforded by the present market house and Tomlinson hall.

Therefore, Be it Resolved, by the Indianapolis Architects' Association: That the proposed solution of the market house problem as recently published in the daily press is objectionable for the following reasons:

1. That a hall of public assembly of the capacity contemplated, should not have its main floor above the ground over a market or any other type of occupancy because in addition to other obvious reasons the necessary amount of stairways and exits, as required by law, is so great that little, if any, available ground floor space would be left suitable for the purpose of a market.

2. That a two-story market is inconvenient for public access and use and compels the lower story thereof to be always artificially lighted and ventilated at great and perpetual public expense;

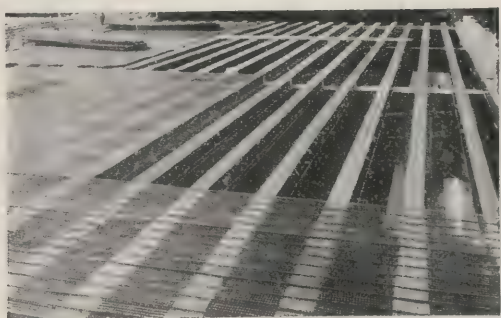
And be it further resolved, That since it is evident that in the near future the county will be confronted with the problem of replacing the present Courthouse, the entire problem of auditorium, city market and Courthouse should be referred to the city planning commission in co-operating with other civic agencies to take this matter under consideration for the purpose of determining a satisfactory solution of these problems as a comprehensive unitary development of a civic center.

And, further, we believe this advisable since the interests of the city and county are so closely related.

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Official Paper

Associated Building Contractors of Indiana

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Indianapolis

ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller.....President

Office, 411 Sycamore St.

VOLUME OF BUILDING NEARLY DOUBLED IN 1922.

Though there have been no great immense projects erected in Evansville in 1922, in fact the year has been featureless in this respect, to swell the local building record, nevertheless, the steady, plugging, strides that have been exerted along the lines of residential construction have aided in rolling up fair building totals for the past ten months.

In the way of new residences the city has kept pace with other communities of like size and has recorded a sum total in the way of a volume of business that is ahead of the 1921 figures. During the first ten months of last year Evansville did \$1,101,055 worth of building while for the corresponding period this season she has totaled \$2,048,924, a gain of 86% over 1921.

The monthly estimated valuations for 1921 and 1922 are:

Month	1922	1921
January	\$ 85,432	\$ 23,780
February	98,058	28,005
March	231,690	58,869
April	430,889	43,941
May	276,690	281,250
June	243,375	80,163
July	155,040	193,132
August	169,540	168,460
September	111,704	116,730
October	246,506	106,725
Total	\$2,048,924	\$1,101,055

AT LEAST EVERYBODY WAS KEPT CONTINUALLY AT IT.

What with considerable factory improvement work being done, many new residences under construction and several projects being figured, November finds Evansville contractors quite busy, in fact, practically every building construction contractor, general and sub, is doing no loafing these fall days.

It has been one of the best years the Evansville building trades mechanics have ever experienced as there has been little or no lost time among them all season. While not of record breaking proportions the volume of construction business took care of the local visible labor supply in nice shape, while conditions held steady and favorable practically throughout the year. What

little labor trouble developed cropped out at the beginning of the spring building season and was ironed out with little difficulty to the satisfaction of both employer and employee.

One thing can be said for the 1922 building season and effort in Evansville, everybody worked with one end in view, to keep construction work going, the purpose being accomplished.

PAR AND BETTER PREDICTED FOR NEXT SEASON.

Allowing for good weather, the building outlook for Evansville is promising according to contractors and local material men. While 1922 was not a boom year for the metropolis of "The Pocket," nevertheless the demand for building material was close to normal. Those interested in the building construction industry are expecting a busier and more active year next season when spring bobs around again.

FT. WAYNE

BUILDERS' EXCHANGE
Member State A. B. C.

Max Irmscher.....President
Eph Dailey.....Secretary
825 Calhoun St.

Phone 2001

WOULD ESTABLISH BUILDING LINES.

In line with the trend toward city plan and zoning schemes practiced in other municipalities to put certain restrictions on building that will have for effect better arranged cities in the future, a resolution providing for new building lines on Harrison street was adopted by the board of works at a recent meeting. The adoption of the resolution was the step taken by the board to learn the attitude of property owners on Harrison street and to bring the project which has been agitated for a considerable period of time, to a definite head.

No further action will be taken on the resolution until the attitude of the property owners has been learned.

The resolution adopted calls for the establishing of a building line on the east and west side of Harrison street from the St. Mary's river to Baker street. The resolution provides for a line five feet within the present line on both sides of the street from St. Mary's river to Lewis street and a line eight feet within the present lines from Lewis street to Baker.

ANY ONE HAVE A BET DOWN ON 1822?

Referring to past performances is a favorite diversion in the domain of horse racing, being the one way to figure out "the dope" on future track events even though it does go wrong many times when one of your "good things" prances up to the post carrying your money. But there are other past performances that reveal interesting facts even though they may not prove beneficial to replenishing the exchequer.

For instance give the following figures the "once over" and it may be impressed upon you the fast flying strides that Ft. Wayne has put forth this year in the way of building construction. Anyway, 1921 surely takes the dust in comparison with what has been done in 1922. The monthly records for the two years show this:

Month	1922	1921
January	\$ 136,660	\$ 93,325
February	191,035	208,600
March	575,095	370,345
April	582,335	275,802
May	702,485	420,978
June	903,455	308,735
July	715,735	355,628
August	1,634,574	570,105
September	1,774,930	327,343
October	1,383,445	410,765
1922—10 Mo.	\$8,599,749	\$3,341,636
1921—10 Mo.	3,341,636	
Gain—1922	\$5,258,113	

DIMENSION STUFF.

Contracts to the extent of \$168,000 were awarded one day last week for the construction of projects, plans for which were prepared by Ft. Wayne architects. Two of these contracts were for local projects, going to local contractors, while the other two were for structures for neighboring towns.

Orders for lumber being placed locally for proposed residences indicate that the usual, or heretofore, fall lull in building construction operations has not put in an appearance to date. There are those in Ft. Wayne building circles who feel that building here will continue right along through the winter with a fair degree of activity.

C. I. Hall, in charge of the experimental laboratory of the General Electric Company, located at the local plant of the company, has been appointed a member of the national research committee of the American Institute of Electrical Engineers.

Mr. and Mrs. F. R. McKay, have in contemplation a handsome new home on Rudisell Boulevard, the site for which has just been purchased.

Remember

You can substantially reduce the cost of your compensation and liability insurance by insuring in the BUILDERS & MANUFACTURERS MUTUAL CASUALTY CO. (a strong company, organized and economically managed by contractors, and devoted exclusively to rendering a particular service and reducing the cost of insurance in building construction.)

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INDIANAPOLIS

Building Contractor's Association
Member State A. B. C.

F. W. Jungclaus.....President
C. C. Pierson.....Secretary
320 Peoples Bank Building

MEETINGS.

Executive Committee meets second Tuesday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

Mason Contractors Association meets every Thursday—1 P. M.

General Contractors meet second Friday each month.

PLANS ON FILE.

At 320 Peoples Bank Building,
Indianapolis.
None this week.

WAIVER OF LIEN.

State Construction Co., as builder, and Blackstone Realty Co., as owner, to erect a 24-apartment building on lots 3 and 4 Fink's resub. of Fink's add.

Cohen, Sol, as owner, and Percy Porter, as contractor, to erect a garage on premises known as 1028 S. Meridian St. for \$375.

HOLDS ORGANIZATION EFFORT A VITAL DETAIL OF THE CONTRACTING BUSINESS.

An ardent advocate of the wisdom of concentrated organization effort among builders is to be found in the person of Fred Jungclaus, prominent general contractor of Indianapolis, and President of the A. B. C.'s of Indiana. He commented on this feature of the building contracting business while addressing state contractors at Indianapolis recently and pointed to the fact that Indianapolis contractors standing together solidly in 1922 had secured agreements with practically every building craft in the city. As a result of this unity he said less trouble had been experienced in Indianapolis building affairs than ever before. In conclusion, he held that organization among contractors for protection and the safeguarding of the building industry was as much a part of the contractor's business, and as vital, as any other of the details of his business.

MOTION PICTURE TO BE EMPLOYED TO PROMOTE BUILDING ACTIVITY.

It had to come.

Since motion pictures have been used in the promotion of practically every form of industry it was only a question of time until they would break into the

building field as a means of promoting home building.

Building material manufacturers have made use of the motion picture to demonstrate the creation of their wares through the various stages of production. Therefore, what more logical than the employment of the animated film to encourage and promote construction work?

Much interest has been aroused in various parts of the country by the erection of "model houses," suitably furnished; the theory being that anyone seeing such a model would be very apt to become a home owner. Undoubtedly good has been accomplished through this agency. However, whatever has been accomplished has been quite limited in scope owing to the fact that the expense involved for erecting "model houses" is quite prohibitive if undertaken as a national movement, since the appeal at best has been purely local. Something broader in its scope, more universal, was needed, a means less expensive.

Enter the motion picture. The demand which has been found to exist for a national means of encouraging home building has resulted in the creation of a five reel film to show the actual erection of a modern six-room brick Colonial house, together with its equipping and furnishing. An interesting and attractive plot has been worked into the scheme, while many concerns associated with the progress of building are co-operating in the production, lending expert, practical advice to make the details complete.

HIGH SPOTS IN INDIANAPOLIS BUILDING THIS WEEK.

The big feature of the week at Indianapolis in building circles, centered around the announcement by the E. G. Spink Co. that plans are being prepared for the construction of a half million dollar Family Hotel at 2035 N. Meridian street. In the way of new contracts awarded things were quiet. The most noteworthy awards were: 24 apartment building for Blackstone Realty Co., \$80,000, to State Construction Co. and Fair Store addition, \$70,000, to the Service Construction Co.

BUILDING PERMITS.

(\$4,500 and Over)

From November 9th to Nov. 16th

Club House (fire rebuild), \$42,300, Country Club, 38th and Northwestern. Owner, Board of Park Commrs. Contractor, A. H. Unversaw and Son, 1155 Shelby St.

Stores and Apts.: \$22,500, 3449 College. Owner, Harris Cohen, 627 Russell St. Contract let to A. Kwitny, 1137 S. Illinois St.

Residence: \$12,500, 4461 Central. Owner, M. C. Nelson, at site. Contract to A. N. Kercheval, 1704 Ludlow Ave. Brick veneer.

Garage: \$12,000, 1422 N. Illinois. Owner, Gray-Gribben and Gray, Indiana Ave.

Stores: \$12,000, 3504 College. Owner, Gustave Schmidt, %Crystal Theatre. Contract let to Ostrom Realty Co., Peoples Bank Bldg.

Residence: \$11,500, 3631 N. Penn. Owner, Taylor C. Power, Indiana Pythian Bldg. Owner builds.

Apartment: \$11,000, Washington and Arlington. Owner, William M. Wilson, at site. Contractor. Owner builds.

Residence (double) \$11,000. 5226-28 Central Ave. Owner, Nora Etta Harris. 5423 Carrollton. General contractor, George Barker, % Owner. Brick veneer.

Stores: \$10,000, 2923 Central. Owner, Ida M. Klotz, 3269 Park Ave. Contractor, George Adrian, 4912 E. New York St.

Apartment: \$10,000, Shelby and Wade Sts. Owner, J. P. Laube, 2202 Shelby St. Contractor, Jason Bohley, 1115 E. Troy.

Stores: \$10,000, 2945 Central. Owner, Chas. B. Spann, 217 E. Fall Creek Blvd.

Residence (double) \$8,000. 806-08 No. Gray St. Owner, Archie R. Kimmick, Secy. Indiana Builders Corp., 816 I. O. O. F. Bldg. Owner builds.

Factory: 1 sty. 80x110. and Storage Bldg. 1 sty. 80x80. \$7,500. Denny & P. C. C. & St. L. RR. Owner, Spickel-mier Fuel & Supply Co., 30th & L. E. & W. RR. Owner builds. Concrete block.

Residence (double) \$7,200. 1133-35 Beville. Owner, Frank E. and Iva May Rice, 1121 No. Tacoma St. General contract let to N. A. Moslander and Son.

Residence (double), \$7,000, 36 N. Bolton. Owner, Carl Rogers, at site.

Residence: \$7,500, 4049 Central. Owner, Thos. A. David, at site. Contract let to J. F. Fulk, 952 East Tabor St.

Residence: \$7,000, 4631 Broadway. Owner, Fred W. Jenkins, 4221 Central Ave.

Residence: \$6,500, 131 West 46th. Owner, N. W. Van Osdol, 701 Hume Mansur. Contract let to Indianapolis Builders Corporation.

Residences (2) \$6,500 and \$5,000, at 526 E. 51st. & 51st and Park. Owner, Daniel J. Tobin, 341 Mass. Ave. Owner, builds.

Residence: \$6,000. 38 West 49th. Owner, Walter Weidley, 43 West 49th. Contract let to M. E. Thornton, 42nd and College.

Filling Station: \$6,000, Oliver and Harding. Owner, National Refining Co.

Residence: \$5,000, 5009 Park. Owner, Southern Lumber Co. Owner builds.

Residence: \$5,500, 330 E. 47th. Owner, W. F. Parrish, 2458 N. Delaware.

Residence: \$5,000, 610 N. Wallace. Owner, G. C. Jose and Son, day work.

Residence: \$5,000, 726 Garfield. Owner, John Tedrow, at site. Contractor, H. C. Hanna, 415 N. Drexel.

Residences (3) \$10,000 total, 1453 N. Holmes, 1440 and 52 N. King. Owner, A. W. Cox, 1266 Bellevue Place.

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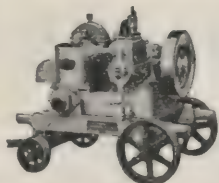
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SAW RIGS
PUMPS
HOISTS

MORTAR MIXERS
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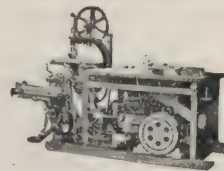
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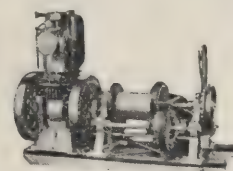
FLETCHER TRUST BUILDING INDIANAPOLIS

H. W. TAYLOR, INDIANA REPRESENTATIVE

MAIN 7170



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CALUMET DISTRICT

CONSISTING OF
HAMMOND INDIANA HARBOR
EAST CHICAGO WHITING

Building Trades Employers'
Association.

Member State A. B. C.'s

J. Wesley Reed ----- President
E. E. Cole ----- Secretary

108 Citizens National Bank Bldg.,
Hammond, Indiana

MEETING NIGHTS

General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.

Master plumbers every Thursday evening.

**MINORITY DICTATION MUST
CEASE.**

Now that the election is over, and the country is in the way of being saved once more, attention can be turned to other things. Let's hope some serious thought will be given to business and the best way to encourage it, nor in this consideration may building be forgotten.

While not caring to assume the role of prophet relative to that which lies just below the distant political horizon, nevertheless, we would be willing to wager a "Mex" dollar that two of the big issues to come before the people two years hence will have to do with a modification of the Volstead Act to allow the manufacture of light wines and beer, and also another important matter to decide whether or not any certain one class of people can dictate legislation to be enacted and, in the dictating, hold a stop watch on Congress and the Senate until their orders have been obeyed.

When any class of citizens that does not represent 20 per cent of the population can say to Congress and Senate, "if you do not pass a certain law or comply with our demands by a given time we will at once proceed to tie up the transportation systems of the country and starve or freeze the people," who are not in any way responsible for the controversy, and absolutely powerless to protect themselves, it is time to call a halt. We do not believe in any class, be they bankers, merchants, mechanics or laborers, having the power to dictate exclusively to the government. This is supposed to be a free country and a government by the people, for the people, and of the people, and is not to be dictated to by any particular class or interest, be they great or small.

**BUILDING BUSINESS SURPRISINGLY
GOOD AT THIS TIME.**

The fall building is holding up better than the most optimistic expected. Every body is busy and new projects are coming up all the time. There is an unprecedented amount of home building for this time of the year, and quite a number of larger structures are either being built or figured which will tend to keep all the building mechanics busy well through the winter.

CALUMET BUILDING PROGRESS.

A Jewish Syndicate having plans drawn for a family hotel building on Sibley street to cost about \$125,000.

The wreckers are busy removing the old buildings from the site to be occupied by the Bereolos Building. It creates quite a void in the center of town.

Checking up on Calumet construction operations reveals some really worth while projects making for a fine volume of business for the contractors. Not counting many of the lesser projects the "big league" stuff going on is as follows: H. W. Horst Co. has a large gang going out on the lake front at the new water works. Other big work and the contractors in charge is Whiting High School, English Bros.; Whiting Community Bldg., Great Lakes Construction Co.; Sewage Disposal Plant, Bates & Ahlborn; Hammond Dairy Plant, Snyder & Co.; Catholic School and University, Rahn & Son; Hydrox Ice Cream Factory, Rowley Bros.; Deaconess Steel Co., United Erecting Co.

Things seem rather quiet over at Gary. The B. T. E. A. secretary took a run over there the past week to give conditions the "once over." Among others seen and talked with was L. B. Snowden, formerly prominently conspicuous at State A. B. C.'s conventions, who like Lawrence has hoisted the standard, "Don't Give Up the Ship."

Ahlborn & Bates, who have the contract for the sewage disposal plant, while sinking the cribbing for the sump, struck the body of a tree 12 feet below the surface.

A WORD TO THE WISE.

Build Now! Indications point to higher construction costs in the spring. Look out for a 25 per cent jump in lumber prices when the new lumber tariff goes into effect.

E. E. COLE.

MUNCIE

Associated Building Contractors
Member State A. B. C.

Chas. Rowe ----- President
J. A. Gallivan ----- Secretary

314 Main Street

**REVIEW OF INDIANA BUILDING
CONTRACTING AFFAIRS FOR 1922
PUTS MUNCIE IN FAVOR-
ABLE LIGHT.**

It is gratifying to know that building conditions in Muncie throughout the year of 1922 were not less unfavorable than in other Indiana municipalities, and in some instances ruled more propitious to building operations. The obstacles encountered in Muncie were much the same as those that arose in most of the other cities and had to do chiefly with holding the wage scales to a point where construction costs could be held within reason that building activity would be encouraged.

Here and there, as in Muncie, some of the crafts experienced flurries that for a time threatened to upset things, and practically the only factor that held affairs to an even keel was the fact that the contractors pulled together and stood as a unit in times of trouble. Muncie accomplished more than quite a few of her sister cities, the chief item of which had to do with the securing of a signing of the uniform working agreement with the carpenters.

At Kokomo the main difficulty experienced pertained to common labor, most of the local supply securing employment in the various factories, a feature that created a scarcity of that element in the building field, otherwise the situation was good.

Lafayette would have gotten by nicely had it not been for contractors outside of the state who tilted plasterers' wages to a point where a halt was called by local contractors and prospective owners, resulting in a shut down of building for months.

Michigan City, except for a shortage of building trades mechanics, got by, building conditions being favorable.

The outside contractor at South Bend played bad with local affairs, shot wages up regardless and caused local contractors to pursue the same methods for self-protection, resulting in sliding rates of wages being paid little uniformity being maintained. Though no agreements were effected with the unions, practically all building contractors employed union men.

Early spring saw turbulent currents at Terre Haute, but by holding firm the A. B. Co.'s, members secured satisfactory readjustments, with resultant good conditions. Terre Haute's main difficulty through the season hinged on a shortage of building trades mechanics.

Fort Wayne, with "open" and "closed" shop conditions holding forth, found many union men cutting in at contracting to the discomfiture of the regular legitimate contractors.

Away down south, Evansville managed by arbitration to effect satisfactory understandings with the craftsmen and went through the season in good shape.

Indianapolis, with agreements with all crafts except ironworkers and hoisting engineers, had less trouble in 1922 building affairs than ever before, and "put over" the biggest building year in her history.

**LOOKS AS IF PAST EXPERIENCE
HAD TAUGHT A LESSON.**

Not to be caught napping next spring the Muncie A. B. C.'s. members are contemplating getting an early start for next season by taking up soon for consideration wage scales for 1923. Quite frequently the contractors wait till the last moment in this matter, only to find themselves in the hole when the spring building season opens. Then come haste, misunderstandings, hard feelings and loss of valuable time, all of which could be obviated by a little foresight. None of those aggravations for Muncie contractors in 1923, they say.

Do You Advertise in the Recorder?

If not, you are among those about whom the Indiana Building Industry is perplexed.

Inquiries are constantly being made as to who handles such and such materials and where can he be located.

Think of the times, however, that your competitor, who does advertise, is turned to by the man who wants to buy because he has not the time to hunt you up.

Building activity in Indiana has reached unprecedented heights; the sales opportunity is yours for the advertising.

A few dollars spent judiciously in advertising gives you more than an even break with the field, it gives you the bulge.

Your name and message in THE RECORDER will reach the Entire Indiana Building Construction Industry—The ARCHITECT, ENGINEER, CONTRACTOR, PROSPECTIVE BUILDER—each week.

The Recorder goes to "the live ones" each week and is read by them; it has no waste circulation; it is the only circulation in the State that covers the entire Indiana Building Field.

**Advertise in the Recorder and Be Known When
the Buying Moment Arrives.**

RATES ON APPLICATION.

Indiana Construction Recorder

312 E. Market St.

Phone—Main 5673

Indianapolis

STRUCTURAL STEEL for BUILDING CONSTRUCTION

Steel Derricks—Industrial Cars
Concrete Handling Equipment

Estimates Cheerfully Given

INSLEY MANUFACTURING CO.
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R. C. HALL ROOFING COMPANY

General Roofing Contractors

Prepared to Figure In Any Part of the Country.

Asphalt Built-Up Roofing

Repairing and Recoating a Specialty

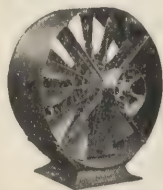
Also Roofing Supplies.

We Carry Full Insurance Protection.

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MUNCIE, IND.



Phone

Main 6963

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Installations Anywhere in the State

LILLY HARDWARE CO.

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Builders Hardware
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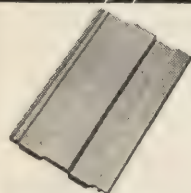


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and Grades

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INDIANAPOLIS

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CONCRETE TILE ROOFS

THE FIRE-PROOF, LEAK-PROOF,
LAST-A-LIFE-TIME ROOF.

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Made in Indianapolis

205 East Ohio Street

INDIANAPOLIS

Interstate Public Service Company

INDIANAPOLIS—LOUISVILLE

Low rates on Cement from
Speeds Mill to Indianapolis
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the state.

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Hy-tex

The Standard of Quality in Brick

We Solicit a Statement of Your Requirements

"BUY GLASS OF A GLASS HOUSE"

STEWART-CAREY GLASS CO.

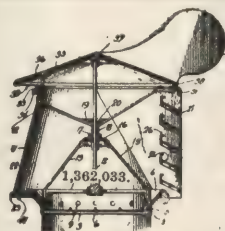
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Office and Warehouse

231-235 SOUTH NEW JERSEY STREET

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Manufactured by

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Electrical Contractor and Supplies

Specializing on Residence Wiring PHONE, WASH. 2698

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CONTRACTING ENGINEERS

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INDIANAPOLIS, IND.

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TRUSCON REINFORCING STEEL

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Albert Kahn, Archt.
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Contrs.

Delays in the arrival of building materials at the job cost the building contractors and the owners money.

If you expect to complete your building on schedule, be sure your materials arrive on time. It is risky business to build on promises.

The Truscon organization serves Indiana completely with warehouses in Indianapolis, Chicago, Cincinnati and Detroit, and the source of supply at Youngstown, Ohio. These warehouses are completely stocked with Truscon Reinforcing Steel and other permanent building products.

Architects, engineers, contractors and owners should consult Truscon engineering service before completing their plans and placing their orders.

TRUSCON STEEL COMPANY

INDIANAPOLIS

604 CITY TRUST BLDG.

MAIN 5368

INDIANA CONSTRUCTION RECORDER

FOR
ARCHITECT
ENGINEER

Devoted to the
Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

VOL. IV

INDIANAPOLIS, INDIANA, NOVEMBER 25, 1922

No. 34

INDIANA CONSTRUCTION RECORDER Published Every Saturday

DONALD CAMPBELL Publisher
LEIGH FELTON News Manager
JOHN H. OWENS Field Manager

312 E. Market Street,
Indianapolis, Ind.

PHONE—MAIN 5678

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One Year \$6.00
Six Months \$4.00

Advertising Rates Furnished on Application....
Advertising forms close Saturday of week pre-
ceding date of issue.

Entered as second class matter August 29, 1919,
at the Post Office at Indianapolis, Indiana, under
the Act of March 3, 1879.

TURN THE SPOT LIGHT ON ASSO- CIATION EFFORT TO BRING OUT BENEFITS TO BE DERIVED.

There are few, if any, industries that are forced to deal or contend more directly with organized force than is the building contracting industry. One of the largest single elements in contracting with which the employer has to contend has to do with Labor, practically every craft branch of which is organized to the maximum and exerts a powerful influence in construction operations. There are other phases, too, toward which organized effort among contractors is directed, all of which has a direct bearing on the business of the building trades employer, not only for his protection, but for the advancement of his business through the promulgation of progressive ideas that will establish a fair degree of stability and encourage building activity.

Though it hardly seems possible that the contractor can fail to realize what organization within his own ranks means to him, or will ignore its appeal, nevertheless, from the attitude of some, such seems to be the case. Possibly it is because they lack an intimate conception of what organization, through the association medium, really means to them individually. Many look upon an association as a mythical chasing of the will-o-the-wisp, or a social effort, and yet others, big building operators come out flat footed, mince no words, and declare that they consider the attention they give to organization affairs as an essential part of their business as any other of the details involved in the successful pursuit of contracting.

The Building Trades Employer's Association of the Calumet District, through its Board of Directors, has sent out an appeal to all the contractors in that territory, and in that appeal has

stressed upon the advantage of being identified with organization by setting forth questions that no contractor, after serious consideration and investigation, could answer in the negative. What is true in the Calumet District, relative to organized effort by the contractors, holds true also as to the endeavor put forth all over the State by the various subsidiary branches of the Associated Building Contractors of Indiana, and the parent body itself.

The questions propounded by the Calumet Directors, as a means to awaken the builders and increase the membership of the association are:

Would you care to enter into an agreement whereby your interests would be looked after collectively—the same as the interests of the mechanics, who are members of the local union?

Do you know that an organization of this kind has been working in this district for the past several years, and that you have already gained many advantages from its workings?

Do you know that membership in this organization will entitle you to a saving of one-half of the money you are now paying for insurance and secure you twice as good a service as you are getting at the present time?

Do you realize that it is to your interest to help build up the contracting business and have it recognized as one of the leading industries?

Do you know that an organization that protects your interests is your friend?

Do you know that by being united you are in a position to demand and receive recognition?

Do you know that your employees belong to a union to advance their interests; why don't you belong to a union of your kind to advance yours?

Do you know that all lines of business are organized to protect and advance the interests of their members? This is the day of organization. What chance have you single handed against those who are organized?

Do you know that where the men engaged in any line of business are 100 per cent organized there is less danger of trouble?

Don't you feel that you should be lending your help to this ORGANIZATION—thus identifying yourself as a man, representative of your line?

In conclusion the Directors point to the fact that the Calumet organization has been responsible for bringing a large number of mechanics to that district, and has prevented a large num-

ber from leaving and going to Chicago. This has been brought about and accomplished by co-operation. It has also helped the mechanics by switching them from one job to another without loss of time—as well as helping the contractor.

As for the association itself they say: "Don't think that our Organization is selfish. We welcome you as a man interested in your own line of business. We further protect your interests. We defend you—both in the Organization and out, and we defy anyone to produce evidence of partiality or selfishness. We welcome constructive criticism. We need strong men.

You are hereby requested to investigate this Organization fully, and report, anything in which we are found wanting, in your estimation—such report will be given serious consideration with a view of strengthening and perfecting the Organization.

Just so can association effort amongst contractors in Indiana be typified; it is working for the contractors as a whole, and the building industry at large. Devoid of selfish purpose, it is seeking to inculcate a great, broad, co-operative spirit that in its ultimate achievement will mean "The Greatest Good for the Greatest Number."

INDIANA BUILDING FIGURES GROW MORE IMPRESSIVE AS TIME ROLLS ON.

A building construction operation record is being piled up month after month in Indiana as 1922 rolls on that is going to be hard to equal in the immediate years to come. So far, though the figures for but ten months are in, the total estimated amount involved in new building work far exceeds any other yearly total ever recorded, and is a 51.7% gain over the corresponding period of 1921, which in itself was a remarkable year in view of the immense volume of work started.

The monthly records and totals for the eight largest Indiana cities for the first ten months of 1922 and 1921 are:

	1922	1921
January	\$1,298,386	\$1,448,381
February	1,720,100	1,292,769
March	3,730,713	4,345,330
April	5,436,701	3,174,438
May	6,225,153	3,475,147
June	4,875,537	3,543,388
July	6,018,669	2,993,311
August	5,616,260	3,756,046
September	5,446,039	2,862,428
October	5,263,480	3,176,912
Total	\$45,631,038	\$30,068,150

Pyramid Brand

Natural Slate

Blackboards

We Carry Stock in Indianapolis

Marble Work of Every Description

Tile Floor and Wainscots

WEGE-STANFORD MARBLE & TILE CO.

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INDIANAPOLIS, IND.

- *CORBIN BUILDERS HARDWARE
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Items marked * in stock. Contractors send in plans of schools and public buildings for estimates on the above materials.

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Bars**

(700 Tons—Hard Grade)

Used in Hotel Gibson, Cincinnati. Satisfactory Bending and Shipping by

**Direct Mill
Service**

The economical way to buy reinforcing steel with satisfactory service

THE POLLAK STEEL COMPANY

General Office, Cincinnati

Works, Cincinnati, Marion, O., Chicago



News of the Week

The asterisk (*) prefix to an item indicates additional information to report published in previous issue.

INDIANAPOLIS.

***Dormitory** (Memorial to Schuyler Colfax), \$125,000, Odd Fellows Home, Greensburg. Archt., Chas. Brossnan, Merchants Bank Bldg., Indianapolis. Owner, Grand Lodge of Indiana, I. O. O. F., W. A. Morris, Grand Treas., Frankfort, Ind. General offices, Odd Fellows Bldg., Indianapolis. Plans in progress. Owners financing, mature about February 1st. Brick.

***Family Hotel** (84 apts.) \$500,000, 8 sty. & bas. 54x170. 2035 No. Meridian. Architect, W. K. Eldridge, 914 Hume-Mansur Bldg. Owner will build and award separate contracts. Start work at once. Brick.

***School Building:** 2 sty. and bas., Letts, Ind., Jackson School Township, Decatur County. Archt., The Elmer E. Dunlap Co., 1050 N. Delaware St., Indianapolis. Owner, Cliff N. Fulton, trustee, Letts, Ind. Owner receiving bids to close December 1st at 1:30 p. m. (See legal advertising in this issue.)

***Hospital, Nurses Home and Power Plant:** \$90,000.00. (rem. from old Chas. Major residence, home and garage) Shelbyville, Indiana. Architect, D. A. Bohlen and Son, Majestic Building, Indianapolis. Owner, Hospital Association, % City of Shelbyville, Lee Hoop, Mgr., J. H. McDougal, Chmn. Board of Trustees, Shelbyville. Plans completed. Owner will advertise for bids shortly. Face brick, reinforced concrete and hollow tile floor construction, tile partitions, steel truss roof, iron stairs, elevator doors, hollow metal doors, terrazzo floors and wainscoting, suspended ceilings, metal weather strips, slate and composition roofs, dumb waiter, metal windows, steam heat, low pressure cast iron boilers (2) high pressure boiler (1) vacuum pump.

Theater (Motion Pictures) 1 sty. & bas. 67x180. South Side. Architect, Clarence Hughes, 816 Fletcher Trust Bldg. Owner, Circle City Construction Co., 816-817 Fletcher Trust Bldg. Preliminary plans in progress. Brick.

Garage (28 cars): 1 sty. rear of 2406-2408-2410 E. Tenth St. Private plans. Owner, Allen C. Parker, 2406 East 10th St. Plans in progress. Start work soon. Concrete block, composition roof.

Memorial (Indiana World War Memorial) \$2,000,000. Indianapolis. The Board of Trustees will receive at its

offices in the Chalfant at Pennsylvania & Michigan Sts. competitive "designs, plans and specifications," for the world war memorial to be erected in the city of Indianapolis. Full information in regard to the competition may be had by addressing, Paul Comstock, Secy., The Chalfant Apts.. Competition closes March 15th, 1923.

Church: (Rem. & Add.) \$35,000. Noblesville, Indiana. Architect, A. A. Honeywell, 412 Penway Building, Indianapolis. Owner, Christian Church, Mr. Oursler, % C. Oursler and Co., Chmn. Board of Trustees, Noblesville. Plans completed. Owner will ask for bids about March 1st. Work will consist of steam heating, brick work, composition roof, art glass, plumbing, electric wiring and general alterations.

Power Units: The Indiana Public Service Co., Indianapolis, have announced that the steam plants in Goshen and Benton are to be enlarged, new line between Goshen and Bristol, 4 power units to be built on the Tippecanoe, mature spring.

***Stores and Offices:** (10 or 13 store rooms), \$75,000, 2 sty. and bas., 105x183, 34th and Central. Archt., Russell N. Edwards, 45 Union Trust Bldg. Owner, Frank R. Reynolds, 3362 Central Ave. Plans nearing completion, ready for bids about December 20th. Brick, stone trim, composition roof, steam heat, copper set store fronts.

***Factory** (addition), \$25,000, 2 sty., 49x70, South East St. Archt., Russell N. Edwards, 45 Union Trust Bldg. Owner, The American Tent and Awning Co., John C. Truemper, Mgr., 632 South East St. Archt. receiving bids to close November 29th. Brick, mill construction, steel sash, no heat.

Substation and Equipment: \$150,000, Washington St., "Old Labor Temple." Private plans. Owner, Merchants Heat and Light Co., Washington and Meridian Sts. Plans in progress, mature about March 1st. Brick, steel sash, comp. roof.

Apartment Bldg., Stores and Garage: (6 Apts., 6 stores, 6-car garage), 2 sty. and bas., East 10th St., near Oxford. Archt., Thomas A. Winterowd, 332 American Central Life Bldg. Owner, East 10th St. Realty Co., % Archt. Receiving bids to close in 10 days. Brick, stone trim, composition roof, steam heat.

Residence and Garage: 2 sty. and bas., (7 rooms), 52nd St. and Washington Blvd. Archt., Thomas A. Winterowd, 332 American Central Life Bldg. Owner, Joseph T. Markey, Judge, 704-05 City Trust Bldg. Plans in progress, mature about March 1st. Brick veneer.

Country Residence: 2 sty. and bas., 86th and College Ave. Archt., Fernor

S. Cannon, 21 Virginia Ave. Owner, J. F. Wild, Senior, President J. F. Wild and Co. (State Bank), 123 East Market Street. Plans in progress, bids will be taken about April 1, 1923. Brick veneer, tile roof, steam heat, tile and hardwood floors.

***Residence** (14 rooms and 3 baths), 44th and Broadway. Archt., Fernor S. Cannon, 21 Virginia Ave. Owner, Herman Deupree, 2927 Broadway. Plans completed. Archt. ready for bids in a few days. Brick, vapor heat, tile and hardwood floors. Dutch Colonial design.

***Bank and Office Bldg.:** 8 sty. and bas., 61x132, Marion, O. Architect, William Earl Russ, Meridian Life Bldg., Indianapolis. Owner, Citizens Building and Loan Co., Marion, O. Plans nearing completion. Owner will be ready to receive bids about January 1st. Bedford stone exterior, composition roof, elevators, steam heat, tile, marble and terrazzo work, concrete vault, vault doors, bank fixtures.

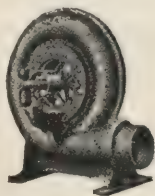
Contracts Awarded.

Factory: \$300,000, 4 sty. and bas., 230 x34, Indianapolis. Archt., Architectural Department of the American Can Co., 120 Broadway, New York City. Owner, The American Can Co., 120 Broadway, New York City, N. Y.. General contract awarded (without competition) to The Ferro Concrete Construction Co., Cincinnati, Ohio. General contractor desires bids on all sub-contracts, bids to close December 1st. Plans and specifications are on file at the office of the Associated Building Contractors, 326 Peoples Bank Bldg., Indianapolis. Brick, reinforced concrete floor and roof construction, flat slab floors, beam and girder constr., reinf. concrete stairs, terra cotta tile work, wood block floors, structural steel, misc. iron, fire doors and fire windows, steel sash, 1 6,000 pound frt. elevator, freight elevator doors, composition roof, steel sash.

Factory (to manufacture stucco), 1 sty., 48x96, Seymour, Ind. Private plans. Owner, Dr. J. J. Briggs, 206 Indiana Pythian Bldg., Indpls. General contract let to W. B. Wood, %Owner. Frame and stucco, start work shortly.

ANDERSON.

Grade School Building—\$68,000.00, 1 sty. and bas., Monroe School Township, Madison County, Ind., near Alexandria. Archt., E. F. Miller, 545 Farmers Trust Bldg., Anderson, Ind. Owner, William Cunningham, trustee, N. Harrison St., Alexandria, Ind. Owner receiving bids to close December 15th at 2:00 p. m. (See legal advertising in this issue.) Brick.



FANS

SINK & EDWARDS SHEET METAL WORK for Heating and Ventilating

Factory Blow-Pipe Work
Riveted or Welded Tanks

Boiler Breechings
Dust Collectors

INDIANAPOLIS



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Residences (100) \$5,000 to \$6,000 each. Varnertown and Idlewild. Private plans. Owner, West Side Insurance and Real Estate Co., 1015 West Franklin St. H. M. Dickman, Secy. Plans in progress. Various designs. Mature spring. Frame.

Residence and Garage: \$35,000. 2 sty. & bas. (10 rooms) Sunset Ave. Architect, Harry E. Boyle & Co., Furniture Bldg. Owner, E. Meade Johnson, Prest. of the Meade Johnson Co. Preliminary plans in progress. Stucco, steam heating

plant, tile and hardwood floors, tile roof. Ready for bids about January 1st.

Bungalow: (6 rooms) Kentucky and Jackson Avenues. Architect, Harry E. Boyle & Co., Furniture Bldg. Owner, Arthur Kaiser, Prest. Kaiser Cloak and Suit House. Plans in progress. Brick veneer over hollow tile, furnace heat, tile floors, asphalt shingle roof. Cost, \$12,000.

*Bungalow: \$10,000. (6 rooms) Boonville, Indiana. Architect, Harry E. Boyle and Co., Furniture Bldg., Evansville. Owner, Harry Hays, Boonville. Plans

completed. Owner ready for bids soon. Frame

Residence: \$12,000. 2 sty. & bas. Harrisburg, Ills. Architect, Harry E. Boyle & Co., Furniture Bldg., Evansville. Owner, Steve Farrar, Harrisburg, Illinois. Sketches. Brick.

Bungalow: \$10,000 (6 rooms) Mt. Carmel, Ill. Architect, Harry E. Boyle & Co., Furniture Bldg., Evansville. Owner, Clarence Hurd, Mt. Carmel, Ill. Plans about completed. Owner ready for bids shortly. Frame.

Residence: \$8,000: 1 sty. & bas. 34x44.



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Howard near Second St. Architect, Harry E. Boyle & Co., Furniture Bldg. Owner, C. H. Gardner. Plans in progress. Brick veneer over hollow tile.

Residence: \$12,000. Scholz and Madison Avenues. Architect, Alfred Neucks, 515-16 Peoples Bank Bldg. Owner, Phil Raphael. Plans completed. Ready for bids next week. Brick veneer over hollow tile.

Residence: \$10,000. New Harmony, Indiana. Architect, Charles L. Troutman, American Trust Bldg., Evansville. Owner, Charles Kemerling, New Harmony, Ind. Plans in progress. Mature late winter.

Store and Apartments (Rem.) \$8,000. 3 sty. 1221 Main St. Architect, Anderson and Stingle. Owner, Heseman and Schnacke, 1221 Main St. Plans in progress. Brick and frame.

Contracts Awarded

***Hospital:** \$75,000. Harrisburg, Ill. Owner, Harrisburg Hospital Association, Harrisburg, Ill. Architect, Harry E. Boyle and Co., Furniture Bldg., Evansville. Owner, C. D. Mitchell and Son, Charleston, Ill. Start work at once. Brick.

***Residence:** \$12,000. Mt. Vernon, Indiana. Architect, Harry E. Boyle and Co., Furniture Bldg., Evansville. Owner, John Keck, Mt. Vernon, Ind. General contract let to Jacob Behrick and Son, Mt. Vernon. Brick veneer.

***Bank:** Eldorado, Ill. Architect, Harry E. Boyle & Co., Furniture Bldg., Evansville. Owner, First State Bank, Eldorado, Ill. General contractor, The Candie-Bray Constr. Co., St. Louis, Mo. Stone let to Caden Stone Co., Evansville.

***High School:** \$150,000. Bowling Green, Ky. Architect, Clifford Shopbell & Co., Evansville. Let contract on heating to Redman Heating Co., Louisville, Ky.

***High School (Bosse High School)** \$750,000.00. Evansville. Architect, Joseph C. Llewellyn Co., 38 South Dearborn St., Chicago, Ill. Asso. Architect, Chas. Troutman, 409 American Bank Bldg., Evansville. Owner, Board of School Trustees, Abe Strouse, Prest., C. B. Enlow, Secy., Evansville. Masonry and carpentry contractors, Simmons and Dick Co., Bloomington, Ill. Excavating.

Sealed proposals will be received by the owner up to 2:00 p. m., December 11th for the following branches of work: Clocks, bells, fire alarm, telephones, hardware, accordin doors, conservatory, ash hoist, linoleum and lighting fixtures, est. cost, \$29,500.00.

***High School:** (16 rooms), Tell City, Ind. Archt., Clifford Shopbell Co., Evansville. Owner, Board of School Trustees, Tell City. Contractor, Harley and Caldwell, Tell City. Foundation in, will build superstructure in spring. Brk.

Store Building: 1 sty. & bas. Lincoln and Runnymede. Owner, George W. Brown (Drug Store). Start work soon. Brick.

FT. WAYNE.

Planing Mill: \$10,000. 2 sty. Leesburg Road. Owner, The Standard Lumber and Supply Co., H. E. Boughers, Mgr. Start work soon. Brick and concrete.

Store Building (rem.) Calhoun and Columbia Sts. Private plans. Owner, The Boston Store. Plans in progress. New store fronts and general alterations.

Residence: \$10,000. Architect (Plans only) R. C. Hunter & Bro., 501 Fifth Ave., New York City. Owner, Peoples Realty & Investment Co., Peoples Trust Bldg., Ft. Wayne. Plans completed. Start work soon.

***Commercial Building (Alteration and addition)** \$35,000. 3 sty. 60x60. Architect, A. M. Strauss, 705 Shoaff Building, Owner, Dr. M. I. Rosenthal, 336 West Berry St. Architect receiving bids. Brick, steel sash, copper set front.

Store Building: 2 sty. 150x120. Architect, Leighton Bowers, Utility Bldg. Owner, Mr. Sanders, % Architect. Plans in progress. Brick.

Residence: \$75,000. 2 sty. & bas. 100x36. Architect, Clarent Levy and Fortney, Bass Block. Owner, Mr. Latz, % Wolf and Desauer Co. Plans in progress. Mature late winter. Frame, vapor heat, tile and hardwood floors, shingle roof.

Stores (7) 1 sty. & bas. Harrison and Lewis Sts. Architect, Guy Mahurin, 500 Lincoln Life Bldg. Owner, Charles Meigs, 1012 Calhoun St. Plans in progress. Brick.

Stores (6) 1 sty. 150x75. South Calhoun St. Architect, Ray Aurentz, Bass

Building. Owner, Loos Grocery Co., 2122 Calhoun St. Plans in progress. Brick.

Factory (Fire Rebuild), \$10,000. Owner, The Economy Glove Co. Plans in progress. Mature about March 1st. Brick.

Parochial School: 2 sty. 40x80. Reed Street. Architect, William Nassenstein, 2702 John St. Owner, St. Hyacinths Polish Catholic Church. Plans in progress. Start work soon.

Residence (Rem. & Add.) Churubusco, Indiana. Architect, J. M. E. Riedel, Noll Bldg. Ft. Wayne. Owner, Otto Shealy, Churubusco, Ind. Plans in progress. 2 sty. 50x41. Frame, shingle roof, vapor heat, hardwood floors.

Residence & Garage: \$10,000. 2 sty. & bas., 42x26. Drury Lane. Owner, Wayne E. Bell, % Mahurin and Mahurin (Archts.) West Jefferson St. Taking bids. Stucco, furnace, creodipt shingle roof.

***Theater (Motion Picture)** \$50,000. Seating 700. Broadway and Heustis Sts. Private plans. Owner, Broadway Theater Co., J. P. Mollet, Gen. Mgr., 2017 Lafayette St. Plans in progress. Ready for bids about February 1st. Brick.

***Stores and Offices:** \$40,000. 2 sty. 30x150. Calhoun and Dawson Sts. Private plans. Owner, Charles Lambrakis, 442 Montgomery St. Plans in progress. Ready for bids soon. Brick.

Contracts Awarded.

***Residence:** \$25,000. 1 sty. & bas. 72x52. South Whitley, Indiana. Architect, A. M. Strauss, 705 Shoaff Bldg., Ft. Wayne. Owner, Robert F. Hicks, South Whitley, Ind. Owner will build by day labor and award separate contracts. Brk. veneer, tile baths, tile roof, vapor heat.

***Apartment (Rem. from residence),** Wabash, Ind. Archt., A. M. Strauss, 705 Shoaff Bldg., Ft. Wayne. Owner, Dr. M. F. Jordan, Wabash. General contract let to E. M. Paulis, Wabash, Ind.

***Residence:** \$6,500. Archt., Clarence Levy and F. G. Fortney, Bass Block. Owner, Mrs. Rose Richter, 1119 Huffman St. Carpentry let to Jos. Wagoner, masonry let to Wm. Brundige.

Factory: \$25,000. 1 sty., 75x150. Owner, Kunkle Valve Co., 825 Barr St. General contractor, Buesching and Hagerman Constr. Co., 402 E. Superior St. Brick. Foundation in.

(Continued on Page 11)

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INDIANAPOLIS

Residence (double), 2 sty., 33x38. Archt., Henry Schnorr, Noll Bldg. Owner, J. H. Orr, 125 West Butler St. Owner will build by day labor and award separate contracts. Brick veneer over frame.

Residence: \$6,500. Archt., Henry Schnorr, Noll Bldg. Owner, Ed. Schmidt, % Schmidt Hardware Co. General contract let to Heath Bros. Heating, plbg. and wiring, taking bids.

***Bank and Office Building:** \$1,250,000, 14 sty. and bas., 150x92, West Berry St. Archt., Thomas M. James Co., 3 Park St., Boston, Mass. Owner, First and Hamilton National Bank, Calhoun and Berry Sts., Ft. Wayne. General contractor, Max Irmischer and Sons, 118 W. Berry St., Ft. Wayne. Heating and plumbing let to A. Hatersley & Co., Ft. Wayne. General contractor taking bids on press brick, roofing and sheet metal work, orn. plaster, painting, skylights, metal ceilings, ventilators, plate, wire and prism glass. Pouring foundations.

***Hotel** (Keenan Hotel), \$1,000,000, 12 sty. and bas., 150x52. "Keenan Hotel," Washington and Harrison Sts. Architect, Charles Weatherhogg, 250 West Berry St. Owner, Keenan Hotel Co., James Keenan, Prest., % The Anthony, Ft. Wayne. General contractor, The Fleisher Constr. Co., 606 Builders Exchange Bldg., Minneapolis, Minn. Contractor taking bids on roofing and sheet metal work, Reinf. steel let to Concrete Steel Co., Chicago. Mill work by general contractor. Pouring foundations.

***Apartment Building** (2nd unit) \$100,000. 2 sty. & bas. "The Worthington

Apartments." Private plans. Owner, The Progressive Apartment Co. Owner builds. Excavating. Brick.

***Apartment:** \$35,000. Owner, Lucille Lancaster, 440 East Berry St. General contractor, Henry Kaiser, 1128 Spy Run Blvd. Excavating.

Residence & Garage: \$6,000. 4th & Wells. Architect, Henry Schnorr, Noll Bldg. Owner, A. Borkenstein. Owner builds. Taking bids on htg., plmg. and wiring. Excavating.

HUNTINGTON.

Ice Plant: \$40,000. Private plans. Owner, Huntington Ice Co., Louis Trixler, Prest. Contemplated. Probably mature about March 1st.

***Dormitory, Gymnasium and Heating Plant:** \$50,000. Private plans. Owner, Central College, C. W. H. Bange, Prest. Contemplated. Expect to mature spring 1923.

Laundry: \$10,000. Private plans. Owner, Union Laundry Co., Henry Wagoner, Mgr. Contemplated, mature spring. Brick.

***Hotel:** \$500,000. (100 rooms) 8 sty. 133x146. Private plans. Owner, J. F. Bippus, Prest. Huntington Light and Fuel Co., 841 No. Jefferson St., Huntington. Excavated. Maturity rather indefinite.

LAPORTE.

***High School Bldg.:** \$400,000, 2 sty. and bas., Laporte. Archt., Miller Ful-

lenwider and Dowling, 646 N. Michigan Ave., Chicago, Ill. Owner, Board of School Trustees, H. M. Cole, Pres.; Herbert Haverley, Secy.; Mrs. Mary Walker, Treas., all of Laporte. General contract let to Larson-Danielson Construction Co., Laporte, Ind. Heating and plumbing let to National Heating and Plumbing Co., South Bend, Ind. Electric wiring to Foutz Electric Co., Laporte. Start work at once. Brick, fireproof construction.

LOGANSPORT.

***School** (Franklin School) six units. \$250,000. Jr. high school, Industrial Bldg., Gymnasium and Auditorium and Heating Plant. Architect, Allen and Garriott, Masonic Temple Bldg., Logansport. and Lombard Bldg., Indianapolis. Owner, Board of School Trustees, William A. Wright, Prest., Dr. W. J. Roberts, Secy, Logansport. Plans nearing completion. Owner will advertise for bids about December 15th. Brick, stone trim, comp. roof, unit system of ventilation, radial brick stack; will contain domestic science and manual training depts., cafeteria, kitchens, stage, auditorium, gymnasium, class rooms.

***School** (Jefferson Grade School) \$50,000. Architect, Carl J. Horn, Citizens Loan and Trust Bldg. Owner, Board of School Trustees, William A. Wright, Prest., Dr. W. J. Roberts, Secy. Plans nearing completion. Owner will advertise for bids about December 15th.

(Continued on Page 13)

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TERRE HAUTE.

Residence & Garage: \$20,000. 2 sty. & bas. 40x30. Architect, Karl S. Putnam, 78 Main St., Northampton, Mass. Owner, John T. Gillum, 221 South 6th St., Terre Haute. Plans in progress. Brick.

Residence & 2-Car Garage: \$8,000. 2 sty. & bas. 45x44. Edgewood Grove. Architect, J. D. Palmer Co., McKeen Block. Owner, Abe B. Levin. Plans completed. Architect ready for bids. Stucco, furnace, asphalt shingle roof.

WARSAW.

Paving: \$182,530.46. Various Sts. Owner, City of Warsaw, R. O. Nusbaum, City Clerk, Warsaw. Owner receiving bids to close November 27th at 7:30 p. m. 32,733 square yards of pavement, concrete, asphalt, brick or wooden block.

Sewers (several) storm, sanitary and main sewers. Owner, City of Warsaw, R. O. Nusbaum, City Clerk. Receiving bids to close November 27th at 7:30 p. m. \$11,114.65, \$2,050.84 and \$21,293.08.

MISCELLANEOUS CITIES.

***Kokomo: Gymnasium,** \$15,000. Architect, The E. E. Dunlap Co., Harrison Bldg. Owner, Board of School Trustees, A. P. Armstrong, Prest. Bids rejected. Will revise plans and advertise for new bids later.

New Albany: Bank (rem.) \$20,000. Pearl and Main Sts. Owner, Second National Bank, Pearl and Main Sts. Work will consist of the installation of a new vault, safety deposit boxes, extension to present steam heating system, plumbing, electric wiring and fixtures, bank fixtures.

Contracts Awarded.

***Batesville: Memorial Building.** 2 sty. & bas. Architect, Karl P. Henkel, Connersville. Owner, Batesville Memorial, M. F. Bohland, Prest. Board of Trustees, Batesville Building nearing completion. Owner taking bids on seating; bids close December 2nd at 10:30 a. m., at Batesville.

Lawrenceburg: Furniture Factory. \$58,000. 3 sty. 200x80. Main St. Private plans. Owner, Johnson and Klare Furniture Co., Wm. Johnson, Prest., Lawrenceburg, Ind. Excavating. Stucco. and frame

***Whiting: Stores,** \$25,000. Owner The Seleger Store Bldg., Whiting. General contract let to Witter Bros., Hammond.

Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field.

Copy should reach us, at the latest, Wednesday of the week of publication.

SCHOOL HOUSE.

NOTICE TO CONTRACTORS.

Notice is hereby given that until the 15th day of December, at 2 o'clock p. m., the undersigned, William Cunningham, as trustee of Monroe School Township, will receive sealed bids for the construction and completion of a new one-story

Madison County, Indiana, and the Advisory Board of said Monroe Township, and basement brick grade school building, and also for the construction and installation of heating, ventilating, plumbing and water supply system thereof, and electric wiring therein, for the use of said school Township. All in accordance with the plans and specifications therefor, which are on file in the office of said Trustee, located in the 3-H Block on North Harrison Street in the City of Alexandria, Indiana, in said Township, County and State.

True copies of said plans and specifications may also be seen at the office of the Indiana State Board of Accounts at the State House, in the City of Indianapolis, Indiana, and at the office of E. F. Miller, the architect, in Room 545 in the Farmer's Trust Building, in the City of Anderson, Indiana. Bidders desiring duplicate copies of the plans and specifications may obtain same by depositing ten (\$10.00) dollars to cover return in good condition of the general construction documents, not later than the day of letting contract. The estimated cost of the entire work, including architect's fees is sixty-eight thousand (\$68,000.00) dollars.

All bids must be on forms prescribed by the State Board of Accounts, and same will be received at the office of said Trustee up to two o'clock in the afternoon on said date, at which time and place said bids will be publicly opened, and read and the letting of said contract will begin, subject, however, to all rights of said Trustee and said Advisory Board, as provided by law and as herein set forth.

Bids may be submitted for the general construction of said building and separate bids may be submitted for the (1) heating and ventilating, (2) plumbing and water supply, (3) electric wiring, or any one of same. The contract will be awarded in such manner as to the best interest of said School Township. Each bid must be accompanied by a certified check for not less than (4) per cent of the gross bid submitted, payable to said Trustee, who shall have the right to cash check of the successful bidder and the money so obtained by said Trustee shall be retained by him as liquidated damages in event said bidder fails, within ten (10) days after acceptance of this bid, to execute a contract in the form and with the provisions desired by said Trustee and approved by said Advisory Board covering the construction and completion of said work, and at the same time to deliver to said Trustee a good and sufficient bond in an amount and with security to be approved by said Trustee and said Advisory Board, conditioned as required by law.

The right is expressly reserved by said Trustee and said Advisory Board to reject any and all bids and to take reasonable time to investigate both the bids and the qualifications of the bidders.

Dated this 22d day of November, 1922.

Signed: WM. CUNNINGHAM,
Township Trustee.

MARCELUS M. WALKER.

ROY LADD,

Advisory Board of Monroe Township,
Madison County, Indiana.

Nov. 28. Dec. 2-9.

SCHOOL HOUSE.

NOTICE TO CONTRACTORS.

Notice is hereby given that sealed bids will be received by the Township Trustee and Advisory Board of Jackson Township, Decatur County, Indiana, at the office of Cliff N. Fulton, Lettes, Indiana, until 1:30 p. m., December 1, 1922, for the construction and completion of a two-story and basement school building in said Jackson Township, Decatur County, Indiana, in accordance with plans and specifications as prepared by The Elmer E. Dunlap Co., architects, copies of which are now on file in the office of the Trustee, in the office of the State Board of Accounts, State House, Indianapolis, also in the office of the architects, 1050 N. Delaware St., Indianapolis.

Separate bids will be received for furnishing all materials and necessary labor for the following branches of construction:

1. General Construction.
2. Electric Wiring and Bell System.
3. Plumbing and Sewering.
4. Heating and Ventilating.

All bids must be submitted on Form No. 96, adopted and approved by the State Board of Accounts. Bids to be delivered in sealed envelopes addressed to Cliff N. Fulton, Township Trustee, endorsed with title of work and name and address of bidder.

Each bidder will be required to file with his bid a certified check as follows: General Construction, \$1,500; Electric Wiring and Bell System, \$200; Plumbing and Sewering, \$400; Heating and Ventilating, \$750. Checks to be made payable to Cliff N. Fulton, Township Trustee, and will be held as a guarantee of good faith that the said bidder or bidders will enter into a contract with and execute a bond approved by the Trustee for the faithful performance thereof if his bid or bids are accepted. Checks of the unsuccessful bidders will be returned when contracts have been executed.

Each bidder, to whom contract is awarded, will be required to execute bond, approved by the Trustee for the full amount of the contract. Should he fail to enter into such contract and execute the bond required within ten days after award of contract, then he or they shall forfeit the amount of said certified check as liquidated damages for the use and benefit of the proper fund of Jackson Township, Decatur County, Indiana.

The Trustee reserves the right to reject any or all bids and, further, to require any bidder to show to the satisfaction of the Trustee and Advisory Board that he is competent to perform the work on which he bids.

Copies of plans and specifications may be obtained at the office of the Architects, 1050 N. Delaware St., Indianapolis, upon deposit of \$25 for each set; said deposits to be returned upon the safe return of the plans and specifications to the office of the Architects on or before the day and hour set for receiving bids.

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INDIANA

Official Paper

Indiana Society of Architects

Office of the Secretary
500 BOARD OF TRADE BUILDING
Indianapolis, Ind.

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"Your Individual Prestige Can Never Be Greater Than the Prestige of the Profession to Which You Belong"

ATTENTION OF ARCHITECTS CALLED TO LUMBER STANDARDIZATION EFFORT.

Recently, at a Standardization Conference of the lumber industry, called at Chicago for the purpose of effecting grade simplification, size standardization, and certification of quality and quantity, or inspection, of lumber throughout the country, a Central Committee on Lumber Standards was named.

The Central Committee's announced function is to act as a steering organization to draft and submit to the various branches of the lumber industry the best judgment of its members as to ways and means of accomplishing practical simplification and standardization in the lumber trade.

That the new body has entered upon its duties is attested by the receipt of this letter by the State architects' society:

November 15, 1922.

Indiana Society of Architects,
500 Board of Trade Bldg.,
Indianapolis, Ind.
Gentlemen:

One of the most important matters upon which the Central Committee is urged to take recommendation is that of allowing for a greater percentage of short lengths in the several grades of lumber. Yellow pine operators in the South urge that there be written into the grading rules of the various associations suitable provision for the use of short lengths in items of planing mill stocks. This they feel to be necessary in the interest of economy and conservation. The specific recommendation of this group of lumber operators is as follows:

In "A" and "B" finish 10 per cent. of 6 or 7 and 8 or 9 ft. lengths, the 6 or 7 ft. lengths not to exceed 5 per cent.

In "C" finish 15 per cent. of 6 or 7 and 8 or 9 ft. lengths, the 6 or 7 ft. lengths not to exceed 5 per cent.

In "B" flooring, ceiling, siding and partition, 10 per cent. of 6 or 7 and 8 or 9 ft. lengths, not to exceed 5 per cent of 6 or 7 ft. lengths.

In No. 1 common flooring, ceiling, siding and partition, 15 per cent. of 6 or 7 and 8 or 9 ft. lengths, not to exceed 5

per cent of 6 or 7 ft. lengths.

In No. 2 common flooring, ceiling, siding and partition, no restrictions on 8 or 9 ft. lengths and 15 per cent of 4 or 5 and 6 or 7 ft. lengths, not exceeding 5 per cent. of 4 or 5 ft. lengths.

Edge grain flooring to take same percentage of short lengths as flat grain, "C" edge grain to take same percentage short lengths as No. 1 common flat grain flooring.

We submit this subject for your study and advice, and ask that you give us your views in regard thereto at an early date.

Very truly yours,

CENTRAL COMMITTEE ON LUMBER STANDARDS.

R. G. MERRITT,

Executive Secretary.

The officers of the I. S. A. would like for all members to consider this matter and offer any suggestion they may see fit as it may seem to relate to building uses.

PLANNING FOR ANNUAL ARCHITECTURAL EXHIBIT AT INDIANAPOLIS IN JANUARY.

Preliminary plans pertaining to the Second Annual Architectural Exhibit of Indiana Architects are now under way. This affair, as last year, is to be held at the John Herron Art Institute, Indianapolis, and will be one of the feature events of the Institute during the month of January. The exhibit will be open to the public, and since it proved most attractive last season and drew hundreds of interested visitors from the ranks of the layman, every effort is to be made by the Indiana Society of Architects to increase the size and scope of the exhibit.

As contemplated now it is proposed, in addition to strictly architectural matters, to include also offerings from the allied arts associated with the practice of architecture, such as the various ornamental crafts, decorative features and treatments, etc.

The architectural exhibit proper is to be made up of plans, sketches, photographs, and other illustrative matter depicting the practice, service of, and end achieved by the architectural profession.

To maintain a semblance of unity and dignity, all exhibits are to be submitted along certain specified standards which will be announced soon. Another feature this year will be an effort to catalogue the various exhibits for the convenience of the visitors.

This is to be the architects' own affair, and it is the hope of those back of the exhibit that all Indiana architects will appreciate this opportunity to present to the public the tangible evidence of the scope of effort involved in the true practice of architecture. While the annual exhibit of the Indiana Society of Architects is to be held at Indianapolis, nevertheless, it is a State affair and attracts many visitors from all parts of Indiana, therefore, the architects from every section of the State should be represented.

FIRE ESCAPES.

(From Judge)

The ordinary step fire escapes are iron contrivances fastened on the outside of buildings. They are put up under contract, and may often be found without a guidebook to the building. They are blazes—semaphores—to show that human lives inside are in danger. A cautious person should never go inside a building supplied with these fire escapes. They are not put up by accident, as many suppose, but for definite reason, and are used for four purposes:

1. They relieve the monotony of a building by lending a touch of quaintness to the architectural scheme.

2. They may be used by a limited number of athletes, who are capable of worming themselves out on them, for reviewing parades and processions.

3. They are placed at such a great height from the side-walk that they are always a perplexing problem to burglars who desire to scale them.

4. They are a great technicality evader; for, with one painted on his factory, a factory owner can go home and sleep the sleep of the just, knowing that though a fire break out he cannot be held responsible.

Statistics show that more people are killed and crippled annually on step-escapes than are burned in fires.

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Official Paper

Associated Building Contractors of Indiana

FRED W. JUNGCLAUS, President
Indianapolis

G. C. PIERSON, Secretary
Indianapolis

ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller.....President

Office, 411 Sycamore St.

THE BUILDING SITUATION AND THE OUTLOOK.

Local building operations while not of sensational proportions, hold fairly steady with promise of continued normal activity for several weeks to come. The nature of the work under way and in prospect is inclined more to small projects such as residential construction, small stores, remodeling and alteration work.

The year fast drawing to a close has been an off one for large building projects and yet the volume of business will run well over \$2,000,000, surpassing that of 1921 in all probability. The major portion of Evansville's building operations this year was made up of residential building which has gone a long way to fill a decided felt want that has existed for several years. The city is still behind the housing demand but indications point to a brisk activity in house construction in 1923. Added to this will be some work of a larger character if projects now under contemplation are carried through. There are two large school buildings for Evansville that will lend to the activity of the late winter and early spring. These deal with the Benj. Bosse High School, \$500,000, the contract for which was recently awarded, and the Catholic High School, bids for the construction of which are to be asked soon. Some industrial construction work, not large, has been done this season and next year more factory building of a greater scope is expected.

HAVE NOT FORGOTTEN THE EARLY BIRD ADAGE.

An effort is to be made by the members of the local A. B. C.'s to get at the wage scale adjustment for 1923 soon after the first of the year in an endeavor to get this matter threshed out and arranged as early as possible so that there will be no costly time delays next spring when the actual building season opens.

In years gone by Evansville building interests, like those of other localities, have suffered severely because the wage scale matter was neglected till the last moment, only to strike a snag and cause

annoying delays when the building trades employers and representatives of the employees failed to reach an immediate understanding on the matter of wages for the approaching season. Some years building operations were held up completely until as late as June. Finally the A. B. C.'s adopted a new tact and for the past several years has succeeded, through arbitration methods, in arriving at timely decisions on the wage scales.

Now that the present season is well on its way toward completion the building trades employers are beginning to turn their thoughts toward next year's affairs with the idea of getting the preliminaries worked out in such a way that new building may be started off right at the opening of the season. Last spring the contractors were fairly successful in arranging matters and while only oral agreements were made with the Unions, nevertheless, both sides abided by their word and the Evansville building field experienced less labor trouble than for many years.

FT. WAYNE

BUILDERS' EXCHANGE
Member State A. B. C.

Max Irmscher.....President
Eph Dailey.....Secretary
825 Calhoun St.

Phone 2001

MORE THAN MERE FIGURES INVOLVED IN FT. WAYNE'S RE- MARKABLE BUILDING ACTIVITY.

Not only is it gratifying to Ft. Wayne citizens to know that their city has taken high rank amongst the leading cities of the State in the way of building construction operations, denoting a healthy and steady growth, but to also realize that this building expansion compares favorably in ratio with the general building activity throughout the country. Month after month as building construction totals are recorded one finds that the actual building being instituted in Ft. Wayne surpasses, in many instances, the volume of building being launched in cities of the country even larger than Ft. Wayne. Though such has been the case right along one need but to refer to the October records to bring out the point made. Ft. Wayne's building performance last month excelled those staged by such cities as New Orleans, Portland, Ore.; Omaha, Sacramento, Dallas, Erie, San Diego.

The attractive part about Ft. Wayne's

building operations this season is that it covers such a wide range of structures, including residences, mercantile, commercial, industrial and large office buildings, the whole collectively indicating a wholesome and promising expansion of the city both in population and business activity.

ANOTHER WAY TO REACH THE DESIRED END.

There is much said about city planning to make municipalities more liveable, more attractive, all of which is most commendable, yet on the other hand encouragement of individual effort at beautification of environment can do a great deal toward improving a city's appearance. Realtors in Ft. Wayne have instituted such procedure and just the past week in one subdivision, North Wildwood, prizes were awarded to residents who during the past summer had developed the most beautiful yards.

Frequently districts newly built up with residences carry a glaring new look which the incoming occupants neglect to sooth and smooth away by yard development which not only improves the appearance of the property, but in a few years amply repays, in shade and a feeling of restfulness, to say nothing of the enhanced beauty, for the effort expended. More attention to this detail of new building activity, as exemplified by the above Wildwood action, will do much toward city beautification and the inculcation of real home spirit.

CEMENT FIGURES LEND COLOR TO EVIDENCE OF ENORMOUS BUILDING VOLUME STATISTICS.

While figures on building in Ft. Wayne and other cities give a good idea of the tremendous volume of building construction that has been going on, the enormity of this volume is further substantiated by the movement in the cement market.

For instance, September was the fifth consecutive record-production month in the portland cement industry according to figures of the United States Geological Survey just released. Daily production was at the rate of 381,000 barrels, as compared with 376,000 in August, the best full month on record. Since April production has been at a monthly rate well over 1,000,000 barrels in excess of the best previous month on record. Shipments during September, although totaling less than August, because of transportation difficulties and car shortage, were at the rate of over 1,600,000 bags per day. (There are four bags in a barrel of 376 pounds.)

Remember

You can substantially reduce the cost of your compensation and liability insurance by insuring in the BUILDERS & MANUFACTURERS MUTUAL CASUALTY CO. (a strong company, organized and economically managed by contractors, and devoted exclusively to rendering a particular service and reducing the cost of insurance in building construction.)

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CHICAGO

INDIANAPOLIS

Building Contractor's Association
Member State A. B. C.

F. W. Junglaus.....President
C. C. Pierson.....Secretary
320 Peoples Bank Building

MEETINGS.

Executive Committee meets second Tuesday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

Mason Contractors Association meets every Thursday—1 P. M.

General Contractors meet second Friday each month.

PLANS ON FILE.

At 320 Peoples Bank Building, Indianapolis.

American Can Co.'s 4 sty., reinforced concrete factory addition. General contractor, Ferro Concrete Construction Co., Cincinnati, Ohio, desires such bids, to close December 1st.

WAIVER OF LIEN.

None filed with Marion County Recorder this week.

RESULT AT INDIANAPOLIS JUSTIFIES THE EFFORT EXPENDED.

The result to be obtained when satisfactory labor conditions are effected in the building construction field is decidedly apparent at Indianapolis, where there has been no trouble all season, and a volume of building business has been consummated far exceeding any other year's building construction operations.

While residential building has been really remarkable and has contributed largely to the local 1922 building figure total, it is the number of larger projects that have been carried through that bespeak the real value and worth of an absence of labor difficulties.

The down-town district, with its evidence on all sides of large new buildings well on the way to completion, is the best criterion of what favorable conditions mean to a city's building construction industry. Represented among those who have profited by the effort to hold building affairs in a propitious state through satisfactory labor conditions are architects, general and sub-contractors, material supply men and, last but not least, the public itself in that it has been assured of the steady continuation of the construction of its many and varied projects.

Behind this happy condition of affairs stands the Building Contractors' Association, who labored hard and long early in the season to effect just such a status. And yet, there are those, even though they have profited, some directly, others indirectly, who question the worth of association effort. In conclusion, it is only

fair to add that Labor is entitled to its share of credit for the outcome, for, having reached certain agreements it has lived up to those agreements to the letter as far as Indianapolis is concerned.

WEEKLY LUNCHEON MEETINGS TO BE HELD REGULARLY BY INDIANAPOLIS GENERAL CONTRACTORS.

The general contractors of Indianapolis, members of the Building Contractors' Association, have instituted regular weekly noon luncheons, to be held each Thursday at the Spink-Arms. The purpose of these gatherings will be to get the general building operators together to keep a closer vigil on the pulse of the industry and talk over business problems.

It is planned to have a banquet once a month at which time a speaker will be on the program.

STATE A. B. C.'S ANNUAL CONVENTION NOW BEING PLANNED.

Those at the headquarters of the Associated Building Contractors of Indiana are now directing their attention to the preliminary arrangements for the Fifth Annual Convention of the State Contractors' Association, scheduled for January 23, 24 and 25, at Michigan City.

Last year the convention was held at Evansville, and while it was the first time the event had been held outside of Indianapolis and many, beforehand, were dubious as to the advisability of the step their fears were groundless, the convention attracting a large crowd of builders and proving to be one of the best gatherings of Indiana contractors ever held. When it came to selecting the site for the 1923 convention Michigan City submitted an invitation to the contractors to meet there. Several other cities entered but after a spirited contest, during which the northern Indiana contractors got back of their sister city, and dropped the plum in her lap.

The Michigan City contractors, backed by the local Chamber of Commerce, city officials, and various civic organizations, are preparing a royal welcome for the Indiana contractors upon the occasion of their assembling in that city. Then, too, the contractors of Northern Indiana, South Bend, Ft. Wayne, the Calumet District and the other cities in that locality are showing much interest in the event and have assured Michigan City that the associations in that territory will be present with large delegations.

Several communications have been received at State A. B. C.'s headquarters from the Michigan City A. B. C.'s, and Walter Greenbaum, secretary of the local Chamber of Commerce, asking for details and advising that they are anxious to get their share of the convention matters under way.

The convention will be held at Michigan City's new half million dollar hostelry, the Spaulding Hotel, and in addition to the regular business sessions several attractive social features are being planned on the side.

Field Representative J. H. Owens, is planning to go to Michigan City the coming week to talk things over with the local committee on convention arrange-

ments, announcement of which will be made from time to time as they develop.

LOOKING OVER THE INDIANAPOLIS BUILDING FIELD

Among the budding building projects for Indianapolis is a \$300,000 factory for the American Can Co., concerning the construction of which word has just reached Indianapolis. Early information is to the effect that structure will be 4 sty. & bas. 65x340. The general contract was given to a Cincinnati concern without competition.

The steady flow of applications for permits for the construction of new residences continues to surge into the city building inspector's office, and in addition many preliminary inquiries are being made relative to contemplated work along home building lines.

BUILDING PERMITS.

(\$4,500 and Over)

Week of November 16 to November 23.

*Hotel: \$225,000. 8 sty. & bas. 2035 No. Meridian. Owner and builder, E. G. Spink Co, 914 Hume Mansur Bldg. Start work soon. Brick.

*Apartment: \$75,000 (24 apts.) 4001 E. Washington. Private plans. Owner, Blackstone Realty Co., 726 Indiana Pythian Bldg. General contractor, State Construction Co., 726 Indiana Pythian Bldg. Start work at once. Brick.

*Apartment and Stores: \$37,500. 42nd and Boulevard Place. Private plans. Owner, Dana G. Campbell, 2305 No. Talbott. General contractor, Walker-Brooks Co., 134 No. Delaware St. Foundation in. Brick.

Residence (Double) \$8,500. 5103 No. Pennsylvania. Owner, Henry Brick, 5111 No. Pennsylvania. General contract let to Ora C. Pierson, 5445 No. Delaware St.

Residence: \$7,500. 513-15 Linwood. Owner, Geo. E. Driesbach, 617 N. Delaware. General contract let to E. E. Barb, 612 N. Colorado Ave.

Residence: \$7,500. 3547 Carrollton. Owner, William C. Martin, 3551 Carrollton. General contract let to Harrell & Robb, 3136 MacPherson Ave.

Tenement Bldg. (4 Apts.), \$6,500, 119-21 S. Sherman Drive. Owner, F. M. Knight Realty Co., 3106 Central Ave. General contract let to I. J. Clark, % owner. Frame.

Residence (Double) \$6,500. 322-24 Layman Ave. Owner, C. F. Rogers, 5218 East Washington St. Owner builds.

Residence (Double), \$6,500, 5611-13 East Michigan. Owner, Thomas Staver, 370 Downey Ave. General contract let to Roy M. Stuart, 5802 Beechwood.

Residence (Double) \$6,500. 4769-71 Park Ave. Owner, Realty Finance and Building Co., 308 National City Bank Bldg. Owner builds.

Residence (Double) \$6,000. 4113-15 Park Ave. Owner, Henry Rodgers, 4649 College Ave. Owner builds.

Residence (Double) \$5,000. 4013-15 Boulevard Place. Owner, David Krieger, 2019 No. Illinois St. Owner builds.

Residences (4) \$4,500 each, 437-43-47 N. Bosart and 4715 E. Michigan. Owner, George M. Clegg, 1343 N. Senate Ave. Owner builds.

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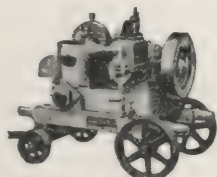
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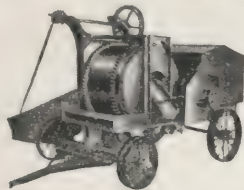
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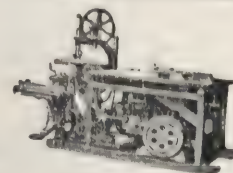


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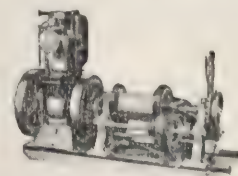
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CALUMET DISTRICT

CONSISTING OF

**HAMMOND INDIANA HARBOR
EAST CHICAGO WHITING****Building Trades Employers'
Association.****Member State A. B. C.'s****J. Wesley Reed ----- President
E. E. Cole ----- Secretary****108 Citizens National Bank Bldg.,
Hammond, Indiana****MEETING NIGHTS****General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.****TWO WAYS FROM THE CENTER.**

The action of twenty-two of the building trades unions of Chicago in reorganizing the Building Trades Council on the basis of the Landis Award, with the elimination of Fred Mader as president, is a distinct victory for the general cause of Unionism. This new move repudiating violence and restriction of output, two elements that have worked greatly to the disrepute of Unionism, will go a long way to restoring Labor to a plane that will inspire confidence among those who in their business affairs must deal with Labor.

If the reorganized building trades council of Chicago and the Building Trades Department, of the American Federation of Labor, the various craft presidents of which approved such action, stick to and maintain the policy thus endorsed they will give to the cause of Unionism an impetus that will win back public approval and prove of inestimable value. It means that the Unions concerned have gone on record as determined to live up to an agreement whether its immediate effect appears to be to their advantage or not. Such a policy is bound to win approval and support from business interests, for it means that the word of the Union is as good as a bond; it means that the organizations concerned can be depended upon, and that business can be transacted with them safely and profitably for all concerned.

The Landis Award has proved itself of value both to the builders of Chicago and to the Unions that have stuck to their agreement to abide by the decision of Judge Landis. Laying aside the wage scale matter around which public controversy has been most heated, the award has been of great value through its virtual elimination of jurisdictional strikes and the setting aside of arbitrary rules that reduced output and imposed needless expense and burdens upon building operations.

On the other hand, thirteen anti-Landis Award unions of Chicago have organized a separate building trades council of their own with Mr. Jansen of the carpenters as president. This new organization is to be known as the Associated Building Trades Council. President Jansen announces that his body is ready to make agreements immediately at \$9.00 per day, but if the

contractors don't sign up before May 1st, the demand will be advanced to \$1.25 per hour and that his men will not work with crafts who do not belong to his council.

Under such circumstances public sympathy and support should be clearly defined and should be thrown to the reorganized Building Trades Council, backed by the Landis Award indorsers, as against the outlaw unions if the latter resort to coercion and improper methods.

STOOD THEM ON THEIR HEADS.

Quite a few of the B. T. E. A., members are wiser but sadder men now. Some of us took in the Shrine Circus and found a great show in store, but, the mystic ones were past masters at separating us from our money on the midway; Ala Babi and his gang, Black Beard, Captain Kidd, etc., were mere kindergarteners as pilers up of money as compared with our Calumet Shriners.

CALUMET BUILDING PROGRESS.

Whitter Bros. were awarded the contract on the Seleger store and office building at Whiting, a two-story project, 31x103, at \$25,000. They also picked off two \$5,000 bungalows on Davis St. in Robertsedale.

Sixty-seven permits for \$193,475 in October showed well as against forty-seven permits for \$119,650 issued during the corresponding period last year. This, according to Building Inspector Henry Vis' monthly report.

The opening of bids on the Dickson Bros. Hotel has been postponed for several days. These postponements are occurring with too much regularity of late.

E. E. COLE.**MUNCIE****Associated Building Contractors
Member State A. B. C.****Chas. Rowe ----- President
J. A. Gallivan ----- Secretary****314 Main Street****SOMETHING TO CONSIDER IN
PLANNING FOR 1923 BUSINESS.**

Contractors and owners who, during the past year, have paid bonuses and premium wages to building craftsmen simply shot up construction costs without accomplishing any real good. On the other hand, increased construction costs where residences and apartments are concerned mean that the prospective buyers of homes, and renters, will have to pay more when they purchase or desire to rent.

It is true there was a shortage of certain building trades mechanics the past season, but tilting wages by means of bonuses and premiums did not produce more mechanics, instead it but added to the handicap under which the building construction industry labored, and created an evil that every fair minded con-

tractor should seek to remedy next season. National Contractors' Associations have gone on record as unalterably opposed to such tactics and some have taken a decided stand against "overtime."

These are matters that Indiana contractors can not afford to ignore in 1923 if they would encourage building activity next season and not upset local conditions here and there.

There is one thing above all others that stands out in this matter, steady employment at agreed wage standards is conducive to more satisfactory conditions for the owner-builder, the employee, and the contractor. Not only does it assure stability but makes for a greater degree of contentment among the workmen, and lends more assurance to the contractor in the pursuit of his business.

**A SOMEWHAT NEGLECTED
FEATURE.**

In line with association endeavor and expansion, what better way to accomplish that end than to work from the inside out. Our Indiana city contractors' associations and our State A. B. C.'s are composed of a personnel that ranks right at the top of those who go to comprise the building contracting industry of the State. That being the case what excuse is there for not showering our patronage upon members when the opportunity arises to do so? Why forget the sub-contractor who is working with us to deal with a man who is indifferent to our efforts, or scoffs at the purpose we seek to achieve?

If a sub-contractor is a member of one of our associations it means he will give the best in his line and he deserves first consideration in business affairs. Possibly we have neglected this feature of our association work but it is high time we should awaken to our obligation, each to the other, and not go outside our own ranks to satisfy our needs when they could be met by our fellow-association members.

If there is one thing more than any other that will strengthen our associations it is this "deal with members" feature. Not only will we be assured of competency and fairness, but the men who are working with us to advance association principles for the betterment of conditions will then realize that association really means something. It will make stronger members, cause the wavering ones to "buck up" and inspire others on to greater efforts. Nor is that all, the effect will extend beyond our ranks, convince men that we, as association members, can and do work together, a fact that will carry an appeal and attract unto our ranks good men.

At least this is a feature of our effort that should be stressed upon, nor can it be too strongly.

WE OFTEN WONDER.

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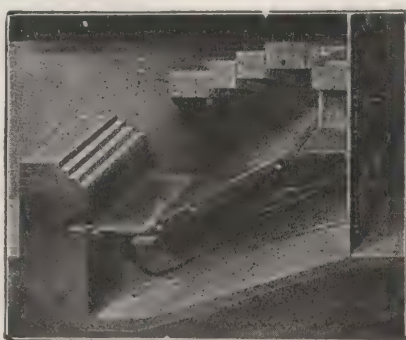
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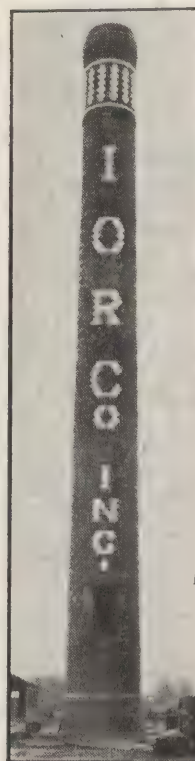
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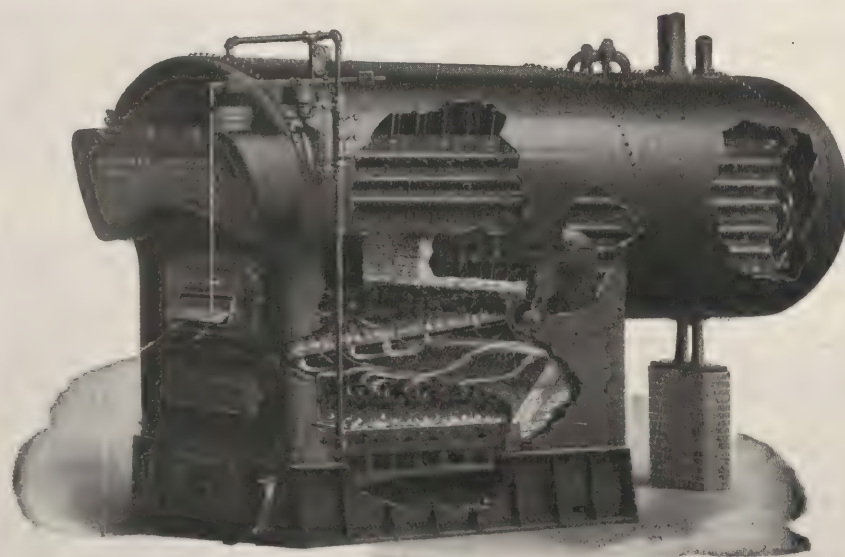
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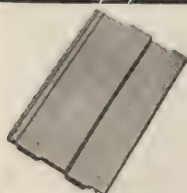


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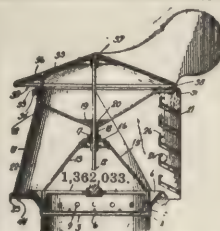
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FOR
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Vol. IV

INDIANAPOLIS, INDIANA, DECEMBER 2, 1922

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the Act of March 3, 1879.

LAWS PERTAINING TO APPRENTICESHIP IN INDIANA SHOW MATTER FULLY COVERED.

That the apprentice problem, to which Indiana contractors have devoted much attention and discussion, is not merely local but one of broad and far reaching scope is attested by an inquiry received at Indianapolis from a large national association engaged in the building industry. This query asked for a resume of all laws in Indiana applying to apprenticeship, it being stated that this particular association was engaged in assembling legal data from all the states pertaining to apprenticeship matters.

The recent inquiry was submitted to the firm of Fenton, Steers and Harryman, attorneys, Indianapolis, of which the senior member, Mr. Harry A. Fenton, is general counsel for the Associated Building Contractors of Indiana. After an extensive investigation of the Indiana laws pertaining to apprenticeship matters in all their ramifications a surprising amount of information was gleaned showing that ample provision has been made to legally handle the apprenticeship matter.

The resulting report, not only of interest to the building contracting fraternity, but to all employers, is herewith, through the courtesy of Mr. Fenton, set forth:

INDIANA
BURNS' ANNOTATED STATUTES,
REVISION OF 1914.

Master and Apprentice.

(1. R. S. 1852, p. 363. In Force
May 6, 1853.)

8381. INDENTURES—EFFECT OF MARRIAGE: 1. Children may be bound to serve as apprentices for any term not extending beyond the age of twenty-one in a male or eighteen in a female; but the marriage of a female shall annul her indentures.

8363. WHO MAY BIND CHILD. 2

Children may be bound by the father; or if there be no father, or if he be incompetent, then by the mother; if there be neither father nor mother, then by the guardian. If the child be over fourteen, his or her assent to the indentures, expressed thereon, and attested by his or her signature, shall be necessary to their validity. Any minor over the age of fourteen, having neither father, mother, nor guardian, may bind him or herself, with the consent of the judge of the court having probate jurisdiction of the proper county, to be testified by his indorsement on the indenture.

8383. WHEN TOWNSHIP TRUSTEE MAY BIND. 3. The overseers of the poor (township trustees) in their respective townships, may bind children under the age of sixteen, in the following cases:

First. The child of any pauper supported in whole or in part by the county.

Second. Any child whose parents abandon or neglect, or are unable to support it.

Third. Any child having neither father, mother nor guardian, and having no sufficient means of support and education.

Fourth. Any white child taken from any asylum in any other state, and brought into this state to be bound.

8384. ASSENT OF JUDGE. 4. The probate jurisdiction in the proper county shall be necessary to the validity of any indenture, made under the first and second specifications of the preceding section, and shall be indorsed thereon; and he may, in his discretion, cause notice to be given to the parents of application for such assent, and withhold the same until they can be heard.

8385. INDENTURES EXECUTED IN OTHER STATES. 5. Any indenture executed in pursuance of the fourth specification of the third section (Sec. 5336), which shall contain the covenants on the part of the master required of persons procuring children from such asylums, in the state where they are situate, shall be valid for the time named in the first section of this act (Sec. 5334.)

8386. INDENTURES. HOW MADE AND FILED. 6. All indentures shall be signed and acknowledged by the parties thereto, before some officer authorized to take acknowledgements of deeds, and shall be in two parts; one to be kept by the master or mistress, the other to be filed in the office of the clerk of the court having probate jurisdiction in the proper county, for the use of the apprentice.

8387. RECORDING INDENTURES. 7. Every such indenture shall, within

ninety days after execution, be recorded by the recorder of the county in which the master or mistress lives, in a book provided for that purpose, for which he shall receive from such master or mistress a fee of fifty cents.

8388. WHEN EVIDENCE. 8. Such indenture when so acknowledged, or such record, or a copy thereof, duly certified, may be read in evidence, without further proof.

8389. EDUCATION OF APPRENTICE. 9. There shall be essential to the validity of any indenture binding a white apprentice who has more than three years to serve, an agreement, on the part of the master or mistress, to cause the apprentice to be taught to read and write, and the rules of arithmetic, to the double rule of three, inclusive, if practicable; and in any suit for breach of such agreement, the measure of damages shall be, what the value of the instruction not given would have been to the apprentice, if given to be ascertained by the verdict of a jury.

8390. RIGHTS OF APPRENTICE IN AGREEMENTS. 10. All valuable agreements on the part of the master or mistress, contained in any indenture, shall be for the benefit of the apprentice; and if stipulated therein to be for the benefit of any other person, they shall stand for the benefit of such apprentice, and may be sued on and recovered in his name.

8391. ANNULING INDENTURE—JUDGMENT. 11. The court having probate jurisdiction in any county where such master or mistress resides shall have power, on complaint, in writing, of any party to such indenture, or of any person on behalf of such apprentice, to annul such indenture for misconduct on the part of such master or mistress or of such apprentice, such notice being given to the parties, as such court may order; and if such indenture shall be annulled for misconduct on the part of the master or mistress, such court shall render judgment in favor of such apprentice for such sum of money as may seem just; which judgment may be given in evidence in mitigation of damages in any other suit on such indenture, but shall not be a bar thereto.

8392. ABSCONDING APPRENTICE. 12. Such court may, on application of a master or mistress, cause an absconding apprentice to return to such master or mistress; or, if he shall refuse, may commit him to jail; and shall, in all cases occurring under this and the preceding section, make such order for the payment of costs as may be just.

(Continued on Page 7)

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8393. INDENTURE NOT ASSIGNABLE—MASTER'S DEATH OR REMOVAL. 13. The indenture shall not be assignable; and the death, or removal from the state, of the master or mistress, shall discharge the apprentice from all further obligations; but, in case of removal, such discharge shall be optional with the apprentice.

8394. LIMITATION OF ACTION. 14. No action shall be commenced on any indenture after two years from the expiration of the term of service.

8395. HOURS FOR LABOR. 11. The master shall not compel any apprentice to work more than ten hours a day, unless he pays him an additional compensation for the same.

Master and Apprentice.

(1875, p. 136. In force August 24, 1875.)

8396. MANUAL-LABOR SCHOOLS MAY BIND. 1. Any manual-labor school organized and incorporated under any general or special law of this state is hereby authorized and empowered to accept and execute indentures of apprenticeship, according to the provision of the statute in such case made and provided, and to have the same rights and assume the same liabilities thereunder as in case of natural persons.

8397. EXECUTION OF INDENTURES. 2. Such indenture shall be executed for and in the name of such corporation by the trustees thereof, or by some officer or person thereunto authorized by such trustees; and such trustees shall be personally liable, during the existence of such indentures; or until a legal transfer thereof shall be made, as hereinafter provided, for the performance of all covenants and agreements therein stipulated to be performed by such corporation.

8397. TRANSFER OF INDENTURES. 3. It shall be lawful for such corporation, by and with the consent of such apprentice and parents, if living in this state, and upon order of the judge of the circuit court for good cause shown, to transfer any indenture, taken pursuant to this act, to any person of lawful age, and capable of contracting; Provided, That such trustee shall be made by an agreement in writing executed by the trustees or by some officer or person authorized by them, and also by the transferee, be approved by the judge of the circuit court, and contain an

agreement on the part of such transferee, to assume, and be bound by all the covenants and obligations in such indenture stipulated to be performed by such corporation; which said agreement shall be executed, acknowledged and recorded in the same way and manner as is by law provided for the indentures themselves.

8399. RIGHTS OF TRANSFEE. 4. Upon the execution of such agreement in manner and form as aforesaid, the transferee of such indenture shall at once be invested with all the rights and powers, and become subject to all the duties and obligations created by the said indenture, the same, to all intents and purposes, as though such transferee had been the original party to such indenture instead of such corporation.

Orphans' Home.

(Acts 1893, p. 307. In force May 18, 1893.)

"3641. CHILDREN ADMITTED. 1. That in any county in this state where there are established, or where there may be hereafter established, orphans' homes or homes for destitute children, or any society for saving destitute children, incorporated under the laws of this state, whether the same be established and supported by private charity or taxes, the trustees or managers of such institutions may take under their guardianship all children under sixteen years of age, who may be committed to their care, and management."

"3642. GUARDIANSHIP AND ADOPTION. 2. The trustees and managers of such institution may have the guardianship of such children during their minority, and may be by its president, secretary, superintendent or other officer duly appointed by said trustee, indenture or place by any written agreement children so received in accordance with section 1 of this act, in suitable homes, having a scrupulous regard to the good moral character of the person with whom the children are placed and may also appear in any circuit court by answer duly filed, and consent to the adoption of such child or children, as fully and completely as the parents of such child could do were they present and capable of consent thereto."

Board of Children's Guardians.

(Acts 1901, p. 369. In force March 11, 1901.)

"3657. BOARDS CREATED. APPOINTMENT, TERMS. 1. That in

each county of this state there may be created a board composed of six persons, three of whom shall be women, and every member of which shall be a parent, which board shall be a body politic and corporate, known as the board of children's guardians of ----- county, and in such name may sue and be sued. The members of such board shall be appointed by the circuit court of such county, and shall serve without compensation. Two members of such board shall serve one year, when their successors shall be appointed, who shall serve three years. Two members shall serve three years, when their successors shall be appointed, who shall serve three years. And annually thereafter there shall be appointed two members of such board, who shall serve three years: Provided, That, in case of a vacancy occurring in said board from any cause, the said circuit court shall fill such vacancy by appointment for the unexpired time."

"3658. POWERS AND DUTIES. 2. Said board shall have the care and supervision of neglected and dependent children under fifteen years of age domiciled and resident in the county for which it is created and shall have the power to take under its control, in the manner hereafter specified, any children abandoned, neglected or cruelly treated by their parents, children begging on the streets, children of habitually drunken or vicious and unfit parents, children kept in vicious or immoral association, children known by their language and life to be vicious or incorrigible, juvenile delinquents and truants. They shall have the power, by leave of the circuit court of the county, to commit such children to orphan asylums, or under order of the court, said children may be indentured as apprentices or be adopted without the consent of the parents of said child by the consent of said board filed in the circuit court; or such children may be in any manner disposed of by said board as the circuit court upon written petition, may direct: Provided, That in committing children to the Reform School for Boys or to the Industrial School for Girls, the court shall be governed by the law regulating commitments to those institutions in every particular, and that law shall not be deemed to be repealed in any part by this act."

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County Orphan Asylums.
(Acts 1897. p. 44. In force February 23, 1897.)

"3646. ASYLUMS FOR ORPHANS IN COUNTIES. 1. That the board of county commissioners in each county in this state shall have the power to establish and maintain asylums for the support, care, education, control and protection of orphan, dependent, neglected or abandoned children, or to enter into contracts with associations, of the class herein described, for the purpose of securing such benefits to such children

as are in this act provided and contemplated; and that any county having established such an asylum prior to the taking effect of this act, and all associations of the class hereinafter described as eligible to the benefits of this act, and organized for the purpose of caring for such children, prior to its taking effect, shall be hereafter subject to the provisions of this act, and are hereby invested with the powers and duties herein set forth; Provided, That the several boards of county commissioners of contiguous counties may, by mutual

agreement, unite in the establishment and maintenance of such as asylum, or in the maintenance of such an association as is herein contemplated, each county bearing its proportionate share of expense."

"3650. RELEASE BY PARENTS—APPRENTICESHIP. 5. That such association shall have the power and the right to require of the parents or guardians of every child committed to its care a release of all rights they or either of them may have in or to such child; and if such parent or guardian refuse to

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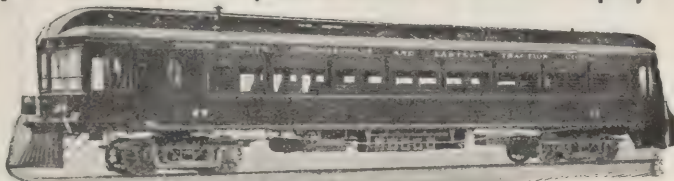
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agree to such release, or if, because of abandonment, no such parent or guardian can be found, such association may file a petition in the circuit court, showing the facts and reasons why the care, custody and control of such child should be committed to it. Upon the filing of such petition, the court shall direct notice of such filing of said petition given to such parent or guardian or both, by personal service, if the whereabouts of such parent or guardian can not be ascertained, such notice shall be given by publication in a newspaper of general circulation in the county, the same to be in the manner and form thought right and proper by such court. After such notice shall have been given as ordered, the court shall hear said matter and make such order as the best interests of the child demand. The order of any such court, committing a child to such an association, or the release of a child by its guardian, parents, or surviving parent, to such association, shall make such association the legal guardian of such child, with all the rights and powers vested in parent. Such association may indenture such child to any proper person until it has reached the age of eighteen (18) years, and may consent to the adoption of such child by any suitable and proper person which any court having jurisdiction in such matters shall approve. Such association shall also have the power to cancel articles of indenture whenever in its opinion an indentured child is abused or is not receiving proper care and treatment, and may again take possession of such child.

News of the Week

The asterisk (*) prefix to an item indicates additional information to report published in previous issue.

INDIANAPOLIS.

Y. W. C. A. Building: \$150,000. 4 sty. & bas. 735 No. Pennsylvania St. Archt. Rubush and Hunter, American Central Life Bldg. Owner, Young Women's Christian Association, Pearl B. Forsythe, Secy., 328 No. Pennsylvania St. Plans in progress. Brick.

Factory Building: 1 sty. 60x219. Shelbyville, Indiana. Architect, Rubush and Hunter, Indpls. Owner, Kennedy Paper Bag Co., Shelbyville. Plans in progress. Owner ready for bids shortly. Frame, steel sash, skylights, monitor roof.

***Electric Railway:** \$4,000,000.00. Extending from Rushville, Indiana to Cincinnati, Ohio. Engineer, A. H. Moore, 307 Indiana Trust Bldg., Indianapolis. Owner, Indianapolis and Cincinnati Traction Co., Chas. G. Henry, Prest., Traction Bldg., Indianapolis. Plans in progress. Expect to ask for bids about January 15th. 64 miles of single track, steel truss bridges, reinf. concrete culverts.

***Warehouse:** 4 sty. & bas. 100x190. Architect, Rubush and Hunter, American Central Life Bldg. Owner, Allen A. Wilkinson Lumber Co., 931 E. Michigan St. Plans about completed. Ready for bids shortly. Brick, mill construction, wood floors, built-up-roof, steam heat, 3 freight elevators.

***Store and Office Building:** 21 sty. & bas. Dayton, Ohio. Owner, U. B. Publishing Co., Dr. W. R. Funk, Dayton, O. Taking bids to close December 14th at Dayton. Plans are on file at the Contractors Association, 326 Peoples Bank Bldg., Indianapolis. The Bedford Stone and Construction Co., Fletcher Trust Bldg., are figuring general contract.

Office Building and Stores: Meridian and Monument Circle. "Old Laurie Building." Owner, Wabash Realty Company, Crawford Fairbanks, Prest., Terre Haute, Indiana. All leases expire February 1st. Expect to erect new building early spring. Brick, fireproof construction. Definite data later.

***Temple (Hebrew)** \$40,000. 1 sty. & bas. 1027 South Meridian St. Architect, Everett H. Crabb, 1112 State Life Bldg. Owner, Congregation of Kneseth Israel, 547 Eddy St., Rev. Philip Adelman, Rabbi, 943 Maple St. Plans completed. Architect will be ready to receive bids after Monday, December 4th. Brick.

Public Garage: (25 car capacity) 64th and College. Private plans. Owner, Paul H. Talbott, 64th and College. Plans in progress. Expect to start work soon. Brick. 300 gallon gasoline and oil tanks.

Tank House (Extension) 1 sty. 36x40. West Maryland. Architect, Frank T. Lewis, Company's Architect, at plant. Owner, Kingan and Co., West Maryland St. Owner builds and buys material. Taking bids. Archt. is also working on plans for the remodeling of the old beef killing building; work will consist of general interior alterations.

***Dormitory (boys)** \$50,000. 3 sty. & bas. 40x128. University Heights. Indianapolis. Private plans. Owner, Indiana Central College, J. J. Good, Prest., University Heights, Indianapolis. Plans in progress. Ready for bids shortly. Brick, steam heat, stone trim, slate roof.

Church: \$50,000. Logan, West Virginia. Architect, A. A. Honeywell, 413 Penway Bldg., Indianapolis. Owner, Christian congregation, Rev. A. J. Coffey, Pastor, 431 Main St, Logan, West Virginia. Preliminary plans in progress. Brick, stone trim.

***Church (rem. and addition)** \$40,000. 2 sty. & bas. Seymour, Indiana. Architect, A. A. Honeywell, 413 Penway Bldg., Indianapolis. Owner, The First Baptist Church, Rev. S. G. Huntington, Pastor, 3241 No. Capitol Ave., Indianapolis. Preliminary plans in progress. Ready for bids about February 1st. Brick.

***Condensor and Still Building:** 1 sty. 85x102. Architect, Batchelder and Scales, Board of Trade Bldg. Owner, Republic Creosoting Co., Merchants Bank Bldg. Plans about completed. Ready for bids in 10 days. Brick, reinforced concrete, cement floors, fire doors, metal sash and operators, composition roof.

***Residence & Garage:** (Italian Type) 2 sty. & bas. 4178 Washington Blvd. Architect, George and Mac Lucas, Lemcke Annex, Owner, Paul A. Bessire, Prest. Bessire and Co., 101-19 East South St. Plans completed. Archt. Ready for bids in a few days. Buff brick. Bedford stone trim, Spanish green tile roof, 3 tile baths, tile vestibules, vapor heating system, metal weatherstrips, marble floor in hall.

Residence: \$6,500. 48th and Park. Architect, John P. Parrish, 217 Castle Hall Bldg. Owner, Edward Saxton, % Security Trust Co. Plans in progress. Ready for bids shortly. Stucco, asphalt shingle roof, furnace.

Residence: Shelbyville, Indiana. Architect, John P. Parrish, 217 Castle Hall Bldg., Indianapolis. Owner, C. C. Shipp, Castle Hall Bldg. Owner builds by day labor. Frame (5 rooms).

Contracts Awarded.

***Apartment Building:** \$600,000. 3 sty. & bas. (48 5-room apartments) 3847-49 No. Meridian St. Architect, Donald Graham, 1128 Hume Mansur Bldg. Owner, Woodsmall-Meridian Corp., H. H. Woodsmall, Prest., Fidelity Trust Bldg. General contract awarded on percentage basis to Leslie Colvin, 4140 Ruckle St. Brick, fireproof construction. Expect to start work soon.

***Salesroom, Garage and Service Station:** \$250,000. 3 sty. & bas. 100x200. 13th and Meridian Sts. Architect, J. Edwin Kopf and Woolling, 402 Indiana Pythian Bldg., Indianapolis. Owner, Meridian and Thirteenth Realty Co., Crawford Fairbanks, Prest., Terre Haute, Ind., K. K. Woolling, 401 Indiana Pyth-

(Continued on Page 11)



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INDIANAPOLIS

ian Bldg., Indianapolis. John Collett, 25 East 33d St., Indianapolis. Lessee of entire bldg., The Buick Motor Co., Ills. & Vermont Sts., Indianapolis. General contract awarded to Conder and Culbertson, 623 No. Noble St., Indianapolis. Wrecking old bldg. on site, start construction soon. Brick, Foster unit slab system of construction, Bedford stone trim, elevators, glazed tile, black walnut trim, steam heat, mezzanine floor, saw tooth monitor roof, vaulted ceilings, copper set fronts marquise. C. J. Wacker, Peoples Bank Bldg., is the contractor for excavating, plain and reinforced concrete work.

ANDERSON.

***Parochial School:** \$75,000. 2 sty. & bas. (12 class rooms, gymnasium and auditorium) 11th St. near Pearl. Architect, E. R. Watkins, 335 Farmers Trust Bldg. Owner, St. Marys Catholic Congregation, Rev. Thomas R. Travers, Pastor, Anderson. Plans nearing completion. Ready for bids soon. Press brick, stone trim, hollow tile, marble work, metal skylights, steel sash, composition roof, steam heat, iron stairs, iron trusses.

Contracts Awarded.

***Newspaper Building:** \$75,000. 2 sty. & bas. 36x144. Private plans. Owner, The Bulletin Printing Co., 121 10th St., Anderson. General contractor, Eshelman and Sons, 7 Griffith Block. Htg. & plmg. let to V. H. Osborne; electric work to Powell & Dorste, all of Anderson. Working on foundation.

Floors (concrete and mastic floors) in G. A. R. room at Court House. Owner, Board of County Commissioners, Henry P. Hardle, Auditor. Receiving bids to close December 15th at 10:00 a. m.; estimated cost, \$700.00.

BLOOMINGTON.

***Residence & Garage:** \$40,000. 2 sty. & bas. 78x48. and garage, 24x32. "Indiana University," Bloomington, Indiana. Architect, Robert Frost Daggett, 957 Lemcke Annex, Indianapolis. Owner, Board of Trustees, Indiana University Dr. W. L. Bryan, Prest., J. W. Cravens,

Secy., Bloomington. Owner receiving bids. Brick walls

Residence: \$35,000. 2 sty. & bas. 35x37. E. Kirkwood Ave., Bloomington. Architect, Lowe and Bollenbacher, 108 So. La Salle St., Chicago, Ills. Owner, George F. Bollenbacher (Stone Dealer) Bloomington. Owner receiving bids. Brick and stone.

Residence (Rem. & Add.) 645 No. College Ave., Bloomington. Architect, Lowe and Bollenbacher, 108 So. La Salle St., Chicago, Ills. Owner, Mrs. George W. Bollenbacher, 645 No. College Ave., Bloomington. Owner receiving bids. Brick addition and general alterations.

EVANSVILLE.

Duplex Apartment: \$16,000. 2 sty. & bas. Blackford and Scholz Ave. Architect, Alfred E. Neucks, 515-16 Peoples Bank Bldg. Owner, Frank Freund and H. Heimroth, Evansville. Plans in progress. Brick veneer.

***Residence:** 2 sty. \$12,000. Scholz and Madison. Architect, Alfred E. Neucks, 515-16 Peoples Bank Bldg. Owner, Phil Raphael. Architect ready for bids. Brick veneer over hollow tile.

Sewer: (1,000 ft. 42 in. pipe, 660 ft. of 36 in. pipe, 300 ft. of 30 in. pipe, 1,000 ft. of 18 & 24 in. pipe) Washington Ave. from Ky. to Lodge Aves. Owner, Board of Public Works, City Hall. Plans completed and approved. Owner will advertise for bids shortly. Reinforced concrete and vitrified pipe.

***Sanitarium:** \$15,000. 2 sty. & bas. Architect, Anderson and Stingle, 108 Upper 4th St. Owner, Dr. S. R. Laubscher, Fulton Ave. Road, Evansville. Plans in progress. Owner excavating. Expect to take bids soon on building.

Apartment (Rem. from store rooms) 6 apartments. Indiana & Main Sts. Archt. Anderson and Stingle, 108 Upper 4th St. Owner, Chas. Hessman, Indiana and Main Sts. Plans in progress. Work will consist of steam heating system, tiled baths, In-A-Door beds, refrigerators.

Duplex: (rem. from residence) 919 So. 1st St. Architect, Frank J. Schlotter, 113 No. 4th St. Owner, Jacob Baker, Prest. Baker and Sons Overall Co. Archt. ready for bids.

Filling Station: 1 sty. Lincoln and Evans Ave. Private plans. Owner, The Standard Oil Co. Start work soon.

Contracts Awarded.

***Residence:** \$12,000. 1609 Kentucky Ave. Architect, Alfred E. Neucks, 515-16 Peoples Bank Bldg. Owner, Gus E. Bauman. General contract let to C. Kanzler and Son, Furniture Bldg., Heating and plumbing let to H. A. Grant Plumbing Co.

***Residence:** \$7,500. Blackford Ave. and Ky. Ave. Architect, Alfred E. Neucks, 515-16 Peoples Bank Bldg. Owner, R. H. Brookman. General contract let to John Wilkins.

FT. WAYNE.

Amusement Park: Architect and Builders, American Park Builders Co., 201 E. Ontario St., Chicago, Ill. Owner, Name withheld for present. Plans in progress. The following buildings are contemplated, Boat and bath houses, toilet stations, band stand, central offices, parking sheds, ticket booths, docks, sidewalks, water supply system, ornamental lighting, sewage system.

Shipping Room: (addition) \$10,000. 1 sty. Archt. and contractors, The Austin Co., 208 So. LaSalle St., Chicago, Ill. Owner, Ft. Wayne Tank and Pump Co. Start work soon. Brick, steel sash, tar and gravel roof, steel roof trusses.

Factory: 1 & 2 sty. & bas. Owner, The Chalfant Can Co., Frank Chalfant, Prest., A. D. Zuber, V. P., W. S. Cutshall, Treas., Prudential Bldg. & Loan Bldg., 727 Clinton St. Owners financing. Expect to close an option on site within the next 10 days. Will start building about March 1st. Brick.

Contracts Awarded.

***School Building** (McCullough Grade School) \$175,000. Architect, Guy Mahurin, 501 Lincoln Life Bldg. Owner, Board of School Trustees, Byron H. Somers, Prest., Ely E. Perry, Secy. General contract awarded to Indiana Engineering and Construction Co., 201-03 Central Building, Ft. Wayne.

GARY.

Residences (15) \$75,000 total. Private plans. Owner, The National Tube Co. Frick Bldg., Pittsburgh, Pa. Major



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WRITE FOR QUOTATIONS

Hogg in charge, City Hall, Gary, Indiana. Receiving bids. Frame, stucco and brick, various designs.

***Settlement House:** \$80,000. 2 sty. 60x120. 15th and Van Buren Sts. Archt., Worthman and Steinbach, 155 No. Clark St., Chicago, Ill. Owner, National Catholic Welfare Council, Rev. John B. De Ville, Supt., 664 Broadway, Gary. Ready for bids on separate contracts. Brick.

Bank & Office Building: \$450,000. Broadway & 5th. Ave. Owner, Gary State Bank, H. G. Hay, Prest., Gary. Contemplated. Mature next year. Architect not selected.

Stadium (Seating 55,000) Oval shape, 250x570. Owner, Board of School Trustees, William A. Wirt, Supt., 408 Broadway. Architect, A. P. Melton, 708 Washington St. Plans in progress. Reinforced concrete.

Stores and Apartments: \$10,000. 2 sty. 25x50. 650 Wash. St. Private plans. Owner, Arthur Savage, 640 Washington St. Receiving bids on sub contracts.

Theater (Seating 2,000) Dance Hall, 7 store rooms, 6 office suites, \$700,000. 8th and Broadway. Owner, A. U. Young, 738 Broadway, Gary. Architect, not selected (several Chicago architects are submitting sketches) 2 sty. & bas. about 125x250. Project will mature about March 1st. Brick, reinf. concrete and structural steel.

Residences (2) \$7,000 each. 556-62 Johnson St. Private plans. Owner, Roy Farry (contractor) 673 Broadway. Owner will build and award separate contracts.

Hotel (60 rooms) Duplex Apartment Buildings (10) Bungalows (30): Architect, (Plans Only) I. M. Cohen, 703 Broadway. Owner, Mid City Realty Co., 2201 Broadway, Gary. Plans in progress. Mature spring.

Warehouse (Furniture) \$25,000. 2 sty. 50x60. Architect, L. E. Hiner, 515 Broadway. Owner, name withheld for present. Plans in progress. Brick.

Apartment Building: \$50,000. 3 sty. Architect, L. E. Hiner, 515 Broadway. Owner, William H. Welter & Co., 515 Broadway. Start work about March 1st. Owner will build by day labor and award separate contracts. Brick, ordinary construction.

***Apartment Building** (12 apts.) \$45,000. 3 sty. 47x75. Fillmore & 5th. Archt. L. Harry Warriner, 674 Broadway. Owner, John A. Greenberg, 522 Broadway. Owner builds and awards separate contracts. Start work shortly. Brick.

***Residence:** \$20,000. 2 sty. & bas. Lincoln St. Owner and builder, Gary Land Co., 487 Broadway. Owner taking bids on sub contracts. Start work soon. Brick. Also taking bids on material for 10 residences to cost \$7,000 each.

***Store and Apartment:** \$10,000. 2 sty. 25x50. Owner, Arthur Savage, 640 Washington St. Owner taking bids. Brick.

Contracts Awarded.

***Stores and Apartments:** \$80,000. 3 sty. 75x126. 5th Ave. and Buchanan St. Architect, H. W. Erickson, 34 West 5th. Owner, J. J. Umpleby and R. O. Johnson, 532 Broadway. General contractor, Anderson Bros., 17 East 5th. Ave., Gary. Excavated.

***Department Store:** \$70,000. 3 sty. 50x152. 748 Broadway. Private plans. Owner, Marcello Gerometta, 515 Broadway, Gary. Lessee of bldg. E. C. Mines Co.,

158 State St., Hammond, Ind. Foundation in (2 years ago) will resume work on superstructure at once. Owner will build by day labor. Brick.

Office Building and Stores: (8 offices, 2 stores) 2 sty. 50x120. \$50,000. Broadway. Owner and builder, Verplank and Coombs, 17 East 5th St. Excavating, Brick, ordinary construction.

Residences (10) \$35,000 total. 5 on East 41st. St. and 5 on Mass. St. Private plans. Owner, James E. Belch, 625 West 43d. St. Owner builds. Start work soon. Frame.

HAMMOND.

***Hotel** (120 rooms) **Stores** (12) **Offices** (26) and **Commercial Garage:** \$400,000. State and Hohman Sts., Hammond. Architect, C. Howard Crane, 127 No. Dearborn St., Chicago, Ill. Owner, Berceles Bros., Hammond. Bids ran a little high; will try to revise figures and award a contract within the next few days. 4 sty. & bas. 210x135.

Stores (2) & **Apartments** (2): \$20,000. 828 Indianapolis Ave. Private plans. Owner, Seliger Electric Motor Co., 817 Indianapolis Ave. Plans in progress. 2 sty. & bas. 42x51.

LAPORTE.

***Country Residence:** \$15,000. 2 sty. & bas. 41x50. near Laporte. Owner, William Pelz, Laporte. Architect, George W. Allen, Laporte. Plans in progress. Mature about March 1st. Frame, 24 in. shingle on side walls, creodipt shingle roof, septic tank, private water system. furnace.

***High School:** \$400,000. Architect, Miller, Fullenwider and Dowling, 646 No. Mich. Ave., Chicago, Ill. Owner, Board of School Trustees, Laporte. General contractor, Larson-Danielson Constr. Co. Laporte. Bids were rejected on heating, plumbing and wiring. Will readvertise soon. Excavating.

MICHIGAN CITY.

Storm and Sanitary Sewer: \$567,000. Through the South Side. Consulting Engineer, G. W. Clausen, 139 No. Clark St., Chicago, Ill. City Engineer, D. H. Miller, City Hall, Michigan City. Owner, City Commission, Alexander Spychalski, City Clerk, Michigan City. plans completed. Will advertise for bids in 10 days. 3480 ft. 72 in. sewer; 940 ft. 66 in. sewer; 1560 ft. 48 in. sewer; 9360 ft. 42 in. sewer; 2380 ft. 36 in. sewer; 2100 ft. 30 in. sewer; 2990 ft. 24 in. sewer; 2378 ft. 12 in. sewer; 77 brick manholes cast iron covers and frames, 67 brick catch basins; bids will be taken for Segement block(vitrified clay tile, monolithic concrete, reinf. concrete or brick.

Contracts Awarded.

***Masonic Temple:** \$100,000. Archt. Nicol, Scholer & Hoffman, Lafayette. Owner, Masonic Temple Assn., Clyde Taylor, Secy., Michigan City. General contractor, Henry Koehn, Michigan City. Foundation in.

MUNCIE.

Sanitary Sewer: \$18,810.00 Owner, Board of Trustees, Indiana State Normal School, Helen C. Benbridge, Secy. Muncie. Receiving bids to close December 19th at 9:00 a. m.

***Masonic Temple:** \$700,000. 6 sty. & bas. 117x198. Archt. Cuno Kibele, 335

Johnson Bldg. Owner, Masonic Temple Association. Foundation in. Architect receiving bids on structural steel and erection. Other subs will be taken up soon.

RICHMOND.

Residence: \$10,000. 2 sty. & bas. 28x40. Boston, Indiana. Architect, Geo. W. Mansfield, Colonial Bldg., Richmond. Owner, Dr. Massic, Boston, Ind. Plans in progress. Stucco and hollow tile, asphalt shingle roof, hot water heat.

Residence: \$10,000. 2 sty. & bas. Architect, C. E. Werking and Son, Palladium Bldg. Owner, C. C. Schaefer, 1233 Main St. Plans in progress. Brick veneer, slate or tile roof, hot water heat, tile and hardwood floors.

Steam Heating System: \$7,000. School at Whitewater, Indiana. Architect, C. E. Werking and Son, Palladium Bldg., Richmond. Plans in progress.

Residence (Colonial) \$13,000. Cambridge City, Indiana. Architect, C. E. Werking and Son, Palladium Bldg., Richmond. Owner, John Peelle, Cambridge City. Owner builds. Excavating. Stucco and hollow tile.

RUSHVILLE

Store Rooms & 2 Car Garage: \$20,000. 327 No. Main St. Private plans. Owner, L. L. Allen (Grocery) 222 West 5th St., Rushville. Plans in progress. Ready for bids about March 1st. Brick, composition roof, steam heat, 4 skylights.

Factory (Addition) \$15,000. 11th & Penn. R. R. Private plans. Owner, Rushville Furniture Co., Robert L. Tompkins, Prest., 11th and Penna. R. R., Rushville. Sketches. Mature about March 1st. Brick, and concrete, comp. roof, 1 sty. 80x80.

SOUTH BEND.

Lodge Building, Stores and Offices: \$300,000.00. 6 sty & bas. 82x90. Lafayette and Jefferson. Architect, Austin and Shambleau, 111 No. Lafayette. Owner, Knights of Pythias Lodge, David C. Gibson, Treas. General contract awarded to Hay and Weaver Construction Co. Heating and plumbing let to Chas. M. Oberlin & Co., all of South Bend. Start work shortly. Brick.

Apartment Building: \$75,000. 2 sty. & bas. 45x125. 612-23 So. Carroll St. Private plans. Owner, De Witt Ingleright, American Trust Bldg. Plans in progress. Owner will build and award separate contracts. Start work soon. Brick veneer.

Office Building and Stores: 15 sty. & bas. Jefferson & Michigan Sts. Owner, Company Forming, % Edmund A. Wills, 407 Union Trust Bldg. Definite data later.

Stores (8) Colfax St. Owner, Poledor Bros. % Philadelphia Candy Shop, 116 No. Michigan St. Wrecking building on site. Start work soon. Brick.

Filling Station: Michigan & South Sts. Owner, Gaffill Oil Co., 1603 Lincoln Way West. Start work soon. Brick.

***Apartment Building:** \$200,000. (18 apts.) 3 sty. & bas. 87x97. 600 block on Colfax St. Architect, Austin and Shambleau, 111 No. Lafayette. Owner, The Colfax Avenue Realty Co., Thomas P. Moredock, 315 West Colfax, John G.

Yeagley, 820 Park Ave., both of South Bend, and J. J. Kiser, % Meyer-Kiser Bank, Indianapolis. Architect receiving bids. Brick.

Rooming House and Restaurant: (25 rooms) \$18,000, 2 sty. & bas. 36x125. Sample and Michigan Sts. Private plans. Owner, R. H. Brubaker, Washington and Michigan Sts. Owner receiving bids. Stucco, frame, composition roof, furnace, 4 bath rooms.

Duplex Apartment: 2 sty. & bas. \$12,000. Owner, C. A. McNutt, Oliver Apartments. Private plans. Plans in progress. Mature about March 1st. Frame.

Contracts Awarded.

***Undertaking Establishment & Apartments:** 3 sty. & bas. Private plans. Owner, A. N. Russell, 307 South Michigan St. General contract let to H. G. Christman Construction Co. Brick.

Apartment Bldg. & Stores: \$25,000. 3 sty. 437-30 E. La Salle St. Owner, Mrs. Ollie E. Brown, 437 E. La Salle St. Owner builds. Brick.

MISCELLANEOUS CITIES.

Connersville: Apartment Building (4 Apts.) Architect, Jos. P. Fallon, McFarlan Building. Owner, William Henry (Dealer in builders supplies), 621 Western Ave. Plans in progress. Brick veneer.

***Crown Point: Tuberculosis Sanitarium & Power Plant:** \$350,000. Architect, Karl D. Norris, Calumet Bldg., East Chicago, Indiana. Owner, Board of County Commrs., G. M. Folland, Auditor, Court House, Crown Point. Revising plans. Owner will advertise for bids soon on the 1st three units, as follows: Administration Bldg. and Dormitories, Laboratories, Kitchens and Dining Rooms and Power Plant and Boiler House.

***Hartford City: Factory (Add.)** \$70,000. Architect and Engineer, Mills, Rhines, Belman and Nordhoff, 1234 Ohio Bldg., Toledo, Ohio. Owner, The Fort Wayne Corrugated Paper Co., Murray & Barr Sts., Ft. Wayne, Indiana and Hartford City. Plans in progress. Brick, steel sash, composition roof.

Peru: Foundry (Addition) Owner, The Peru Foundry Co., have purchased additional ground and are planning an extension to their present bldg. next spring.

Poseyville: Masonic Temple, \$40,000. Owner, Masonic Lodge. Purchased site and will erect a new building in 1923. Definite data later.

***Union City: School (Add. & Alt.)** \$60,000. Jackson Township, near Union City. Architect, C. E. Losch, Union City. Owner, Chas. W. Kemp, Trustees, Union City. All contracts recinded. May re-advertise for new bids in the spring. Brick.

Contracts Awarded.

***Lafayette: Fraternity House,** \$45,000. West Lafayette. Ellsworth St. Architect, Nicol, Scholer and Hoffman, Ross Bldg., Lafayette. Owner, Sigma Alpha Epsilon Fraternity, Purdue University, West Lafayette, Ind. General contract awarded to A. E. Kemmer, 107 No. 4th St., Lafayette. Stucco on hollow tile. 3 sty. & bas. 116x36.

Logansport: Residence. 2 sty. & bas. 83 Eighth St. Owner, Bert Nicholson, 117 E. Linden St. Private plans. Will probably award contracts as follows: General contract to Ed. Reinheimer, 222

E. Broadway; plumbing to Wm. Whitehead, 610 E. Broadway, all of Logansport.

***Terre Haute: Super Power Plant,** \$7,000,000. 12 miles south of Terre Haute on Wabash River. Owner, Indiana Electric Corporation, James H. Brewer, Prest, % American Public Utilities Co., Grand Rapids Savings & Trust Bldg., Grand Rapids, Michigan. Engineer and General contractor, Stone and Webster Co., Milk St., Boston, Mass. Engineers are making surveys and soundings; expect to start construction soon. Brick, steel frame building, 2 brick radial or conc. stacks, two 20,000 K. W. units and all auxiliaries, steel sash, composition roof.

***Roanoke: School** (Consolidated Grade & High) \$80,000. Architect, Everett I. Brown, Bluffton, Indiana. Owner, N. W. Van Osdol, Trustee, Roanoke. General contractor, Ed. S. Moore and Son, Kokomo, Indiana; heating, plumbing and wiring let to R. E. Fox, Markle, Indiana.

Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field. Copy should reach us, at the latest, Wednesday of the week of publication.

SCHOOL HOUSE.

NOTICE TO CONTRACTORS.

Notice is hereby given that until the 15th day of December, at 2 o'clock p. m., the undersigned, William Cunningham, as trustee of Monroe School Township, will receive sealed bids for the construction and completion of a new one-story Madison County, Indiana, and the Advisory Board of said Monroe Township, and basement brick grade school building, and also for the construction and installation of heating, ventilating, plumbing and water supply system thereof, and electric wiring therein, for the use of said school Township. All in accordance with the plans and specifications therefor, which are on file in the office of said Trustee, located in the 3-H Block on North Harrison Street in the City of Alexandria, Indiana, in said Township, County and State.

True copies of said plans and specifications may also be seen at the office of the Indiana State Board of Accounts at the State House, in the City of Indianapolis, Indiana, and at the office of E. F. Miller, the architect, in Room 545 in the Farmer's Trust Building, in the City of Anderson, Indiana. Bidders desiring duplicate copies of the plans and specifications may obtain same by depositing ten (\$10.00) dollars to cover return in good condition of the general construction documents, not later than the day of letting contract. The estimated cost of the entire work, including architect's fees is sixty-eight thousand (\$68,000.00) dollars.

All bids must be on forms prescribed by the State Board of Accounts, and same will be received at the office of said Trustee up to two o'clock in the afternoon on said date, at which time and

place said bids will be publicly opened, and read and the letting of said contract will begin, subject, however, to all rights of said Trustee and said Advisory Board, as provided by law and as herein set forth.

Bids may be submitted for the general construction of said building and separate bids may be submitted for the (1) heating and ventilating, (2) plumbing and water supply, (3) electric wiring, or any one of same. The contract will be awarded in such manner as to the best interest of said School Township. Each bid must be accompanied by a certified check for not less than (4) per cent of the gross bid submitted, payable to said Trustee, who shall have the right to cash check of the successful bidder and the money so obtained by said Trustee shall be retained by him as liquidated damages in event said bidder fails, within ten (10) days after acceptance of this bid, to execute a contract in the form and with the provisions desired by said Trustee and approved by said Advisory Board covering the construction and completion of said work, and at the same time to deliver to said Trustee a good and sufficient bond in an amount and with security to be approved by said Trustee and said Advisory Board, conditioned as required by law.

The right is expressly reserved by said Trustee and said Advisory Board to reject any and all bids and to take reasonable time to investigate both the bids and the qualifications of the bidders.

Dated this 22d day of November, 1922.

Signed: WM. CUNNINGHAM,
Township Trustee.

MARCELUS M. WALKER,
ROY LADD,
DAN YOUNG,

Advisory Board of Monroe Township,
Madison County, Indiana.
Nov. 28. Dec. 2-9.

SANITARY SEWER. NOTICE TO BIDDERS.

Bids will be received by The Board of Trustees of the Indiana State Normal School at 9 o'clock a. m., Tuesday, December 19, 1922, at the office of the Dean, The Ball Teachers' College, Eastern Division, Indiana State Normal School, Muncie, Indiana, for the construction and completion of the Sanitary Sewer at the Ball Teachers' College, Eastern Division, Indiana State Normal School, Muncie, Indiana. Bids must be made on form No. 96 prescribed by The State Board of Accounts and must be accompanied by certified check equal to 5 per cent of amount of bid. Bids must be in accordance with provisions of drawings and specifications prepared by Lester Janney, Engineer, Muncie, Indiana; copies of which may be found at the office of the Dean of the Faculty of Ball Teachers' College, Eastern Division, Indiana State Normal School, Muncie, Indiana, and at the office of the Registrar of the Indiana State Normal School, Terre Haute, Indiana. Total estimated cost of the proposed sewer is \$18,810.00.

BOARD OF TRUSTEES OF THE
INDIANA STATE NORMAL
SCHOOL,

Helen C. Benbridge, Secretary.
Dec. 2-9-16.

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INDIANA

Official Paper

Indiana Society of Architects

Office of the Secretary
500 BOARD OF TRADE BUILDING
Indianapolis, Ind.

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"Your Individual Prestige Can Never Be Greater Than the Prestige of the Profession to Which You Belong"

PLANS FOR ANOTHER BIG ARCHITECTS' REGIONAL MEETING IN THE MAKING AT TERRE HAUTE.

Now comes the turn of architects of western Indiana. The northern architects had their inning at Ft. Wayne several months ago when a regional meeting was held in that city by the Board of Directors of the Indiana Society of Architects. It was a real inning, too, developing one of the best meetings, ever held, not only by the Directors, but by the State Architects' Association.

So intense was the interest, so spontaneous was the enthusiasm, shown by the architects of northern Indiana, at the opportunity to meet in a regional assemblage, that the Directors thereupon and forthwith decided to make these regional meetings a regular part of the I. S. of A. activities. Since Architect Warren Miller had extended an invitation to the Directors to hold just such a meeting in his home city, Terre Haute, they have decided to call their next session there, Saturday, December 9.

This meeting is to be held at the Elks Club, Terre Haute, at 2 p. m., at which time routine I. S. of A. business will be disposed of and general discussions of the state architectural practice and the Indiana building construction business will be touched upon. Later on at 6:30 p. m., a dinner will be served at the club for the architects.

While the approaching regional meeting is open to all the architects of the State and they are cordially invited to attend, the members of the profession of western, southern and southwestern Indiana are doubly urged to attend; this applies particularly to the architects of Lafayette, Frankfort, Lebanon, Terre Haute, Vincennes, Evansville and all others practicing architecture within that territory.

Architect Miller admits the Ft. Wayne meeting was a wonder, but adds "keep your eye on Terre Haute; better still, join us on that day; we are going to show all you who come a fine time."

WORLD WAR MEMORIAL ARCHITECTURAL COMPETITION UNDER WAY.

An invitation to architects throughout the world to compete for the honor of designing the Indiana World War Memorial to be erected in Indianapolis, has been issued by the board of trustees for the memorial.

The competition will be judged by a jury of three competent architects from outside the state, chosen, one each by competitors and the trustees of the memorial, and the third by the two jurors just chosen. All architects desiring to enter the competition are required to qualify first by submitting proofs of their skill. Final competitors are to have all their preliminaries in by March 15, 1923.

Will Share Expense.

The memorial is expected to be one of the most beautiful ever erected. The state, Marion county and the city of Indianapolis will jointly bear the expense, which will probably be several million dollars. The site will be a beautiful plaza extending from the Federal building on the south to the Riley Memorial Library on the north between Pennsylvania and Meridian streets in the heart of the capital, a distance of four blocks, approximating 2,380 feet. Two parks terminate the site, all of which will be cleared and landscaped.

BOUND TO TELL IN TIME THOUGH SOME MAY SCOFF.

Somewhere at sometime, someone wrote "the constant dropping water wears away the hardest stone, etc." which thought is verified and illustrated if one stops to reflect upon the feeling that has been generated and inspired in the last few years amongst those of the Indiana architectural profession by the Indiana Society of Architects. Frequently members of the organization who have followed its workings intimately have remarked upon the co-ordination that has been effected to such an extent that the sentiment of the above quotation has made itself felt.

Just recently a letter reached the Re-

corder office that was too good to bury away in the files without first allowing its optimism and truth to impress itself upon the personnel of the state architectural profession and broadcast to the entire state building industry the advancing morale that the architects are establishing among themselves by constructive and sincere efforts, aimed at a higher plane founded upon good fellowship and confidence.

Laporte, Ind.,

"Sunday Morning at Home."

Indiana Construction Recorder,
Indianapolis, Ind.

Gentlemen:

"Home again after an I. S. of A. board of directors meeting at Indianapolis I can not help but feel the new spirit that prevails over the state among the architects. A better feeling for the other fellow seems to be growing.

This was shown so much in the Fort Wayne meeting, where men from the same city came together in good fellowship and had time to say pleasant things about the other fellow and of his work.

In our ride about the city that day Ft. Wayne architect friend, who took us in his auto, took pains to show us the good work done by some of the other architects of his city.

So I say a better feeling for our fellow architect has been created over the state. To farther prove this contention I am enclosing a copy of a letter that came to me a few days ago from an architect who was recommending a fellow townsman for membership in Indiana Society of Architects.

"Dear Sir—Yours of the 5th inst., came duly to hand and contents noted. It is with pleasure that I recommend my colleague, Mr. _____ as a worthy and honorable man, as well as an efficient architect. Yours very truly,

"Who ever heard of such a letter being written years ago of one man for his competitor in the same town?

How fine it would be if every member of I. S. A. would put his shoulder to the wheel and write just such a letter recommending some worthy competitor in his city or vicinity.

Yours truly,
GEORGE W. ALLEN.

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Official Paper

Associated Building Contractors of Indiana

FRED W. JUNGCLAUS, President
Indianapolis

C. C. PIERSON, Secretary
Indianapolis

ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller.....President

Office, 411 Sycamore St.

IT HAD TO COME, OTHERS BEWARE!

November sort of put the clamps down on building activity in Evansville with the result that the operations for the month fell away considerably, trailing October's figures by a wide margin.

Up to and including Saturday, November 25, but 99 building permits had been issued for a total estimated valuation of but \$128,475, as against \$228,616 for the entire month of October when 133 permits were granted.

However, the month was not all drab. Two big projects, the Benjamin Bosse High School, and the Donaldson Apartments, collectively aggregating over \$1,000,000, were started, though the building permits have not as yet been issued. These last two jobs will keep the home fires burning well on through the winter and offer "three squares a day" to many in the local building industry.

THAT'S THE SPIRIT.

Evansville may not have set the wires clicking with amazing building news this year, but her contractors got their's and did a nice business in the face of things, taken all in all. There have been better building years locally, but the past season's performance kept the contractors busy, in a way, held the supply of workmen adequate to the demand, and afforded work for the craftsmen. Therefore, the local building fraternity is thankful for the activity that did prevail.

REACHES DOWN INTO THE POCKET EVEN DOWN IN "THE POCKET"

The brick-layer shortage, prevalent in most of the large cities of the country and not unfelt in some sections of Indiana, has put in an appearance at Evansville, according to the contractors.

When situations like this arise the smaller cities are at a disadvantage for many contractors in the big cities, in their eagerness to complete the work

on hand, toss wage scales to the winds and, liberal with bonus propositions, attract the brick-layers from the smaller municipalities thus depleting the local supply. Frequently, the local contractor to protect his operations is forced to offer added wage inducements.

CHIPS AND SHAVINGS.

Several plans for new residences bobbed out this week for the local contractors to figure. More cheer!

General Contractor John Wilkins, got things under way for a new \$7,500 home for R. H. Brockman on Blackford avenue.

C. Kanzler & Son, general contractors have completed a pretty new residence for Miss Irma Schmidt on Scholtz avenue. This same firm has just been awarded the contract for the construction of a \$12,000 Dutch Colonial dwelling for G. E. Bauman.

FT. WAYNE

BUILDERS' EXCHANGE
Member State A. B. C.

Max Irmscher.....President
Eph Dailey.....Secretary
825 Calhoun St.

Phone 2001

SUBJECT MATTER FOR FT. WAYNE BUILDING INTERESTS TO CONSIDER.

Though Ft. Wayne has a few, what one might call "Sky-scrapers," the time is coming, indicated by the natural and rapid growth of the city, when more of these structures will be required to meet the demand for office and other requirements. Even now the trend in that direction has set in and several tall buildings are under way.

Since other cities have been forced to devote attention to these structures by setting legal heights to which they may arise, Ft. Wayne too will be forced to take such action in the interest of public welfare.

Relative to this matter, the 1913 report on heights by the New York Building Commission, setting forth the advantages and disadvantages is interesting.

Advantages of high buildings:

Provide agreeable convenient business quarters.

Bring enormous numbers of offices and businesses within walking distance of each other.

Increase available floor area.

Increase the value of land and the tax roll from land and buildings.

Give opportunity for architectural grandeur.

Disadvantages of high buildings:

Contribute to congestion of streets and transit facilities, causing inconvenience, loss of time and danger to individuals.

Shut out sun and air, contributing to ill health, eye strain and lowered efficiency.

Increase fire risk and insurance rates.

Cause injustice to neighboring property.

Cause over-concentration of business.

Overtax utilities, such as sewers, waterworks, etc.

Cause inflation of property values and speculation.

Cause disfigurement of city by ragged skyline.

Require property owners to build higher than economic limit in order to get light and air and advertising value, and to avoid ruin by taxation on inflated land values.

It is a subject with which the City Plan Commission at Indianapolis has been grappling, which body has just set the downtown height limit at 200 feet.

Other cities to establish such limits are:

Baltimore—175 feet.

Charleston—125 feet.

Chicago—260 feet.

Toronto—120 feet.

Salt Lake City—125 feet.

Cleveland—250 feet.

Erie—250 feet.

Los Angeles—150 feet.

Manchester, N. H.—125 feet.

BUILDING NOT THE ONLY FEAT- TURE OF CITY'S LIFE TO SHOW SUBSTANTIAL GAINS.

Bank clearings in Fort Wayne, the growth of which has been noted almost every week during the present year from the figures furnished by the local clearing house, continue to show big gains right along over the corresponding periods a year ago.

The clearings last week were \$2,401,228.92, as against \$1,605,292.78 for the same period in 1921, a gain of \$795,936.14.

Remember

You can substantially reduce the cost of your compensation and liability insurance by insuring in the BUILDERS & MANUFACTURERS MUTUAL CASUALTY CO. (a strong company, organized and economically managed by contractors, and devoted exclusively to rendering a particular service and reducing the cost of insurance in building construction.)

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See the secretary of your association or write to

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Member State A. B. C.

F. W. Jungclaus.....President
C. C. Pierson.....Secretary
320 Peoples Bank Building

MEETINGS.

Executive Committee meets second Tuesday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

Mason Contractors Association meets every Thursday—1 P. M.

General Contractors meet second Friday each month.

PLANS ON FILE.

At 320 Peoples Bank Building,
Indianapolis.

Store and Office Building, 21 stys. 4th and Main Sts., Dayton, O. Owner, F. J. Hughes Co., Inc., U. B. Bldg., Dayton. Owner, United Brethren Publishing Co., Dr. W. R. Funk, Dayton. Archt. desires bids on general contract until December 14th.

American Can Co.'s 4 sty., reinforced concrete factory addition. General contractor, Ferro Concrete Construction Co., Cincinnati, Ohio, desires such bids, to close December 1st.

WAIVER OF LIEN.

None filed with Marion County Recorder this week.

INDIANAPOLIS MASON CONTRACTORS PLANNING FOR ST. LOUIS TRIP.

Indianapolis mason contractors are almost too busy these days to talk to one. Why the haste?

There's a reason, a real reason.

The Mason Contractors' Association of the United States and Canada of which the Indianapolis Mason Contractors Association is a part, will hold its annual convention at St. Louis, Mo., December 11, 12 and 13, but one has to be a mason contractor to appreciate the significance of that announcement.

Therein lies the answer to the present situation among the local mason contractors. Most of them journeyed to London, Ontario, last year and there are not many of them who are willing to miss the St. Louis affair this season.

So much enthusiasm has been shown by the local masons that their association this week went on record as agreeing to pay all traveling and hotel expenses of members who journeyed to St. Louis, thus assuring a big Indianapolis delegation when the opening gavel falls.

In the meantime every effort is being made to get the work now under way well along toward completion.

GENERAL CONTRACTORS' WEEKLY LUNCHEONS WELL ATTENDED.

The weekly luncheons being held each Thursday, at the Spink-Arms, by the Indianapolis General Contractors Association are proving quite attractive affairs and are bringing out the general builders with quite a degree of regularity.

So far the main topic for discussion has been the advisability of holding these meetings in order to get the general contractors together, and a means to make them attractively interesting. Later on some attention is to be devoted to mapping out a regular program to include discussions of business problems and current matters that may arise to confront the builders.

CONVENTION CITY BUILDERS START THE BALL ROLLING.

Interesting news was brought back from Michigan City, this week by Field Representative J. H. Owens of the Associated Building Contractors of Indiana, who states that the contractors of that city are all "pepped" up over the coming of the State A. B. C. annual convention to their city.

Already the Michigan City A. B. C.'s have started in on the preliminaries for this state builders' meet and are planning to show the delegates and visitors a big time.

Not only are the local builders interested but the Chamber of Commerce and other civic organizations have gotten behind the contractors to lend their aid to make the Michigan City gathering a real affair in the annals of the State Association.

It will be the first time the annual convention of the State A. B. C.'s has been held in northern Indiana and the indications are to the effect that the builders of that entire section of the State will be out in good round numbers.

The Michigan City contractors have suggested that each local association appoint a committee of not less than two members, these not to be officers of the local, whose duties it shall be to spread the gospel of "On to Michigan City." The contractors up there are planning for a crowd and have some real entertainment features up their sleeves, therefore, the adoption of the slogan by the whole state, "On to Michigan City" will cause no disappointment when the convention actually gets under way in January.

Ample hotel accommodations will be afforded by The Spaulding Hotel, Michigan City's new half-million dollar hotel, where headquarters will be maintained and the convention will be held.

January 23, 24 and 25 is the time set for this convention. Michigan City is prepared to do her part and all that remains to assure success is for each contractor in Indiana, especially the A. B. C.'s members to talk and think "On to Michigan City" in January.

BUILDING PERMITS.

\$4500 and Over.

(Week of November 23 to November 29)

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lie Colvin, 4140 Ruckle St. Work not started. 3 sty. 196x208.

Residences (7) total, \$35,000. 1010-12 E. 36th., 4601-03, 4229-31, 4237-39 Graceland Ave., 910-12, 916 E. 46th, 4603 Guilford. Owner and builder, Ollie A. Day. 30th St. Frame.

Residence: \$14,700. 25 West 46th. Owner, Nellie Bittrolff, 3725 Graceland. General contract let to H. L. Simmons, 4244 No. Capitol Ave. Brick veneer.

Residence: \$10,500. 510 West 44th. Owner, F. D. Ensminger, 4115 Park Ave. General contract let to Louise S. Powell, Broad Ripple, Indianapolis. Brick V.

Residence: \$8,800. 1125-27 No. Dearborn. Owner, H. Gard, 1301 No. Dearborn.

Residence (Double) \$9500. 4249-51 College. Private plans. Owner and builder, Templeton-Freeman Co., 42nd and College. Excavating.

Residence: \$9,500. 3645 No. Delaware St. Owner, Lefa Nida, % Indiana National Bank. General contract let to Fred Evans, 31 No. Bolton. Brick veneer. Excavating.

Residence (double) \$8,500. 39-41 West 28th. Owner, Walter N. Sharp, 711 Hume Mansur Bldg. General contract let to J. W. Darnell, 2435 Broadway.

Residence (Double) \$8,000. 649 East 49th St. Owner, S. M. Ford, 5032 Park. General contract let to J. F. Fulk, 952 East Tabor St. Excavating.

Residence: \$8,000. 4450 College. Owner, J. P. Sullivan, 4056 College. General contract let to Leonard Jeffers, 3506 East 30th St.

Residence (Double) \$8,000. 2930-32 College. Owner, E. A. Byrket, % contractor. General contract let to Chas. G. Cones, 3518 No. Illinois St.

Residence (double) \$7,500. 5115-18 East Michigan. Owner, Realtor Building Co., Lemcke Bldg. Owner builds.

Residence: \$7,500. 4627 Broadway. Owner and builder, Fred W. Jenkins, 4221 Central Ave.

Residence: \$7,500. 450 West 46th. Owner, William H. Flanders, 309 Chamber of Commerce Bldg.

Residences (2) \$6,500 each. 501 & 503 Berkley Road. Owner, C. D. Ehle, at site.

Residence: \$6,000. 5269 Central Ave. Owner, M. M. Duke, 4117 Central Ave.

Residence (double) \$6,000. 2107-09 Parkway Blvd. Owner, Joe Darmody. General contract let to William Meredith at site.

Residence: \$6,000. 56 So. Audubon Road. Owner, John Templeton, 5318 Julian. General contract let to Creighton Realty Co., 60 Downey Ave.

Residence: \$5,800. 3214 East 13th. Owner, H. Gard, 1301 No. Dearborn.

Residence: \$5,200. 5141 Park. Owner and builder, Plummer Bros., at site.

Residence: \$4,800. 5965 Oak. Owner, Mary A. Vernia, 4317 E. Wash. Contractor, S. A. Vernia, 4317 East Washington.

Residence (double) \$4,800. 3117-19 Boulevard Place. Owner, E. W. Pierson at site.

Residence (double) \$4,500. 4802-04 Winthrop. Owner, F. W. Long, 5101 College.

Residences (2) \$4,200 each. 4225 & 4231 Graceland. Owner, Perry R. Thrush, 702 Lemcke Building. Frame. Excavating.

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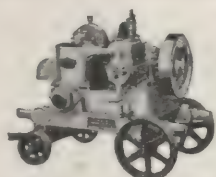
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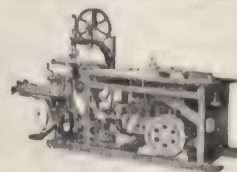
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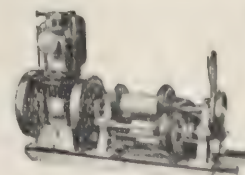
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Member State A. B. C.'s

J. Wesley Reed ----- President
E. E. Cole ----- Secretary108 Citizens National Bank Bldg.,
Hammond, Indiana**MEETING NIGHTS**General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.**GO TO IT.**

The National Foundation Service of New York in an endeavor to create a greater and more comprehensive understanding between employees and employers has inaugurated an educational campaign. The modus operandi is to consist of a series of man to man talks through a chain of letters that will bring out the salient points of the relationship that should exist between the wage earner and the firm heads for the betterment of all concerned and industry as a whole.

The plan, or theme of these letters, will deal with the questions and problems that arise to effect or concern the workers. The object of the new move will be to correct false ideas, to inspire reasonable views and opinions, to encourage an interested attitude, amongst the workers, toward the work, the employers, and the present order of Industry, Business and Good Government.

There is merit in the idea, merit that is deserving of success and it is to be hoped the result will reflect the wisdom of the conception.

It will be interesting to see how the scheme works out, the reception accorded it by the employee. There are those in the Calumet District, so called workers, to whom the letters should be addressed in an effort to convert them to a compromising frame of mind that they at least would appreciate the other fellow's side of the employment problem.

If these letters accomplish any degree of success in the ultimate outcome a lasting good will have been accomplished, a long step forward will have been taken in the right direction to remove the Prejudice, Antagonism, and Strife that now besets the Industrial Life of the Nation.

**INSISTENCE OF OWNER RATHER
THAN BUILDING FRATERNITY
TO BLAME.**

Much disappointment and discontent envelopes prospective builders when they launch their projects because they have failed at the outset to study the building situation and acquaint themselves with facts, cost data, etc. Many of them conceive an idea to build, decide on the style and type of building they desire, insist on sizes and details, yet have no idea of

what it all will cost. Most of them expect to build a \$100,000 conception for about \$50,000 or \$75,000. This proportion even extends to residences. Then, when bids are received there is a wailing and gnashing of teeth, much loose talk about connivance, and a branding of those connected with the building industry as a bunch of high-binders.

This situation is not due to the builders, for competition is keen and estimating is close, but can be traced almost solely to the prospective builder's lack of a real conception of the various ramifications involved in his building operation. Some will contend that the prospective builder is spurred blindly on, but, if so, it is an exception to the rule, for the architect or contractor is primarily interested in keeping a proposed project within an estimated cost to assure its going ahead to completion.

THE CURRENT WAY OF LIVING.

To give Calumet District dwellers a vivid conception of the strides that have been made toward home conveniences in an electric way a modern electrically equipped bungalow was thrown open to the Public for inspection. What the electricians have not installed in that house is not worth mentioning from a household utilitarian standpoint. There is most everything from electric washing and ironing machines clear down to curling irons and cigar lighters. And, what do you suppose? Why you can even light the kitchen stove without even having to get out of bed. Oh, man!

INCLINED TO HOLD OFF.

There is a disposition on the part of many in the Calumet District to hold their contemplated building projects in abeyance until the "Pittsburg plus" proposition on steel is settled. This matter will have a great deal to do with the future price of steel one way or the other.

FEELING IS SEASONABLE.

Yes, we are thankful. The weather-man, came out on the scene early in the week and did a great thermometer juggling act while Mercury did a great tumbling stunt, chilling our blood, while frost tinged the abated breath of us poor mortals as we watched. The grand finale was a headlong dive toward zero, a performance, it has been announced by the weather-man, that is not to be repeated soon again. Hence, our thanks.

E. E. COLE.

MUNCIEAssociated Building Contractors
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**ATTENTION BEING TURNED TO
NEXT SEASON'S BUILDING
AFFAIRS.**

In line with the suggestion made by Muncie and other Indiana building contractors that an early start be made for 1923 in an attempt to get wage scales for

next season adjusted and settled comes word from other sections of the country that the builders in those parts, too, are considering the advisability of just such action.

Out in San Francisco the Industrial Association announces the wage scale settlement is about to be launched, reviews the 1922 effort and the plans for 1923, as follows:

Shortly after its creation in 1921, the Industrial Association of San Francisco as a part of its pledge to the public, promised to fix, through impartial machinery, and enforce an equitable wage scale in the building trades for a reasonably definite period. Accordingly, in November of last year, the Association appointed an Impartial Wage Board consisting of the Catholic Archbishop of San Francisco, and attorney and former supervisor, and a prominent wholesale druggist who had been president of the San Francisco Chamber of Commerce—three men whose impartiality and ability were universally recognized.

This Board, after conducting an extended series of public hearings at which appeared and testified representatives of labor, the employers and the general public, fixed a wage scale for the calendar year, 1922. This scale proved so fair that it never was seriously complained of, and no doubt was responsible in large measure for the splendid record of building activity made in San Francisco this year. The value of building permits for the first eight months of this year exceeded by over \$10,000,000 the value of the permits for all of last year, and it is expected that the value of permits for the year will show a 100% increase over 1921.

In view of the unquestioned successfulness of this method of wage fixing, and in order to prove beyond doubt to the workers and the community the good faith of the Industrial Association, the Association has persuaded the same men who composed the Impartial Wage Board last year, to serve again this year in order to determine upon an equitable scale of wages to obtain in the building trades after December 31st. Sessions of the Board are now in progress and will continue until all parties in interest have had opportunity to be heard. Building trades workers have generally been invited to attend or send representatives. Craft union organizations and contractors' associations have also been given written notice of the hearings and asked to submit evidence, and the Wage Board has announced that it will be glad to hear from individuals not connected with the building industry in order to get the viewpoint of the public.

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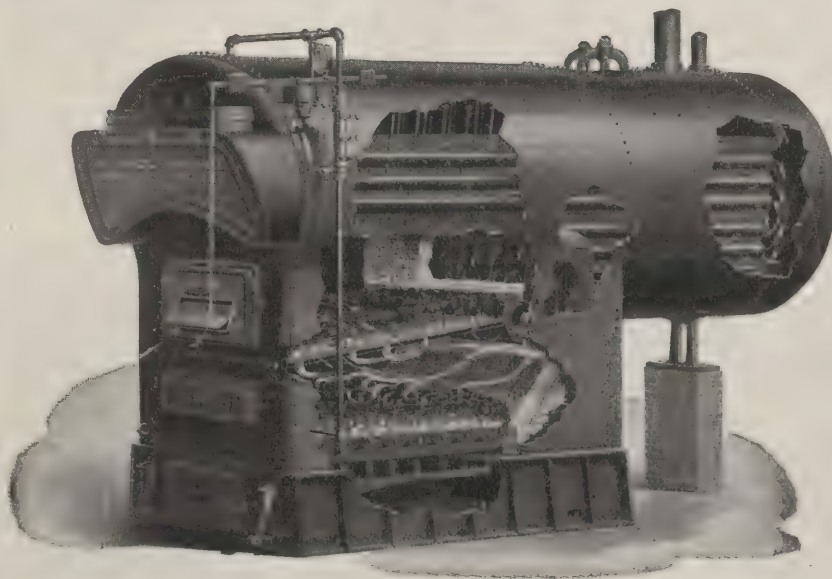
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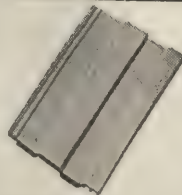


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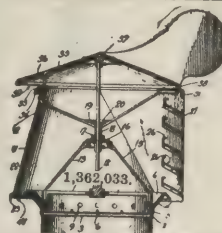
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FOR
CONTRACTOR
SUPPLYMAN

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are those architects who, never having attended these meetings, fail to appreciate the value of them both to the individual himself and the profession as a whole. To them we would say, make your reservation with Secretary R. J. Batchelder, 426 Board of Trade Building, for Wednesday evening, and then be sure and come out.

CONTRACTORS TO STAGE BIG BUILDING SHOW.

Determined to boost building but taking no chances with professional promoters the contractors of the Pittsburgh Builders' Exchange are planning for a

big Building Show at Motor Square Garden early next spring.

All kinds of building materials and various types of construction are to be shown to make the exhibition the greatest of its kind ever held in that city.

It is proposed further to show the inexperienced the proper method of procedure to secure a home, both in what to do and what to avoid, the purchase of real estate, securing a loan, the selection of an architect, the proper method of selecting bidders and awarding contracts, how to select decorations and the laying out and planting of a garden and lawn.

REAL MEETING PLANNED FOR INDIANAPOLIS ARCHITECTS NEXT WEEK.

Quite a treat is in store for Indianapolis architects next Wednesday night, December 13, if the plans, outlined by the officers of the Indianapolis Architects Association, carry and there is every probability that they will. This December meeting is somewhat more important than the usual regular monthly gatherings in that the annual election of officers of the association will be held next week, and in addition Mr. Theodore Steele, dean of Indiana artists, will be on hand to speak informally on color, its artistic value, and its relationship to architecture. Mr. Steele, whose studio is in Brown County, where he spends his summers painting, is one of Indiana's most prominent artists and his talk should be most interesting to the architects. An invitation has been extended to the members of the Sciencetech Club to meet with the Indianapolis architects upon this occasion.

Preliminary to the meeting there will be at 6:30 p. m., dinner at the Columbia Club, at which time the annual election of officers will be held. Following the dinner, the election, and the transaction of routine business, the members and their guests will adjourn to more spacious quarters at the club to be entertained by Mr. Steele.

This is one meeting at which the Indianapolis architects should turn out, not only because of the election but in honor of the distinguished artist, the guest of the evening.

These monthly gatherings of the architects have proved most interesting with their entertaining programs enhanced by a fine spirit of good fellowship. There

INDIANA BUILDING RETURNS FOR NOVEMBER SHOW SLIGHT EASING UP THOUGH RECORDING GAIN OVER CORRESPONDING PERIOD IN 1921.

While four of Indiana's eight larger cities showed gains for November over October in the matter of the estimated valuations of new building construction work, for which permits were granted, namely, Gary, Hammond, Indianapolis, and South Bend, the other four, Evansville, Ft. Wayne, Richmond and Terre Haute, fell behind the October figures with the result that the losses offset the gains made and November building was \$445,580 or 8.4 per cent in arrears of the previous month's business. This was 11.5 per cent behind September's building. Considering the lateness of the season the showing made by November was very good, in fact, it compares favorably with the records made right through the summer months when building construction activity is at its height.

On the other hand, the building activity in the eight cities during the month of November, 1922, as revealed by the number of permits granted, was greater than that of the corresponding period in 1921, every one of the cities having granted more building permits this November than last for a total gain of 739 permits. The estimated valuation of the new work was \$1,737,217 in excess of the November, 1921, valuations, a gain of 56.3 per cent.

The individual records of the various cities for November are interesting, six of them having shown gains over the November, 1921, building business, Gary leading with a huge increase of 405.6 per cent. South Bend, with a total estimated valuation close to a million dollars, rode into second place, registering a gain of 186 per cent. Indianapolis topped her October, 1922, figures and also recorded a 133.6 per cent gain over the figures for November, 1921. Then followed these cities: Richmond, 58 per cent gain; Evansville, 24.6 per cent gain; Hammond, 1.9 per cent gain; Terre Haute, 11.5 per cent loss; Ft. Wayne, 49 per cent loss. The setback at the latter city was not as serious as it might seem on the face, for Ft. Wayne, in November, turned in over \$600,000 of new building construction, more than was recorded from that city during any one of eleven months in 1921, however, it so happened that November, last year, recorded over a million dollars, against which, this year's figures had to contend. While registering a loss, Ft. Wayne recorded the third largest building total of the Indiana cities for the month.

The permit records for November, this year, and the corresponding period a year ago are:

City	Per.	1922		1921	
		Est. Val.	Per.	Est. Val.	Per.
Evansville	101	\$ 112,900	68	\$ 90,580	
Ft. Wayne	175	600,300	83	1,178,760	
Gary	42	284,335	33	56,227	
Hammond	64	195,750	59	192,100	
Indianapolis	983	2,503,014	640	1,071,319	
Richmond	26	20,090	12	12,600	
South Bend	374	981,097	210	343,027	
Terre Haute	134	120,414	55	136,070	
Total	1,899	\$4,817,900	1,160	\$3,080,683	

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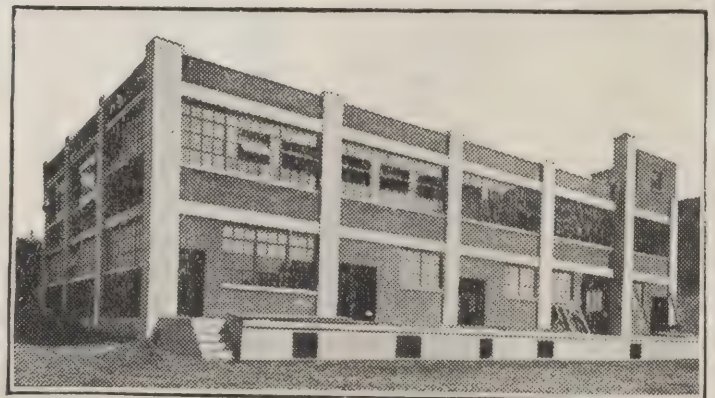
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News of the Week

The asterisk (*) prefix to an item indicates additional information to report published in previous issues.

INDIANAPOLIS.

***Bank and Office Building:** \$1,000,000. 11 sty. and bas., 50x200, 126-30 E. Washington St. Archt., Vonnegut, Bohn and Mueller, 610 Indiana Trust Bldg. Owner, Meyer-Kiser Bank, Sol Meyer, Pres., 136 E. Washington. Plans about completed. Archt. ready for bids January 1st. Reinf. concrete constr., white terra cotta facings, Italian green marble, 3 passenger elevators, mezzanine floor, comp. roof, safety deposit boxes, vault, vault doors, bank fixtures.

Manufacturing Plant (Furniture), \$250,000.00, Mill Building, 1 sty., 80x240 (1st unit), English Ave. and Belt Railroad. Archt. and engineer, Russell N. Edwards Co., 45 Union Trust Bldg. Owner, The Kramer Realty Co., Inc., L. B. Mosiman, Secy., 315 N. Garfield Ave. Plans in progress. Plans will be ready on the first unit about January 1st. Brick, steel sash, composition roof, conc. floors. The following buildings will come up later: 10 car garage, oil house, dry kiln, 2 sty. warehouse, 3 sty. cabinet building, power plant, lumber storage buildings.

***Hospital, Power Plant and Nurses' Home** (Rem. from old Chas. Major Homestead) \$90,000.00, Shelbyville, Ind. Archt., D. A. Bohlen and Son, 1001 Majestic Bldg., Indianapolis. Owner, Hospital Assn., Mayor Lee Hoop and J. H. McDougal, Shelbyville. Plans completed. Owner will advertise for bids next week, exact closing date not set. Brick, reinf. conc. and hollow tile floor constr.

Automobile Service Building: 1 sty. and bas., 112x122, S. E. corner St. Clair and Capitol Ave. Archt., D. A. Bohlen and Son, 1001 Majestic Bldg. Owner, Capitol and St. Clair Realty Co., Bernard Korbly, 600 Indiana Trust Bldg., and Fred G. Appel, 505 Fletcher Trust Bldg. Lessees of building, Madden-Comple Co., Chas F. Campbell, Pres., 209 W. North St. Plans in progress, ready for bids in 10 days. Brick, mill construction, steel sash, steel girders and trusses, composition roof.

Women's - College (Power Plant, School Building and Dormitory), 1st unit, Detroit, Mich. (Wyoming and 6-mile road) Archt., D. A. Bohlen and Son, 1001 Majestic Bldg., Indianapolis. Owner, Sisters, Servants of the Immaculate Heart of Mary, %Mother Superior, Monroe, Mich. Preliminary

plans in progress, details undecided. Area of site, 80 acres.

Sewage Disposal Plant (Chemical Equipment) Division No. 3, Consulting Engineer, Charles H. Hurd, 1405 Merchants Bank Bldg. Owner, Board of Sanitary Commissioners, Jay A. Craven, Prest., City Hall. Receiving bids to close December 28th at 10:00 a. m. 4-A Cast Iron pipe and specials; 4-B low pressure gate valves; 4-C power plant piping, 4-D standard and high pressure valves, 4-E air washing equipt., 4-F electric centrifugal pumping units, 4-G electric wiring and fixtures, 4-H rotary dryers, stokers and conveying machinery, 4-L sludge filters.

***School:** \$68,000.00, Jackson School Township, Decatur county, Letts, Ind. Archt., The Elmer E. Dunlap Co., 1050 N. Delaware St., Indianapolis. Owner, Cliff N. Fulton, trustee, Letts, Ind. Low bidder on general contract, W. L. Dunkin and Son., Flora, Ind. Low bidder on heating and plumbing, Worland and Schwendenmann, Greensburg, Ind.

***Church:** \$60,000, 24th and Station Sts. Archt., McGuire and Shook, 320 Ind. Pythian Bldg. Owner, Brightwood M. E. Congr., 2358 Station St. Edgar Brown, Chmn. Bldg. Comm., 2440 Adams St.; Sam Ingle, Secy., 3178 N. Sherman Drive. Plans completed. Architect ready for bids next week. Brick, stone trim.

Drug Store (Rem. from stores), \$50,000.00, Pennsylvania and Washington Sts. Archt., Vonnegut, Bohn and Mueller, 610 Indiana Trust Bldg. Owner, Hook Drug Co., Ills. and Washington. Plans in progress, work will consist of new store fixtures, tile floors, copper set store fronts, light fixtures and wiring, plumbing, plastering, painting and general interior alterations.

Factory Building: 5 sty. and bas. (80,000 square feet of floor space), Liberty and Michigan Sts. Archt., Rubush and Hunter, 428 American Central Life Bldg. Owner, The Indianapolis Glove Co., Brodehurst Elsey, Secy., 430 N. Liberty St. Plans in progress. Brick, reinforced concrete and steel, composition roof, steel sash, elevators, steam heat.

Apartment Building: \$90,000.00, 3 sty. and bas., 46x132. (30 Apts), East 10th St. Archt., George and Mac Lucas, 1153 Lemcke Annex. Owner, name withheld for present. Preliminary plans in progress. Brick, details undecided.

Residence: 2 sty. and bas., \$20,000.00, 4120 N. Meridian St. Archt., George and Mac Lucas, Lemcke Annex. Owner, Sol Meyer, Pres., Meyer-Kiser Bank, 136 E. Washington St. Plans in progress. White Kitaning brick construction, tile roof, steam heat, tile and hardwood floors.

***Residence:** \$25,000, 2 sty. and bas. (9 rooms), Forest Park Add. Owner, John G. McCullough, 106 N. Delaware St. Taking bids. Brick veneer, tile roof, vapor heat.

Country Club: \$20,000, 1½ miles north of Lebanon, Ind., on the Jackson Highway and the T. H. I. & E. traction line. Archt., Bass, Knowlton and Co., 312 N. Meridian St., Indianapolis. Owner, Ulen Country Club, Henry C. Ulen, Jr., %H. C. Ulen & Co., 120 Broadway, New York City. B. F. Coombs in charge, Lebanon, Ind. Preliminary plans in progress. Details undecided. Brick veneer.

Contracts Awarded

***Department Store:** \$70,000, 3 sty. add. 17x195 and 2 sty. top add. 67x137. 311 West Wash. Architect, Batchelder and Scales, Board of Trade Bldg. Owner, The Fair Store, 311 West Washington. General contractors, Service Constr. Co., 419 Castle Hall Bldg. Start work January 1st. Brick, terra cotta front.

***Factory** (addition), \$25,000.00, 2 sty., South East St. Archt. and engineer, Russell N. Edwards Co., 45 Union Trust Bldg. Owner, American Tent and Awning Co., South East St. General contract awarded to J. E. McGaughey, 2717 E. Washington St. Brick, mill construction.

Duplex Apartments (2), \$40,000, total, 2 sty. and bas., 31x57 each, 3261-63 and 3265-67 College Ave. Owner and builder, Circle City Construction Co., Fletcher Trust Bldg. Brick veneer. Excavating.

Residences (3) \$27,000, total, 49th and Illinois. Owner and builder, William Low Rice, State Life Bldg. Plans in progress. Owner ready for bids shortly on material and sub-contracts.

Theatre (motion picture) \$12,000, 1 sty., 44x77, 1601 Howard St. Private plans. Owner, Frank J. McCoy, %Contractor. General contract let to J. J. Reith, 550 N. Temple. Excavating.

Duplex: \$16,000, 3640 Fall Creek Blvd. Owner and builder, Duplex Home Building Co. Brick veneer, 2 sty. and bas., 28x37.

Residences (2 doubles), \$18,000, total, 5141-43 and 5147-49 College Ave. Private plans. Owner and builder, F. M. Bartholomew and Son, 3720 Salem St. Excavating.

Residence (double), \$13,000, 2901 N. Delaware St. Owner, Emma J. Smith, at site. Owner builds by day labor. Brk. veneer and tile, 2 sty. and bas., 28x52.

ANDERSON.

***Grade School:** \$68,000.00, 1 sty. & bas. Monroe Township, Madison county, near Alexandria, Indiana. Architect, E. F. Miller, 545 Farmers Trust Building, An-



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INDIANAPOLIS



VENTILATORS

derson. Owner, William Cunningham, Trustee, No. Harrison St., Alexandria. Owner taking bids to close December 15th at 2:00 p. m. (See legal advertising in this issue). The following contractors are figuring general contract: Glenn Gardner, Eshelmann & Sons; Ben Wright, all of Anderson, Ind.; Fred Jones, Alexandria, Ind., L. E. Wickersham, Logansport, Heinemann Constr. Co., Marion, Ind., R. O. Sharp, Camden, Ind. Contractors figuring heating and plumbing as follows: Jacob Barnhart, Wilkinson, Ind., Chas. R. Lininger, Hart-

ford City, Ind., Sanitary Engineering Co., Van H. Osborne, Powell and Dorste, all of Anderson, Indiana.

*Residence and Garage: \$25,000.00. 2 sty. & bas. Architect, E. F. Miller, 545 Farmers Trust Bldg., Anderson. Owner, Hugh Hill, Prest. Hill Pump Co. Revised plans in progress. Ready for bids about March 1st. Stucco and hollow tile, tile roof, tile and marble floors and wainscoting, steam heat.

Residence: \$6,500. Nichol Ave. Architect, E. F. Miller, 545 Farmers Trust Bldg. Owner, Dr. C. W. Jones, 353

Farmers Trust Bldg. Plans in progress. Frame, asphalt shingle roof, furnace.

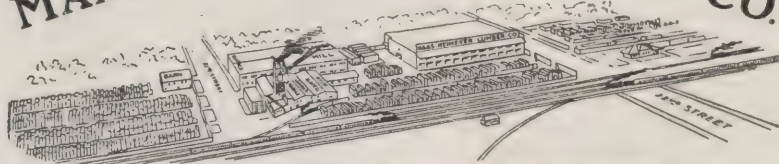
*School (Shadeland School) \$125,000. Architect, not selected. Owner, Board of School Trustees, Herbert McMann, Prest., Arthur W. Brady, Secy., Anderson. Owner will select an architect shortly; project will mature spring. Brick. 8 rooms, auditorium, gymnasium, manual training and domestic science depts.

*Orphanage: \$100,000. Architect, Ernest R. Watkins, 335 Farmers Trust Bldg. Owner, Board of County Commrs., Court House, Anderson. Plans nearing



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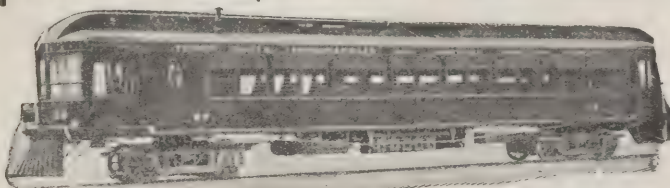
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completion. Owner expects to advertise for bids about January 15. Brick.

Contracts Awarded.

Residences (5) \$20,000. Total. Architect, E. F. Miller, 545 Farmers Trust Bldg. Owner, Anderson Home Builders Assn., Glenn Gardner, in charge. Owner builds.

EAST CHICAGO.

Store Buildings (3) 3 store each building. \$12,000 each. Chicago & Forsythe. Architect, Jos. G. Kraft Co., East Chicago Bank Bldg. Owner, Julius Friedman, Calumet Bldg., East Chicago. Architect revising plans. Ready for bids about February 1st. Brick and steel. 1 sty. 50x50 each.

Packing Plant (Additions) Can Mnfg. Bldg. \$30,000. Wool Building, \$25,000. Private plans. Owner, The Cudahy Packing Co., 111 West Monroe St., Chicago, Ill.

Contracts Awarded.

***Club House:** \$100,000. 2 sty. & bas. 75x100. Magoun & Chicago Ave. Archt. Joseph Kraft Co. Owner, B. P. O. E., Julius Friedman, Chmn. Bldg. Comm. Contractor for foundation only, H. B. Olney, 4028 Parish Ave. Foundation in. Owner will be ready for bids in February on superstructure. Brick.

***Store & Apartment:** \$20,000. 2 sty. 35x115. 3603 Cedar St. Architect, Karl D. Norris, 224 Calumet Bldg. Contractor for foundation only, H. B. Olney, 4028 Parish Ave. Plans in progress on superstructure, ready for bids about Feb. 1st. Brick.

Auditorium: \$25,000. 1 sty. 60x120. 143d. & Todd. Architect, Karl D. Norris, 224 Calumet Bldg. Owner, Geo. Oswego, 134d. & Todd Ave. General contractor, Frank Wall, 1105 Beacon St. Foundation in. Brick.

EVANSVILLE.

***School Building:** \$55,000, Scott School Township, Vanderburgh County, Indiana. Archt., Anderson and Stingle, McCurdy Bldg., Evansville. Owner, James W. Litchfield, trustee, Inglesfield, Ind. Owner receiving bids to close December 27th at 11:00 a. m. at the Inglesfield Community Bldg., Inglesfield, Ind. (See legal advertising in this issue.)

Packing Plant (Addition): 3 sty. 42x31. Architect, Harry E. Boyle and Co.,

Furniture Bldg. Owner, The Evansville Packing Co. Plans in progress. Brick, reinforced concrete construction, refrigerating plant, comp. roof, steel sash.

Filling Station: \$5,000. Owensboro, Kentucky. Architect, Harry E. Boyle & Co., Furniture Bldg., Evansville. Owner, Evansville Oil and Grease Co., Evansville. Plans in progress.

Residence: \$8,000. Howard St. near Second. Architect, Harry E. Boyle and Co., Furniture Bldg. Owner, G. C. Gardner. Plans in progress. Brick veneer. 6 rooms.

Packing Plant: 1 sty. 40x100. Outer 4th Ave. Architect, Harry E. Boyle and Co., Furniture Bldg. Owner, Benjamin W. Jenkins, 522 South 4th. Ave. Plans in progress. Reinforced concrete.

FT. WAYNE.

Store Building: \$10,000. Kendallville, Indiana. Architect, Pohlmeier and Pohlmeier, Central Building, Ft. Wayne. Owner, C. W. Bersch, Kendallville, Ind. Plans in progress. Brick, composition roof, steam heat.

Store Building & Filling Station: \$10,000. Leo Read and Clinton St. Architect, Pohlmeier and Pohlmeier, Central Building. Owner, C. S. Altschul. 1117 Jackson St. Plans in progress.

Contracts Awarded.

Grade School: \$175,000. "McCullough School." Architect, Guy Mahurin, 501 Lincoln Life Bldg. Owner, Board of School Trustees, Byron H. Somers, Prest. General contractor, Indiana Engineering and Construction Co. Heating let to Ft. Wayne Plumbing and Heating Co.; plumbing to Derheimer Bros.; electric wiring to Dix-Kelley Electric Co., all of Ft. Wayne. Start work at once. Brick.

Building Permits Issued.

Residence: \$5,000. 1909 Hale. Owner, E. Wheeler, Route No. 6, Ft. Wayne.

Residence: \$7,000. 912 Loree. Owner, W. G. Harrod, 2401 Florida Drive.

Residence: \$7,000. 4107 Indiana Ave. Owner, Luntz Bros., Parnell Ave, Route No. 9.

Residence: \$6,900. 4231 Indiana Ave. Owner, Luntz Bros., Parnell Ave. Route No. 9.

Residence: \$5,000. 2117 Cass St. Owner, C. T. Kitch, 217 Noll Bldg.

Residence: \$5,500. Oliver St. Owner, William Ayres, Strand Bldg.

Residence: \$5,000. 913 Lincoln Ave. Owner, Gust Lindeman, 1428 Summit St.

Residence: \$5,000. 2025 Curdes Ave. Owner, Peter Baltes, 920 Madison.

Residence: \$5,000. Margaret St. C. E. Miller, 3034 Holton Ave. Owner builds.

Residence: \$5,000. 926 Grandview. Owner, Ernest Fuhrman, 3006 Harrison.

Residence: \$5,000. 2320 E. Pontiac. Owner, Fred Reitz, 2302 E. Pontiac St.

Residence: \$6,000. 1841 No. Anthony Blvd. Owner, John A. Pfeleiderer, 2402 Maumee.

Residence: \$5,000. Holton Court. Owner, Michael Kookler, Piqua Ave. No. 13.

Residence: \$5,100. Tacoma and Boerger. Owner, Ernest Tuhrman, 3006 So. Harrison.

Residences (2) \$5,000 each. 1306 Third St. & Phenie St. Owner, Lockner Bros., 648 Lawton Place.

GARY.

Furniture Store and Offices: 3 sty. & bas. 50x150. Broadway, Gary, Indiana. Architect, Walter E. Berry, 212 E. Superior St., Chicago, Ill. Owner, Minas Furniture Co., 158 State St. Hammond, Indiana. Plans about completed. Brick.

Garage (For Company's Cars) \$40,000. 1 sty. 58x187. Architect, H. Clifford Wiley. 1st. National Bank Bldg., East Chicago, Indiana. Owner, Gary Baking Co., Gary, Indiana. Plans in progress. Ready for bids soon. Brick, steam heat, steel sash, rolling steel doors.

MICHIGAN CITY.

Warehouse and Garage: \$75,000.00, 3 sty. and bas., 48x110. Owner, Haviland Transfer Co., Michigan City. Private plans. Plans in progress. Owner ready for bids February 1st. Brick, reinf. concrete, steel sash, comp. roof, elevator.

Storm and Sanitary Sewer: \$567,000. Through the South Side. Consulting Engineer, G. W. Clausen, 139 N. Clark St., Chicago, Ill. City Engineer, D. H. Miller, City Hall, Michigan City. Owner, City Commission, Alexander Snychalski, City Clerk, Michigan City. Owner receiving bids to close December 18th at 8:00 p. m. 3480 ft. 72 in. sewer; 940 ft. 66 in. sewer; 1560 ft. 48 in. sewer; 9360

(Continued on Page 11)

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PETERSBURG.

Bank (Add. and Alteration), Private plans. Owner, First National Bank, George T. Frank, Pres., Petersburg. Plans in progress. Brick.

Bank Bldg. (Addition), private plans. Owner, The Citizens State Bank, C. F. Boonshot, Pres., Petersburg, Ind. Plans in progress, mature about March 1st. Brick.

SOUTH BEND.

Masonic Temple: \$750,000. 6 sty. & bas. 132x165. Main and Morrison Sts., South Bend. Architect, Osgood and Osgood, Monument Square Bldg., Grand Rapids, Mich. Structural Engineer, William H. Adams, 32 Campau Bldg., Detroit, Mich. Owner, Masonic Temple Assn., Col. Studebaker, Prest., The Studebaker Corp., William Bender, Jr., both of South Bend. Plans in progress. Plans will be ready for figures in the early spring. Brick, reinforced concrete and stone.

Contracts Awarded.

***Apartment Building:** \$200,000 (18 Apts.). 3 sty. and bas., 87x97, 600 block on Colfax St. Archt., Austin and Sham-

bleau, 111 N. Lafayette. Owner, The Colfax Avenue Realty Co., Thomas P. Moredock, 315 W. Colfax St., South Bend. General contract awarded to Ralph Sollitt and Sons, 30 N. LaSalle St., Chicago, Ill.

Building Permits Issued.

Store & Hotel: \$24,500. 437-39 E. LaSalle St. Owner, Mrs. Ollie E. Brown, 116½ West Washington St. General contractor, C. E. Miller, 729 E. Madison St. Brick.

Residence: \$7,000. 223 No. Notre Dame Ave. Owner, Geo. McNabb, 221 No. Notre Dame Ave. Brick and tile.

Residence: \$6,000. 1017 Diamond Ave. Owner, E. M. Bill, 1115 No. Allen. Contractor, Whitcomb and Keller, Farmers Trust Bldg. Frame.

Residence: \$6,000. 806 Ewing St. Owner, Whitcomb and Keller, Farmers Trust Bldg. Owner builds.

Residence: \$6,000. 212 Angella Ave. Owner, Shutt and Le Roy, at site. Day work.

Residence: \$6,000. 1813 Rush St. Owner, G. S. Bunch, 539 Milton St. Day work.

Residence: \$5,200. 526 Havey St. Owner, John Peterson, 1224 E. Donald St. General contractor, Eric Johnson, 617 West Indiana Ave.

Residence: \$5,000. 602 Phillipa St. Owner, P. Bikowski, at site. General contractor, J. Brodzinski, 837½ So. Kaley St. Brick veneer.

MISCELLANEOUS CITIES.

Post Office Buildings: \$3,500,000. South Bend, Indiana. Add. and rem. present building, \$800,000. Hartford City, Ind. new bldg., \$100,000., Ft. Wayne, Indiana; new building, \$1,250,000, East Chicago, Ind., new building, \$500,000, Monticello, Indiana; new building, \$75,000, Crown Point; new building, \$75,000, Terre Haute, Ind. (add.) \$200,000, Logansport, Ind. (add.) \$100,000, Hammond, Ind. (add.) \$150,000. Contemplated. Requests have been made for the above appropriation. Owner, United States Government, Treasury Department, Washington, D. C.

Bluffton: Light Plant (equipt.) Owner, City of Bluffton, J. S. Gardner, Supt. of Light Plant, is considering the installation of 1 1500 K. W. Turbine to cost about \$28,000. Expect to advertise for bids soon.

Brookville: Storage Sheds. Owner, Thompson & Norris Co., Brookville. Contemplated. Mature spring. Construction undecided.

Cannelton: Sewer Pipe Manufacturing plant (additions), \$200,000.00. Private plans. Owner, Cannelton Sewer Pipe Manufacturing Co. Receiving bids to close December 19th. Factory building, 4 sty., 62x208, brick stack, 120 ft. high, 8 kilns, 1,000 ft. R. R. switches, extension of boiler and machine rooms.

(Continued on Page 13)

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Indianapolis

Brick, reinforced concrete and steel, steel sash, composition roof.

Elkhart: Garage, 1 sty. 60x150. 115 East Marion St. Private plans. Owner, C. P. Lemley, Elkhart. Sketches Mature early spring. Brick and steel.

Hanover: College Building (custodial residence and barracks), \$60,000.00. Private plans. Owner, Hanover College, Board of Trustees, Hanover, Ind., Jefferson county. Plans in progress. Brk.

Jasonville: Waterworks System, \$150,000. Owner, City of Jasonville, % City Clerk, Jasonville. Consulting Engineer, Arthur Symms, Linton, Ind. Plans in progress. Owner will advertise for bids in February. Concrete reservoir, steam boilers, struct. steel, built-up-roofing, deep wells, tile drains, pumps, filtration equipment, motors.

Lafayette: Fraternity House, \$75,000. 3 sty. & bas. near Purdue University, West Lafayette. Owner, Phi Kappa Psi Fraternity of Purdue University, Lafayette, Indiana. Architect, Verner, Wilhelm and Molby, 602 Book Building, Detroit, Michigan. Plans in progress. Brick.

Sheridan: Milk Plant (alteration and addition) \$25,000. Private plans. Owner, Indiana Condensed Milk Co., 220 No. Pennsylvania St., Indianapolis and Sheridan, Indiana. Preliminary plans in progress. Brick, comp. roof, new equipt., motors.

Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field. Copy should reach us, at the latest, Wednesday of the week of publication.

SCHOOL HOUSE NOTICE TO CONTRACTORS.

Notice is hereby given, That on the 27th day of December, 1922, at the Inglefield Community House, at Inglefield, in Scott Township, Vanderburg County, Indiana, the undersigned Trustees of Scott School Township, Vanderburg, County, Indiana, will receive sealed bids or proposals for the construction of a one-story and basement brick school building in said Scott Township, known as the Scott Township Joint High School and Elementary School, in accordance with the plans and specifications now on file in the office of said Trustee, Rural Route, Inglefield, Indiana, and in the office of Anderson & Stingle, architects, McCurdy Building, Evansville, Indiana. Said bids will be received up to eleven (11) o'clock A. M., on said 27th day of December, 1922.

Separate bids or proposals will be received on the several branches of work required to complete said school building, or combinations of several branches will be received; bidders may also submit a single bid for the construction of the entire work.

The estimated cost of said construc-

tion is fifty-five thousand dollars (\$55,000).

Bids must be filed on the form as prescribed by the State Board of Accounts, and must be accompanied by a certified check equal to three (3) per cent of the bid, submitted; said check to be forfeited to the Township Trustee in the event the successful bidder refuses or fails to enter into a proper contract for the construction of the work bid on and to furnish proper surety within three (3) days after the awarding of said contract to the said bidder. Said Trustee will examine said bids and award the contract for the construction to the lowest and best bidder therefor. Bids to provide for the furnishing of all labor and materials for the construction of said school house, or the respective part of the same bid on, in accordance with the plans and specifications.

Notice is further given that said proposed school building is to be located at the intersection of the Base Line Road and State Road in said Scott Township, in the southeast quarter of the southeast quarter of section thirty-three (33), range ten (10) west, township four (4) south.

The School Trustees hereby reserves the right to reject any one or all bids on the above work.

JAMES W. LITCHFIELD,
Trustee of Scott School Township.
STONE & KRENZBERGER,
Attorneys for Trustee.
Dec. 9-16-1922.

SCHOOL HOUSE. NOTICE TO CONTRACTORS.

Notice is hereby given that until the 15th day of December, at 2 o'clock p. m., the undersigned, William Cunningham, as trustee of Monroe School Township, will receive sealed bids for the construction and completion of a new one-story Madison County, Indiana, and the Advisory Board of said Monroe Township, and basement brick grade school building, and also for the construction and installation of heating, ventilating, plumbing and water supply system thereof, and electric wiring therein, for the use of said school Township. All in accordance with the plans and specifications therefor, which are on file in the office of said Trustee, located in the 3-H Block on North Harrison Street in the City of Alexandria, Indiana, in said Township, County and State.

True copies of said plans and specifications may also be seen at the office of the Indiana State Board of Accounts at the State House, in the City of Indianapolis, Indiana, and at the office of E. F. Miller, the architect, in Room 545 in the Farmer's Trust Building, in the City of Anderson, Indiana. Bidders desiring duplicate copies of the plans and specifications may obtain same by depositing ten (\$10.00) dollars to cover return in good condition of the general construction documents, not later than the day of letting contract. The estimated cost of the entire work, including architect's fees is sixty-eight thousand (\$68,000.00) dollars.

All bids must be on forms prescribed by the State Board of Accounts, and same will be received at the office of said Trustee up to two o'clock in the afternoon on said date, at which time and

place said bids will be publicly opened, and read and the letting of said contract will begin, subject, however, to all rights of said Trustee and said Advisory Board, as provided by law and as herein set forth.

Bids may be submitted for the general construction of said building and separate bids may be submitted for the (1) heating and ventilating, (2) plumbing and water supply, (3) electric wiring, or any one of same. The contract will be awarded in such manner as to the best interest of said School Township. Each bid must be accompanied by a certified check for not less than (4) per cent of the gross bid submitted, payable to said Trustee, who shall have the right to cash check of the successful bidder and the money so obtained by said Trustee shall be retained by him as liquidated damages in event said bidder fails, within ten (10) days after acceptance of this bid, to execute a contract in the form and with the provisions desired by said Trustee and approved by said Advisory Board covering the construction and completion of said work, and at the same time to deliver to said Trustee a good and sufficient bond in an amount and with security to be approved by said Trustee and said Advisory Board, conditioned as required by law.

The right is expressly reserved by said Trustee and said Advisory Board to reject any and all bids and to take reasonable time to investigate both the bids and the qualifications of the bidders.

Dated this 22d day of November, 1922.

Signed: WM. CUNNINGHAM,
Township Trustee.
MARCELUS M. WALKER,
ROY LADD,
DAN YOUNG,

Advisory Board of Monroe Township,
Madison County, Indiana.
Nov. 28. Dec. 2-9.

SANITARY SEWER. NOTICE TO BIDDERS.

Bids will be received by The Board of Trustees of the Indiana State Normal School at 9 o'clock a. m., Tuesday, December 19, 1922, at the office of the Dean, The Ball Teachers' College, Eastern Division, Indiana State Normal School, Muncie, Indiana, for the construction and completion of the Sanitary Sewer at the Ball Teachers' College, Eastern Division, Indiana State Normal School, Muncie, Indiana. Bids must be made on form No. 96 prescribed by The State Board of Accounts and must be accompanied by certified check equal to 5 per cent of amount of bid. Bids must be in accordance with provisions of drawings and specifications prepared by Lester Janney, Engineer, Muncie, Indiana; copies of which may be found at the office of the Dean of the Faculty of Ball Teachers' College, Eastern Division, Indiana State Normal School, Muncie, Indiana, and at the office of the Registrar of the Indiana State Normal School, Terre Haute, Indiana. Total estimated cost of the proposed sewer is \$18,810.00.

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Helen C. Benbridge, Secretary.
Dec. 2-9-16.

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Official Paper

Indiana Society of Architects

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"Your Individual Prestige Can Never Be Greater Than the Prestige of the Profession to Which You Belong"

DEPRECATES GRATIS SKETCHES, HOLDS THEY CHEAPEN THE PROFESSION.

The question of an architect making and furnishing sketches gratis to a prospective builder has long been a debatable one among architects, nor has it escaped the attention of the members of the Indiana Society of Architects from time to time. It is a matter for the serious consideration of the architectural profession, and though men have their own way of doing things regardless, nevertheless, the points brought out by Architect Max Dunning, Chicago, in speaking to the members of the Illinois Society of Architects, are well made.

Mr. Dunning said: "In speaking on the subject of sketches I am going to stick to the point of furnishing them gratis. I think that while architecture is an artistic profession, it can be based on logic and common sense.

"I want to say a word about what I consider to be the real value of architectural service and what the professional man should give as service. We bring to a practical problem of building the accumulated knowledge of the facts relating to building. We have presumably perfected ourselves in a knowledge of what has been done, and we are conversant with all of the best methods of producing a given result. In addition to that practical knowledge we have a knowledge of the business connected with building, and see that the money of our client is properly expended so that it brings to him a result commensurate with the amount that he spends. In addition to that we have a knowledge of the laws, the codes, the different legal aspects of building, drawing of contracts, etc., and then beyond all that is the artistic side of it. We apply this to the practical problems in a thoroughly business-like way which lends harmony to the whole.

"Now in performing our proper function in the profession and discharging our responsibilities, we should know about all these things and give the client the benefit of that large knowledge of the construction industry. It seems to me

that the greatest value in an architect's service is not a value that can be indicated in a preliminary sketch at all. It is something that goes deeper than the mere physical arrangement of the problem. I also believe that most people, when they are given something for nothing, attach very low value on that something that is given. I believe that the giving of preliminary sketches simply to illustrate what you have in mind, cheapens the profession in the eyes of the public so that they value the professional services of the architect on the basis of the drawings that he produces, and they measure it by the size and number of those drawings, and they forget all about the real value of the professional man.

"Now let us look at it a minute from the other standpoint—from the architect's standpoint, and the state of mind that he can himself fall into by making so many gratuitous preliminary sketches. Our architects graduate from the drafting room and from the school. In the academic period of training and drafting room period of experience they are dealing with drawings; they are making drawings. They value the measure of service they give in terms of drawings. It is natural when a young man goes into business (I did the same thing myself) to employ this method in securing commissions. He can take a scheme and work it out quickly and by some streak of luck is given the work. He figures that in a short time he can make the preliminary sketches. That was my point of view, also, but that did not get me much. These preliminary sketches, which we young architects make and which the older architects with business in their offices make and from which they derive their profit, and must if they are going to keep business going, are intended to suggest the value of our services, and they are thrown out about as quickly as they are produced, and it sometimes happens that the architect wishes he could destroy those particular preliminary sketches if he were ever selected to build that particular building, as they are of such nature that study and concentrated judgment would change.

"However, I believe that the most seri-

ous aspect of the whole situation is that we absolutely cheapen the value of our services in the eyes of the public by giving them something for nothing. You would not think of going to a doctor and asking him to give you a sample prescription—you can't even get a pint these days. You would not go to a lawyer, if you expected him to handle a case, and have him prepare for your consideration a sample brief; because that sample brief represents the lawyer's knowledge of the proper attack on that particular legal problem. That prescription of the doctor's indicates the knowledge and training of years and years in the diagnosis of cases. The architect should think of his drawings simply as a prescription for carrying out building construction and they are documents which represent the knowledge that he has accumulated for years through the understanding of materials and phases of construction, the development of which he has kept abreast.

"We should not cheapen it by giving it away. I can understand perfectly well that it is impossible to make a general ruling to fit all cases. There are certain instances where people come into your offices where it would be very foolish—in other words you know the background—but I think, as a general rule, you should impress upon your client the idea of the value of your own services, and the knowledge that this service represents, and charge him for it.

"I believe that the whole thing of giving service free is absolutely wrong, and I believe too, that the selection of an architect on the basis of sketches is absolutely wrong. I believe that in selecting an architect to build a building, and incidentally to control the expenditure of the money it costs to build a building, the selection should be based on his understanding of economic conditions, and an architect should be investigated just as carefully as a lawyer or doctor should be investigated on a basis of his demonstrated knowledge and ability to handle his particular kind of work.

"The practice of giving sketches gratis only drives the people away, and cheapens the value of professional service in the eyes of the people who employ it."

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Official Paper

Associated Building Contractors of Indiana

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Indianapolis

ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller.....President

Office, 411 Sycamore St.

NOVEMBER BUILDING FIGURES IN EVANSVILLE STACK UP WELL WITH THOSE OF A YEAR AGO.

While falling away from the building records of the last few months Evansville's building operations for November still stood out ahead of the figures recorded for the same period in 1921. There were thirty-three more permits issued in November, 1922, than during the corresponding period in 1921, while in the matter of estimated valuations covering the permits granted in November, this season showed a 24.6 per cent gain over the total for November a year ago.

As has been the order in Evansville month after month, this year November ran true to form and developed no unusually large project to boost the building totals. Residence work was the predominating factor in holding up building activity just as it has done all season. It has been one of the greatest residential building years Evansville has ever experienced and in this fact, though the building figures have not mounted to the levels established in other communities, there is consolation. If there was one thing of which Evansville was short it was housing facilities and the building effort directed toward new houses and homes has been of great benefit to the city.

The local building record announced by city building inspector Edward Kerth is:

Month.	Per.	Est. Valuation.
November, 1922, 101		\$112,900
November, 1921, 68		90,580

Gain, Nov. 1922, 33.....\$ 22,320

CHIPS AND SHAVINGS.

Announcement has been made that Scarborough-Davis, general contractors, have increased their capital stock from \$25,000 to \$50,000. Increased business is given as the cause.

C. Kanzler & Son, have been given the carpentry contract on the big Donaldson Arms apartment building.

Excavation work has been started on the new half-million dollar Bosse High School. While the general contract went to outsiders the majority of the sub-contracts went to Evansville contractors.

PROSPECT GOOD FOR A RECORD IN LOCAL BUILDING FIGURES.

Contrary to the usual December showing in building, the record of the Evansville city building inspector's office should be a good one this month, in fact, it would not be surprising if December proves to be the best month of the year.

There are two big projects, the new Benj. Bosse High School and the Donaldson Arms apartment building, for which permits will probably be issued this month. If so, these two pieces of building construction will shoot the month's estimated valuation up to over a million dollars, a figure nowhere approached by any of the other eleven months of 1922.

FT. WAYNE

BUILDERS' EXCHANGE
Member State A. B. C.

Max Irmscher.....President

Eph Dailey.....Secretary
825 Calhoun St.

Phone 2001

BOTH GAIN AND LOSS SHOWN BY NOV. BUILDING FIGURES AT FT. WAYNE.

Despite the fact that local building operations for November failed by a considerable margin to reach the figures established by several of individual preceding months, nevertheless, the sum total of the estimated valuations for the permits issued during the month just recently closed amounted to \$600,300, a sum not to be scoffed at. True it is that this three-fifths and over of a million dollars ran behind the totals of the last six months, and even trailed the November, 1921, figures, but, on the other hand, exceeded the building operations of the early months of 1922 and bested the building construction performances of eleven of the months of 1921. Thus, taking everything into consideration, Ft. Wayne's November building activities were not half bad after all, despite the loss that is revealed by certain comparisons.

During the month there were 175 permits granted as against 83 for the corresponding period in 1921. New home construction still led in the matter of permits issued, 86 of them being for this type of building. The big estimated valuation total for November, last year was due chiefly to one permit, that for the South Side High School. This November the largest permit called for an estimated expenditure of \$30,000, the rest of the total being made up from numerous smaller projects, showing that

in reality there was much building activity during the month of November this year in the way of the smaller classes of work.

The comparative building figures for Ft. Wayne are:

Mo.	Per.	Est. Valuation.
November, 1922, 175		\$600,300
November, 1921, 83		\$1,178,760

There was a gain of 92 permits over the corresponding period last year, but a loss of \$578,460 in the way of estimated valuations.

STILL HOLDING TO SECOND PLACE IN INDIANA BUILDING.

Then, again reverting to Ft. Wayne building activity, but on the basis for the entire eleven months of 1922, one finds her still holding second place as compared with the building construction that has been carried on in the other Indiana cities.

Indianapolis, owing to her size, naturally leads the procession by a wide margin with Ft. Wayne and South Bend immediately following, a wide gap separating them, to their advantage, from the other cities.

The latter city, while turning in close to a million dollars worth of building in November, gained on Ft. Wayne, but the advantage was not sufficient to enable her to pass the Allen County metropolis. These two northern Indiana cities have staged a pretty building race during 1922 and the final outcome as to which shall occupy the honor of runner-up position depends on what each city will do in the way of building construction during the month of December. It is a race right down to the wire.

Bursting around the far turn the two cities are now coming down the home stretch with Ft. Wayne in front by a neck, i. e.:

City.	Est. Valuation
Ft. Wayne	\$9,200,049
South Bend	8,950,940

Ft. Wayne leading by.....\$ 249,109

DIMENSION STUFF.

General contractor Max Irmscher & Sons are busily engaged on the construction of a new dairy building for the Ft. Wayne Dairy Co. This structure will be 4 stys., 60x100.

The open fall weather has been a boon to local contractors who have been most fortunate in getting the big bulk of their new structures well on their way or under roof. Hundreds of residences have been completed while others have reached the stage where weather conditions will have little or no effect in delaying the construction effort upon them.

Remember

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320 Peoples Bank Building

MEETINGS.

Executive Committee meets second Tuesday each month.
Painter Contractors meet every Wednesday, 4.00 p. m.
Plasterer Contractors meet every Wednesday noon.
Mason Contractors Association meets every Thursday—1 P. M.
General Contractors meet second Friday each month.

PLANS ON FILE.

At 320 Peoples Bank Building, Indianapolis.
None this week.

WAIVER OF LIEN.

None filed with Marion County Recorder this week.

MASON CONTRACTORS TAKE TO CIVIC AFFAIR DISCUSSIONS.

That an association of contractors can be made more than a mere routine functioning body dealing only with trite and prosaic subjects, in fact, can include various and attractive features that will appeal to its members and strengthen the morale of the organization, has been demonstrated at Indianapolis. There is no livelier crowd of contractors, or one in more direct touch with the situation as it effects the industry, than the Mason Contractor's Association in this city. They are always on their toes and keep the situation in hand.

Having taken care of the business features of their organization the masons instituted other diversions among which is the annual picnic, a real event, too.

Recently the masons incorporated in their meetings a civic affair feature during which they take up matters of civic interest for discussion, get reports of proposed city legislation, act on moves that they consider will prove beneficial to the welfare of the community, and investigate certain ordinances that have a bearing on their business. Quite some surprise was occasioned recently when the masons really got into city legislation and found so much that was really vital, some of it old and almost forgotten yet very important, buried under an avalanche of succeeding laws. Several of the contractors suggested that there were enough laws on the books right now to insure a safe and sane city, and proposed that the city council take a legal holiday for six months or a year, pass no new ordinances, but recommend that the old ones be observed and enforced.

This feature of the association has proved most beneficial in that each week

the members turn out in force to listen to and take part in these civic discussions. Several matters have been developed that, followed through, have aided the masons materially both from an individual and a collective standpoint.

INDIANAPOLIS BUILDING SHOWS 48% GAIN OVER SAME PERIOD IN 1921.

The late fall season seems to have no retarding effect on new building construction in Indianapolis during the month of November on the face of the latest figures submitted by the city building inspector. The estimated valuation of the new building work, for which permits were granted last month, amounting to \$2,503,014 not only surpassed the October total but even exceeded the individual records for August and September, resulting in November taking fourth position as one of the best building months of the eleven so far this season.

Another interesting feature of the November, 1922, building performance at Indianapolis is that the figures registered are better than those of any month of 1921. These figures represent a gain of 133.6% over the corresponding period a year ago.

Adding the latest building total to those recorded for the previous ten months of this year a sum is obtained that will stack up well against the 1922 record of any other city of similar size in the country. While October's figures carried the current year's building volume to a total 42% in excess of the volume for the corresponding period a year ago, the November record jumped the gain to 48% over last year's business.

The monthly figures registered in 1922 and the entire local building total to date are:

	1922	1921
January	\$ 580,706	\$ 1,025,529
February	1,170,398	617,834
March	2,065,051	2,336,964
April	2,566,389	1,527,647
May	3,420,847	1,550,601
June	2,289,941	2,499,275
July	3,349,348	1,401,115
August	2,074,941	1,235,260
September	1,928,956	1,456,725
October	2,431,513	1,743,532
November	2,503,014	1,071,319
Total	\$24,381,104	\$16,465,801

WESTWARD HO!

Indianapolis will be well represented next week at St. Louis, Mo., when the Mason Contractors Association of the U. S. and Canada gathers there for its annual convention, December 11, 12 and 13.

The delegation will leave Sunday night so as to be on hand right from the start. Those in the Indianapolis party will be Mr. and Mrs. Frank Gray, Mr. and Mrs. James Rybolt, Mr. and Mrs. James Hodgson, Mr. and Mrs. Walter Wise, Harry Fenton, Leon Joyce, C. Keelv. B. V. Perry, E. H. Pierson, T. J. O'Hara and Ed. Stevens.

BUILDING PERMITS.

(\$4,500 and Over)

Week of Nov. 30th to Dec. 7th.

Duplex Apts.: (2) \$19,500 each, 3261-63-65-67 College Ave. Owner, Circle City Constr. Co., Fletcher Trust Bldg. Brick veneer.

Theatre: \$10,500, 1601 Howard. Owner, Frank J. McCoy, at site. Contract let to J. J. Reith, 550 N. Temple.

Residence: \$15,000, 3640 Fall Creek Blvd. Owner, Duplex Home Building Co.

Residences (2 doubles), \$8,000 each, 5141-43-47-49 College. Owner, F. M. Bartholomew and Son, 3720 Salem St. Owner builds.

Residence: \$12,000, 2901 N. Delaware. Owner, Emma J. Smith, at site. Day work.

Garage (rem.), \$12,000, 210 N. Meridian. Owner, William C. Coleman, 210 N. Meridian St. General contract let to Frank Bremmerman and Son, 1050 W. 30th. New floors and fireproofing.

Residence: \$8,500, 411 Poplar Road. Owner, Frank Asher, at site.

Residence (Double), \$9,500, 4025-27 Carrollton. Owner, Templeton-Freeman Realty Co., 42nd and College. Owner builds. Excavating.

Residence: \$9,000, 4244-46 Graceland. Owner, Archie R. Kimmick, 816 Odd Fellows Bldg. General contractor, Indiana Builders Corp., I. O. O. F. Bldg.

Residence: \$8,500, 3966 Central. Owner, George W. Watkins, 3436 Winthrop. Owner builds.

Residence: \$8,000, 413 E. 40th. Owner, Geo. W. Watkins, 3436 Winthrop. Owner builds.

Residence (double): \$8,000, 3723-30 Ruckle. Owner, Paul V. Matkin, 306 Lombard Bldg. Owner builds.

Residence: \$7,700, 817-19 Garfield. Owner, Anna L. Wilson and Vesta Wilson, 3020 N. Capitol. Contract let to Roy Wellington.

Factory: \$7,000, 518 W. McCarty. Owner, J. F. Barrett, 349 W. South St. Concrete block.

Residence (double), \$6,500, 3822-24 Park. Owner, Liddie J. Riggins, 3823 Park Ave. General contract let to J. A. Totten, 1454 McLain St. Excavating.

Residence: \$6,500. Owner, C. W. Cleve, % Contractor. General contract let to O. B. Campbell, 5908 Broadway. Excavating.

Residence (double): \$6,500, 2410-12 N. Delaware. Owner, A. F. Zainey, 32 N. Delaware St. Owner builds. Excavating.

Residence: \$5,500, 3713-15 E. Market. Owner, J. F. Lichtenberg, 59 N. Kealing. Contract let to J. W. Taggart, 127 Linwood. Excavating.

Residence: \$5,500, 207 W. 44th. Owner and builder, Realty Finance and Bldg. Co.

Garage: \$5,000, 1558 Roosevelt. Owner, Geo. Lorentz, 1558 Roosevelt Ave. Contractor, Service Constr. Co., Castle Hall Bldg.

Residence: \$5,000, 1219 W. 34th St. Owner, B. F. Payton, 923 Udell St. Contract let to A. L. Avey, 538 N. Tacoma St.

Residence: \$5,000. 4108 N. Capitol. Owner, Henry E. Rogers, 322 E. 47th St.

Residence: \$4,800. 827 Tecumseh St. Owner, E. M. Schofield, 806 State Life Bldg.

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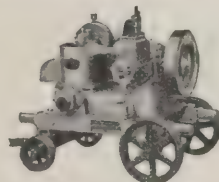
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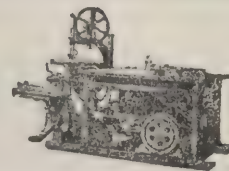
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EAST CHICAGO WHITING****Building Trades Employers'
Association.****Member State A. B. C.'s**J. Wesley Reed ----- President
E. E. Cole ----- Secretary108 Citizens National Bank Bldg.,
Hammond, Indiana**MEETING NIGHTS**General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.**INFLUX OF IMMIGRANTS NOT OF
THE MAN POWER IN DEMAND.**

Figures issued by the U. S. Department of Labor show that for the twelve months ending June 30th, the net immigration was only 88,520, and that as far as men were concerned, there was a loss, the surplus in immigration over emigration being among the women and children.

It seems that actual admissions fall below the number permitted by law. Especially is this true in regard to the allotted quotas from northern Europe, where war devastated man power is away below normal, a condition that has made for the employment of all able bodied men and has practically put a quietus on the immigration of males from that section of Europe. This is in a way an unfortunate situation for it was from northern Europe that the best material for Americanization came, men who were sturdy, more or less skilled in various trades, and who were intent upon settling down as good citizens in the new country to which they had moved.

On the other hand, there are certain would-be immigrants from other sections who are more numerous than the quotas allowed and examinations show that only a small proportion of these are fit recruits for manual labor in America. This latter condition can be traced to the skill of certain racial groups whose members belong to the trading and clerical classes.

Prevailing educational conditions in Europe are such that the common labor element has little chance to rise to the educational requirements demanded by our Immigration Laws. This latter feature was well meant, but it is not working out as intended, the actual net result being that few good husky workers can meet the test, instead, many women, children and undersized, feeble bodied males of the clerical classes get by the educational requirements, while the laboring element actually needed finds the bars up.

At first glance it would seem that such amendments should be made to the Immigration Laws as would enable good, sound men to enter the country, who could support themselves by manual labor. Given a real chance for education these foreigners have shown they will grasp it and they in time would become a benefit to the country. They could be taught trades and it would be a good investment to all concerned.

As matters stand now, our own young men are refusing to enter the building tradesmen's fields resulting in a national gradual decline of mechanics, especially in the building trades. One thing is certain, if something is not done to recruit building trades mechanics from the supply of men who come in from the other countries it will not be long until there is such a shortage of help in the building construction field that the wage demand will be so exorbitant as to make a building operation an expensive luxury.

**GIVE THIS INQUISITOR THE
CONCRETE BICYCLE.**

Some one has asked if it would be really safe for a crowd of building contractors to go to Michigan City? Why not?

All joking aside, it is safe to say there is not a cleaner set of business men in Indiana than the membership of the A. B. C.'s, nor one that has worked harder to raise the standard of its industry to a level far beyond reproach. Contracting competition in Indiana has been keen, but the A. B. C.'s have never feared an investigation, in fact, some time ago when someone in the State Legislature suggested an investigation of the Indiana Building Industry the A. B. C.'s arose as a man to welcome and aid in such a move, being only too willing to set forth before the Public, the true nature of conditions as it really existed.

MORE LIKELY.

Some of our members claim that the Thanksgiving "Turk" raised the dickens with certain digestive organisms and inspired grouches here and there. Could it be that it was the price of the "turk" rather than the old bird itself that caused the grouch?

E. E. COLE.

MUNCIEAssociated Building Contractors
Member State A. B. C.Chas. Rowe ----- President
J. A. Gallivan ----- Secretary

314 Main Street

NO BETTER TIME THAN NOW.

The slack season for building has settled down over Muncie and the other Indiana cities of her size and during the dull period the contractors would do well to devote some thought to perfecting plans to encourage, as much as possible, building construction operations next season. One thing that influences building activity more than any one other factor is the state of conditions that exist. This is a feature that the contractors should not ignore. They can, by means of an organization, representative of their industry, absolutely control the situation if they will but stand, pull, and work together. That which it is sought to achieve is not for the benefit of one or two contractors but for the many. Concerted action makes for unity and solidarity and from the bulwark thus erected comes protection for the little fellow as well as the big operator. The

organization effort will tend to put the industry on a business basis, enter upon settlements of business points from a general standpoint rather than from a selfish individual one, tackle labor problems as a whole instead of putting them up to each individual contractor.

These are things right now for the building contracting forces of the smaller, as well as the larger, cities to think about. What better time than this winter to recruit our association forces so that when the spring season opens the contractors can face its problems as a unit? Lets cut out the old higglety-pigglety, every fellow for himself methods and make contracting the efficient business it should be.

**TALK SEEMS TO BE AS FAR AS THE
APPRENTICE MATTER GETS.**

Over in Ohio the lack of skilled building trades mechanics is a matter of much concern and the contractors of that section of the country like those in Indiana have turned their attention to the encouragement of more apprentices. The bricklayers, masons and plasterers recently went on record, after a conference, as favoring co-operation with the employers in enlarging the number of apprentices wherever such steps are taken in accordance with the code of the local unions. This action was taken with the idea of discrediting the general belief that has been growing that the unions do not want new men added to the supply of building trades mechanics.

It is all very well for the employers and the unions to talk about increasing the supply of apprentices, but, all the talk in the world is not going to make more building trades mechanics unless some definite action is taken towards a means for producing these embryo workmen.

We have heard a lot about apprentices in Indiana, but to date we have heard of no locality that has actually taken steps to bring this matter to a head, or effectively create more apprentices.

LOYALTY TO THE HELP.

A committee of employers were debating a new wage scale and questions arose, naturally, as to which crafts were entitled to the most money. One member remarked:

"The main thing about a bricklayer, it seems to me, is that he has got to look strong. As for an electrician, he is nothing but a sort of wire drawer. But when you come to sheet metal work, there is a real skilled trade."

Needless to say, the speaker was a sheet metal employer who had learned that trade in his youth. Needless to say, also, his sally started an argument in which every member upheld the claims of his own employes to be regarded as at least equally skilled with any craft in the industry.

With all the arguments that have been made for loyalty by employes to employers, it is only fair to note that the typical employer has a keen sense of loyalty to his own employes. In the building trades, it is doubtful if union influence is so potent a means of keeping up wage scales as are the feelings that develop between employers when any of them think that their own craft is being disparaged.—(National Bulletin of Association of Building Trades Employers.)

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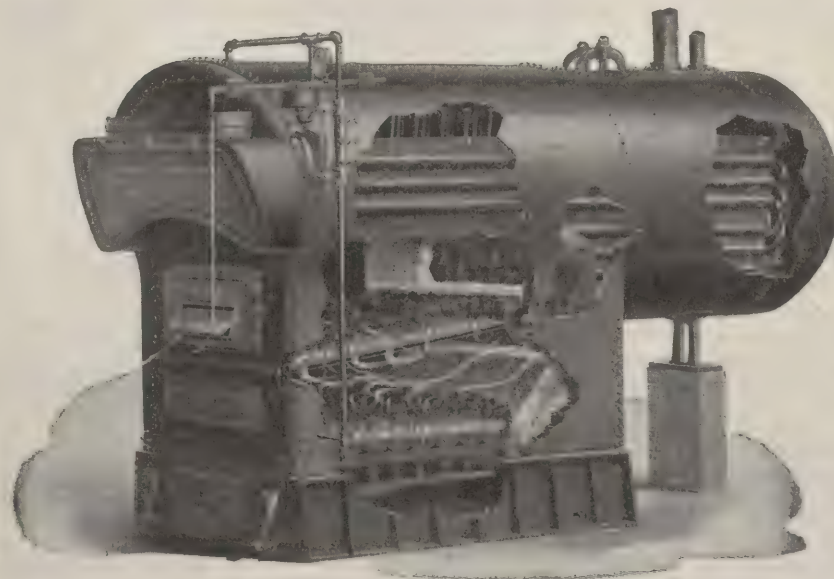
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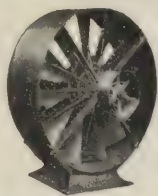
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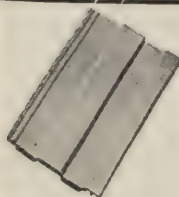


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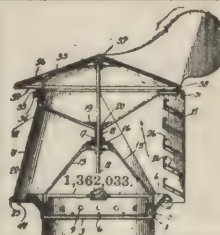
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Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

VOL. IV

INDIANAPOLIS, INDIANA, DECEMBER 16, 1922

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CONVENTION ACTIVITIES TO HOLD FORTH IN INDIANA BUILDING CIRCLES IN JANUARY

January promises to be a busy one for Indiana building interests with four big state organization meetings scheduled at one time or another that month.

These meetings will undoubtedly draw large attendances at all sessions as business problems, methods, and means of extending the function of the various bodies will be up for discussion. Then, too, the promise for the 1923 building season as indicated by contemplated work, and the general optimistic tone that is sounding through the atmosphere of Indiana building circles should lend added attraction to all the gatherings.

First on the calendar comes the assemblage of the Indiana architects in the shape of the semi-annual meeting of the Indiana Society of Architects, which is to be held at Indianapolis, Saturday, January 13th, probably at the Lincoln Hotel. Of added interest to this meeting will be the annual Architectural Exhibit of Indiana Architects, to be held during the month of January at the John Herron Art Institute.

Next on the schedule will be the annual convention of the Indiana Builders' Supply Association at the Claypool Hotel, Indianapolis, January 15 and 16.

At the close of the foregoing affair the lumber men of Indiana will make Indianapolis a mecca to attend another annual gathering, this to be held by the Indiana Retail Lumber Dealers' Association, January 17 and 18, also at the Claypool Hotel. Every year the lumber dealers' convention is the largest of any of the building fraternities of Indiana and draws in four or five hundred delegates.

As a wind-up to the month's convention activities of the various building interests the Associated Building Contractors of Indiana will assemble at

Michigan City, January 23, 24 and 25th, for their annual business session. It is expected that several hundred Indiana builders will attend this meeting from all over the State and the Michigan City contractors, aided and abetted by the local Chamber of Commerce, are busily engaged in shaping plans for a royal welcome for the delegates. The convention will be held at the Spaulding Hotel, Michigan City's new half million dollar structure.

HOW ABOUT IT?

Have you Indiana contractors in the state launched your annual A. B. C. convention drive yet?

From now on it should be "On to Michigan City" among the contractors.

The fellows up in northern Indiana have set the machinery working to assure a real three days session for Indiana builders in the lake shore city in January, and from the preliminary information that has come drifting in it is going to be some event.

The Chamber of Commerce has gotten behind the Michigan City contractors and is co-operating with them to the fullest extent in their plans and arrangements. The Spaulding Hotel, Michigan City's newest hostelry, a half million dollar structure, has been engaged as the convention site and the honor of holding the first big assemblage there has been delegated to the contractors. There are several features in addition to the routine convention that are on the program but, except for the information that they will be most attractive, the details are being held back.

STATE ARCHITECTS RESPOND TO CALL AND ENDORSE REGIONAL MEETING MOVE

To all intents and purposes a new interest in the Indiana Society of Architects has been aroused by the recently instituted plan of the Board of Directors whereby every other month a regional meeting is being held in some city except Indianapolis, where, heretofore, all meetings had been held. These gatherings were conceived with the idea of inviting in the architects of certain specified sections of the state within easy access to the city where a designated meeting was to be held. The directors were convinced that there was a deep-rooted latent interest in the I. S. of A. among the architects but the drawback was to be found in the time and expense involved in getting to Indianapolis and

back home again. Thus the directors decided to experiment with the regional idea to bring the state architects in closer contact with the aim, purpose and function of the Society. That their conception of the situation was correct and their endeavor to thus meet it has proven out, the result thus far justifying the action they have followed in the matter.

When a roll call was made at the Ft. Wayne meeting an analysis showed that nine cities were represented by the score or more of architects present. The next meeting was held at Terre Haute last Saturday, December 9th, there being a fine turnout, and again nine cities were represented. Both at Ft. Wayne and Terre Haute were numerous architects who admitted that while they had been interested in the I. S. of A. they had been prevented in one way or another from ever before attending a Society meeting. These men acknowledged that the organization had been more or less of an abstract matter with them and that they were pleased for the opportunity of getting into more intimate touch with the body and to feel the sincerity of purpose with which the officers and directors were imbued. These men heartily endorsed the regional meeting idea as a means of creating a beneficial professional relationship amongst the Indiana architects, building up a solidarity in the architectural ranks, and giving to the profession a unity that would make for power when a definite stand was taken in legislative matters or those pertaining to public action. The spirit displayed at both these meetings was inspiring and latent with future promise.

Now, to get down to the Terre Haute meeting. Warren Miller and his local brother architects did themselves proud in showing the visitors a fine time. Every moment, from the arrival to the departure, was a pleasant and busy one. Arrangements had been competently made to take care of the noon luncheon with the management of the Terre Haute Elks, to whose tasteful and spacious club quarters the visiting architects were ushered, there to become acquainted during the course of a pleasing meal. Owing to the sharp chill of the atmosphere and biting wind that enveloped the city the sight seeing tour was abandoned, instead the visiting architects were escorted to the palatial Indiana, Terre Haute's newest play house. Hardly had the architects become comfortably seated in a special section reserved for them than there flashed across the stage screen, "Terre Haute extends a hearty welcome to the members of the Indiana Society of Architects," to which the large

(Continued on Page 15)

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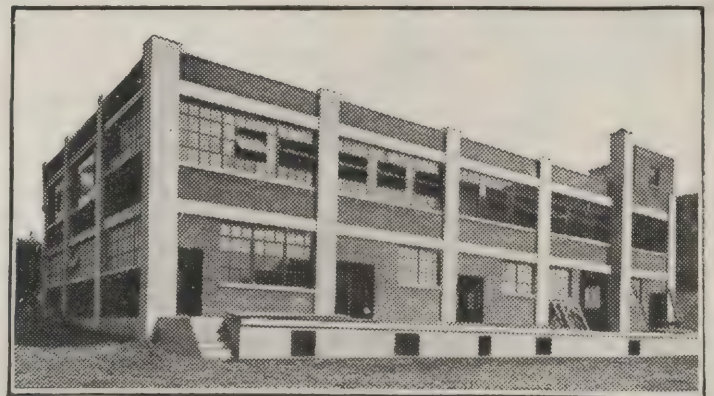
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News of the Week

The asterisk (*) prefix to an item indicates additional information to report published in previous issue.

INDIANAPOLIS.

***Physicians and Dentists Building:** \$875,000. 9 sty. & bas. 67x130 and garage 1 sty. 67x65. S. E. Corner of Pennsylvania and Michigan Sts. Architect, William K. Eldridge (Company's archt.) 914 Hume Mansur Bldg. Owner, The Pennsylvania and Michigan Realty Co., E. G. Spink, Prest., 914 Hume Mansur Bldg. C. J. Schuh, Secy., 914 Hume Mansur Bldg. Hays Buskirk, Treas., % Fletcher-American Co. Builder, The E. G. Spink Co., 914 Hume Mansur Bldg. Plans in progress. Start excavating at once. Owner will build and award separate contracts. Brick, 3 stys. Bedford stone, 6 stys. brick, comp. roof, tile and marble works, elevators, steam heat, metal windows, reinforced concrete and hollow tile construction.

Community Building (Settlement House) \$100,000. Corner Tremont and West Michigan Sts. Architect, William Earl Russ, Meridian Life Bldg. Owner, Christamore Settlement Association, Mrs. Olive Edwards, 901 King Ave. Plans in progress. Brick.

***Hospital, Power Plant and Nurses' Home:** \$90,000.00. "Old Chas. Major Homestead," Shelbyville, Indiana. Architect, D. A. Bohlen and Son, 1001 Majestic Bldg., Indianapolis, Ind. Owner, City of Shelbyville, Pleas E. Greenlee, City Clerk, City Hall, Shelbyville, Indiana. Owner receiving bids to close December 29th at 7:30 p. m. (See legal advertising in this issue). Face brick, reinf. concrete and hollow tile floor construction, slate and comp. roofs, tile partitions, steel truss roof, iron stairs, elevator doors, hollow metal doors, terrazzo work, metal weatherstrips, dumb waiter, metal windows, C. I. boilers, high pressure boiler, vacuum pump, stone trim.

***Factory Building:** 1 sty. 60x219. Shelbyville, Indiana. Architect, Rubush and Hunter, 428 American Central Life Bldg., Indianapolis. Owner, Kennedy Paper Bag Co., Shelbyville. Archt. receiving bids. Frame, steel sash, skylights, monitor roof.

Commercial Building: (general rem.) \$10,000. West Walnut St. Private plans. Owner, General Motors Co., Walnut and Illinois. Receiving bids. Brick work and general alterations.

***Residences:** (four 4-family doubles) and private garages for 36 cars. \$70,000. 20th St. between Capitol and Illinois. Architect, Walter B. Stern, Castle Hall Bldg. Owner, George O. Rafert, Brook Willow, R. R. P. O. Box No. 236. Indianapolis. Plans completed. Owner will start work in about 60 days. Stucco, comp. roof, furnaces (16).

Engine, Generator & Refrigerator System: Owner, Board of County Commrs., Leo K. Fesler, Auditor, Court House, Indianapolis, receiving bids to close December 20th, at 1:00 p. m.

Contracts Awarded.

Apartment Building: \$200,000. 3 sty. and bas. 47x186. (48 apts.) 1008 No. Pennsylvania St. Architect, Herbert Foltz, Lemcke Annex. Owner, The Chadwick Realty Co., Henry L. Dollman, and Henry G. Dollman, 420 Merchants Bank Bldg. and J. J. Kiser, V. P. of Meyer-Kiser Bank. General contract awarded to Dollman Construction Co. (without competition) 420 Merchants Bank Bldg. Plans in progress. Start work in 10 days. Brick, stone trim, composition roof, steam heat, incinerators, laundry, tile floors.

Apartment Buildings (2) \$50,000. each. (8 apartments each building) 2 sty. and bas. 40x122 each. 532-38 and 542-48 East Maple Road Boulevard. Private plans. Owner, H. K. Fatout, 3107 Ruckle Street. Owner will build and award separate contracts. Taking bids on material. Brick veneer and frame, steam heat, composition roof, laundry, tile floors.

***Church:** \$33,000. Martindale Ave. Archt., W. H. Garns, 818 Fletcher Trust Bldg. Owner, Scott Chapel, African M. E. Church, 2131 Martindale Ave. Rev. Roberts, Pastor. General contract awarded to R. L. Durlfinger, 2330 No. Illinois St. Start work soon. Brick.

Apartment Building: \$30,000. (4 apts.) 2 sty. and bas. 32x71. 5237 Central Ave. Private plans. Owner, Clifford H. Norman, 2170 N. Talbott, Apt. No. 2. General contract awarded to Conder and Culbertson, 623 N. Noble St. Brick veneer.

Warehouse: \$30,000. 1 sty. 100x100. Architect, Vonnegut, Bohn and Mueller, 610 Indiana Trust Bldg. Owner, Merchants Trucking Co., % Archt. General contract let to Brandt Bros., Indiana Trust Bldg. Brick mill construction. Start work at once.

Residence and Garage: \$30,000. 2 sty. and bas. 36x45. 4511 Broadway. Architect, Fred Wallick, Hume Mansur Bldg. Owner, Alf O. Kauffman, V. P. of The Link Belt Co., Belmont and C. C. C. & St. L. RR. General contract let to Albert Fuller, 436 No. Emerson Ave. Brick, hollow tile and stucco.

Residence: \$15,000. 2 sty. and bas. 27x38. 509 Blue Ridge Ave. Architect, McGuire and Shook, 320 Indiana Pythian Bldg. Owner, Dr. W. F. King, Secy., State Board of Health, State House. General contract awarded to F. Bremerman and Son, 1050 West 30th St. Brick veneer and frame.

***Residence:** \$7,500. 4805 Park Ave. Architect, John P. Parrish, 217 Castle Hall Bldg. Owner, Edw. B. Saxton, % Security Trust Bldg. Owner will build by day labor.

ANDERSON.

Apartment Building (24 apts.) remodeling from Hotel: 717 Meridan St., Anderson, Indiana. Private plans. Owner, James Short and Harvey F. Heffner, 154 East Mound St., Circleville, Ohio. Preliminary plans in progress. Brick.

Lodge Building: \$60,000.00. 2 sty. & bas. Architect, not selected. Owner, Modern Woodmen of America, Oak Leaf Camp Lodge, Anderson, Ind. Contemplated. Mature in the spring. Brick.

BLOOMINGTON.

***Water Works:** \$750,000. to be erected on Griffey Creek, 2 miles north of Bloomington. Engineers, Pierce, Greely and Hansen Engineering Co., Chicago, Ill. Owner, City of Bloomington, % City Clerk, City Hall, Bloomington. Plans in progress. The City Council has passed resolutions authorizing issuance of bonds for \$750,000. Expect to advertise for bids about March 1st.

BLOOMFIELD.

Commercial Garage & Stores: \$40,000. 2 sty. & bas. 68x101. Owner and contractor, C. A. Wilson, Bloomfield. Plans in progress. Expect to start work March 1st. Brick, composition roof, steel sash, freight elevator.

Residence: \$8,000. 2 sty. Owner, Allen Williams. Private plans. Plans in progress. Mature early spring.

Garage & Salesroom: \$25,000. 2 sty. 57x134. Private plans. Owner, Haywood Motor Sales Co., Henry Haywood, Prest. Plans in progress. Mature about March 1st. Brick, steel truss roof, composition roof, steel sash, freight elevator.

***Hotel** (30-room add.) \$15,000. 1 sty. 134x67. Private plans. Owner, Ivan F. Stalcup, Bloomfield. Plans in progress. Mature spring. Brick.

ELWOOD.

***Church:** \$1614 North "A" St. Private plans. Owner, St. Johns Lutheran Congregation, Rev. J. A. Longbaum, Pastor.



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EVANSVILLE.

Department Store and 6 Apartments: \$35,000. 1st and Louisiana Sts. Private plans. Owner, Hamburg's Department Store, 1621 First avenue. Plans in progress. Ready for bids in 30 days. Brick.

Theatre (Motion Picture) 1 sty. & bas. Private plans. Owner, A. Hamburg, % Hamburg's Department Store, 1621 First Ave. Preliminary plans in progress. Brick.

Church (Rem.) \$15,000. 1 sty. & bas. 40x80. Architect, Anderson and Stingle, 108 Upper 4th St. Owner, Stringtown M. E. Church, Rev. Joyce Bailey, Pastor. Plans in progress. Work will consist of brick veneering the old bldg., new pews, art glass, community hall, 38x60, forced air furnace, asphalt shingle roof.

Office and Residence: \$15,000. 1 sty. & bas. 95x22. 2nd and Franklin Sts. Archt. and contractor, Anderson and Veatch. Owner, Dr. R. M. Walden. Plans in progress. Start work soon. Brick, stone trim, asphalt shingle roof.

Apartment Building (4 apts.) rem. from old residence; 2nd and Oak Sts., "Old Bethel Home." Private plans. Owner, Abe Blacker, 309 Monroe Ave. Owner receiving bids. Owner will also be ready for bids about March 1st., on an addition of four apartments to present building.

Contracts Awarded.

Wagon Building: 1 sty. 48x144. 9th and Chestnut. Architect, Alfred E. Neucks, Peoples Bank Bldg. Owner, Evansville Pure Milk Co. General contract let to Anderson and Veatch. Brick, mill constr.

FT. WAYNE.

Schools: \$800,000. (2 new buildings,

large add. to one building and the rem. of another building) Owner, Board of School Trustees, Byron H. Somers, Prest., Ely E. Perry, Secy., Henry J. Bowerfield, Treas., L. C. Ward, Supt. The above projects will be taken up at the board meeting January 8th. If carried, bids will be advertised for about March 1st. Brick.

Car Shops (addition) to be used as a blacksmith shop. Private plans. Owner, Pennsylvania Railroad, R. H. Pinkham, Division Supt., Ft. Wayne. Plans in progress. Brick, steel construction, steel sash, composition roof.

Dam: \$10,000. Maumee River. Engineer, Grosvenor and Brossman, Court House, Ft. Wayne, Chas. W. Brossman, Merchants Bank Bldg., Indianapolis. Owner, Board of County Commrs., Court House, Ft. Wayne. Plans in progress. Concrete.

***Gymnasium:** \$24,000. Van Buren School Township, Kosciusko County, Milford, Indiana. Architect, Griffith and

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Goodrich, 211 East Berry St., Ft. Wayne, Ind. Owner, Milo Maloy, Trustee, Milford, Indiana. Owner receiving bids to close December 30th at 2:00 p. m. Brick.

***School:** (auditorium, gymnasium and new heating plant): "Nebraska School," Boone and Fry Sts. Architect, A. M. Strauss, 706 Shoaff Bldg. Owner, Board of School Trustees, Byron H. Somers, Prest., Henry J. Bowerfield, Secy., Ely E. Perry, Treas. Owner receiving bids to close January 8th, 1923, at 4:00 p. m., at their office, Clinton and Montgomery Sts. Brick.

***Stores** (7) Harrison and Lewis Sts. Architect, Guy Mahurin, Lincoln Life Bldg. Owner, Charles Meigs. Architect receiving bids to close at once. Brick.

***Church:** (addition) 2 sty. 40x100. Architect, Guy Mahurin, Lincoln Life Bldg. Owner, Salem Reformed Church, E. F. Brinkman, Chmn. Bldg. Comm., 827 Kinnard Ave. Plans completed. Archt. will be ready for bids first part of January. Brick.

***Church:** \$150,000. 2 sty. & bas. Architect, Guy Mahurin, Lincoln Life Bldg. Owner, Plymouth Congregation, Rev. Arthur J. Folsom, 120 East Taber St. Plans completed. Archt. will be ready to receive bids January 1st. Brick and stone.

***Dairy Building** (Alt. & Add.) \$50,000. 2 sty. 60x100. Fairfield and Baker. Archt. and Engineer, The McCormick Co., Century Bldg., Pittsburgh, Pa. Owner, The Ft. Wayne Dairy Co., Baker and Fairfield Sts. General contractor, Max Irmscher & Son, 116 West Berry St. Starting work. Brick.

***Store Building:** 1 sty. 24x60. Architect, Pohlmeier & Pohlmeier & Co. Owner, A. W. Manth, 702 East Lewis St. General contractor, Curdes Realty Co., 125 E. Berry. Work started. Brick.

***Planing Mill:** \$10,000. 2 sty. 50x100. Owner, Standard Lumber & Supply Co. General contract to H. C. Wehrenberg and Son, 806 Madison St. Starting work.

Contracts Awarded.

Residence: \$15,000. Architect, Guy Mahurin, Lincoln Life Bldg. Owner, John Brooks, % contractor. General contractor, Gustave Lindeman, 1428 Summit. Excavating.

LAFAYETTE.

***Parochial School:** \$75,000. 2 sty. & bas. (8 rooms) Wabash Ave. Architect, Riedel and Zink, Lafayette Life Bldg. Owner, St. Ann's Parochial School, Rev. McCarthy. Plans completed. Mature about March 1st. Brick.

***School** (Addition, 4 class rooms and gymnasium) Oakland Hill School. Architect, Riedel and Zink, Lafayette Life Bldg. Owner, Board of Education, M. M. Lairy, Prest. Revised plans completed. Owner will advertise for bids about Feb. 1st.

***School** (Alt. and Add.) \$25,000. (3 room add.) "Lincoln Grade School." Architect, John Boonstra, Fowler National Bank Bldg. Owner, Board of Education, Dr. M. M. Lairy, Prest. Revised plans completed. Owner will readvertise for new bids about Feb. 1st. Brick.

Contracts Awarded.

***Fraternity House:** \$45,000. 3 sty. 116x36. Ellsworth St. West Lafayette. Architect, Nicol, Scholer and Hoffman, Ross Bldg., Lafayette. Owner, Sigma Alpha Epsilon Fraternity of Purdue University. General contractor, A. E. Kemmer, 107 No. 4th St., Lafayette. Stone let to Bowman-King Co., Bloomington, Ind. Excavating.

MARION.

Church (addition) \$60,000. 2 sty. Private plans. Owner, First Christian Church. Plans in progress. Mature about March 1st. Brick, stone trim. The addition will contain a gymnasium and auditorium.

High School: \$300,000. (20 class rooms, gymnasium, auditorium, domestic science, manual training, agriculture, special rooms and an athletic field) 36th and Washington Sts. Archt., Harry G. Bowstead, Glass Bldg. Owner, Board of School Trustees, W. D. Moss, Prest., F. A. Priest, Secy., Willard Elkins, Treas., Marion. Plans completed. Owner expects to advertise for new bids in the spring.

Factory Building: 3 sty. 40x150. Private plans. Owner, Bedell Manufacturing Co. Owner taking bids on material; will build by day labor. Brick, mill construction.

Hotel: 2 sty. top add. to present 5 sty.

bldg. and new front. "Spencer House." Owner, The Spencer House, Marion, Ind. Owner will be ready to receive bids about March 1st. Brick, will contain 160 additional rooms.

***Administration Building:** \$100,000. 2 sty. & bas. 45x100. Architect, Hiram Elder, Custer Block. Owner, Marion Machine and Foundry Co., H. L. Erlewine, Secy., C. C. Chamberlin, Prest. 3d street and Big Four R. R. Plans completed. Owner expects to start work about March 1st. Will build by day labor and buy materials.

***School:** \$55,000. 2 sty. & bas. Center Township, near Marion, Ind. Architect, Harry Bowstead, Glass Bldg., Marion. Owner, Tilghman Boxell, Trustee, Marion, Indiana. Plans completed. Owner expects to advertise for bids about February 1st. (Note change of Trustee).

NEW ALBANY.

***Storage Building:** \$20,000. 2 sty. 100x60. 8th and Cemetery Sts. Private plans. Owner, Period Cabinet Co. New Albany.

General contractor, M. J. Murphy, 1146 Bardstown Road, Louisville, Ky. On foundation. Brick, mill construction.

***Church** (Fire Rebuild) \$50,000. 514 West Main St. Architect and general contractor, Earl Embrey, Elsby Bldg. Owner, Main St. Methodist Church, Rev. William H. Howerton, Pastor, 514 Main St. Starting work.

NOBLESVILLE.

Residence: \$15,000. 2 sty. and bas. Private plans. Owner, Earl Baker. General contract let to Ed. Eck, Noblesville. Brick veneer.

***Garage:** \$20,000. 2 sty. Owner, Geo. Mills. Will start work about March 1st. Brick.

PERU.

Foundry (Addition) 1 sty. Owner, Peru Foundry Co. (iron castings) Contemplated.

Lodge Building (Rem. From Residence) 5th and Court Sts. Owner, Fraternal Order of Eagles, Peru. Contemplated. General interior alterations.

(Continued on Page 11)

Federal Cement Tile Company

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BURNS FUEL OIL. NON-INFLAMMABLE. NON-EXPLOSIVE

Automatically controlled, only one moving part.

Works on any system--steam, vapor, hot water
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SAFE, CLEAN, EFFICIENT, ECONOMICAL

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INDIANAPOLIS

New furnishings, redecorating, plastering, light fixtures, painting, partitions and general alterations.

SOUTH BEND.

Apartment Building: \$60,000. (10 4-room apts.) Architect, Benedict J. Bruns, 1548 Belmont Ave., Chicago, Ills. Owner, Holycross and Nye, 236 No. Main St., South Bend, Ind. General contractor (without competition) Lunquest and Nelson Construction Co. 2719 Lawrence Ave., Chicago, Ills. Plans in progress. Brick. 3 sty. & bas. 46x114.

Garage & Salesroom: \$50,000. 3 sty. & bas. 333 So. Lafayette. Owner, F. L. Axtell, 316 Union Trust Bldg. General contract let to Hay and Weaver Constr. Co., 127 East Sample St. Brick, steel sash, comp. roof.

Apartment Building: \$46,000. 2 sty. & bas. 45x75. 631 So. Carroll St. Private plans. Owner, DeWitt Ingleright, American Trust Bldg. Owner builds and awards separate contracts. Excavated. Brick, tile roof, steam heat.

Stores & Club Rooms: \$30,000. 2 sty. & bas. Main and Marion Sts. Owner, Thad M. Talcott, 346 Farmers Trust Bldg. Owner builds and awards separate contracts. Brick. Excavated.

Chapel: \$10,000. 2 sty. High and Ewing St. Architect, (Plans only) A. A. Honeywell, Indianapolis. Owner, Evangelical Assn., Rev. Johnson, Pastor, % Broadway Evangelical Church, South Bend. Contractor for substructure, Ira E. Ruth, 239 East Broadway, South Bend. Foundation in. Will work on superstructure about March 1st. Brick.

Stores: \$20,000. 2 sty. Carroll & L. E. & W. R. R. Owner, Phillip Hurwick, Carroll St. and L. E. & W. R. R. Brick. Excavated. Owner builds.

SULLIVAN.

Sewage Disposal Plant: \$150,000.00 Engineer, Frank Kattman, Terre Haute, Owner, City of Sullivan, % City Clerk, Sullivan. Plans in progress.

Club House: \$10,000. Architect, Frank J. Nicholas. Owner, Sullivan Country Club, Sullivan. General contract, Trueblood Constr. Co., Sullivan. Frame.

TERRE HAUTE.

Bank Building: 2 sty. & bas. Twelve Points, Terre Haute, Ind. Architect, Shourds-Stoner Co., 511 Tribune Bldg., Terre Haute. Owner, name withheld for present. Preliminary plans in progress. Brick stone trim.

VINCENNES.

Grade School: 2 sty. & bas. "West End School," Washington, Indiana. Architect, L. H. Osterhage and Byron Sutton, Citizens Trust Bldg., Vincennes, Ind. Owner, Board of School Trustees, R. L. McIntosh, Secy., Washington, Indiana. Plans in progress. Brick.

School: \$28,000. Whiskey Run Township, Crawford County, Milltown, Indiana. Archt., J. W. Caddis, American National Bank Bldg., Vincennes. Owner, Willard Vance, Trustee, Milltown, Ind. and J. Harry Lemmon, Prest., Board of Education, Milltown. Plans completed.

Owner will advertise for bids about February 1st. Brick, cut stone trim, conc. stairs, septic tank, private water supply, gravity heating system, hollow tile wall construction, frpf. door.

School (4-room addition): Jefferson Township, Owen County, Coal City, Indiana. Architect, J. W. Gaddis, 602 American National Bank Bldg., Vincennes. Owner, E. F. Bush, Trustees, R. R. Coal City, Indiana. Owner receiving bids to close December 23d. Brick, 5 ply gravel roof, warm air heaters, steam heat, gravity system, C. I. boiler. 2 sty. & bas. 55x44.

School (2 room building): Jefferson Township, Owen County, Coal City, Indiana. Archt., J. W. Gaddis, 602 American National Bank Bldg., Vincennes. Owner, E. F. Bush, Trustee, R. R. Coal City, Indiana. Owner receiving bids to close December 23d. Brick or building tile, gravel roof, warm air heater.

Masonic Temple: \$70,000. 3 sty. & bas. Greencastle, Indiana. Washington & Vine Sts. Architect, J. W. Gaddis, 602 American National Bank Bldg., Vincennes. Owner, Temple Lodge, No. 47, F. and A. M., Greencastle, Indiana. Revising plans. Plans will be ready for bids about March 1st. Brick, Bedford stone facings, flat tile roof, steam heat.

WASHINGTON.

Residence: \$25,000. 2 sty. & bas. 60x28. Architect, John Kretz, 414 So. 4th St. Owner, Mrs. L. H. Hammersly (Dry Goods), Washington, Indiana. Plans in progress. Brick. (note correct architect.)

Residence & Garage: \$13,000. 3 sty. & bas. 58x35. Owner, John Kretz, 414 So. 4th St. Archt., John Kretz. Plans in progress. Mature about March 1st. Brick veneer over hollow tile, tile roof, furnace heat.

Bank Building: 2 sty. & bas. Architect, not selected. Owner, Washington National Bank, Louis L. Read, Prest., Washington, Ind. Site purchased. Will erect a building in the spring.

Residence: 9 miles south of Washington. Private plans. Owner, Alfred Schrolucke, Washington, Ind., R. R. Will build in spring. Frame, 2 sty. & bas. about \$7,500.

MISCELLANEOUS CITIES.

Batesville: Warehouse (Addition) 4 sty. 53x166. Batesville. Architect, Martin Fisher, Brighton Bank Bldg., Cincinnati, Ohio. Owner, The Batesville Casket Co., Batesville. Foundation in. Will resume work about March 1st. Brick. Owner builds by day labor.

Columbia City: Factory, 1 sty. 35x85. Main street. Owner, William Rittenhouse (Cement contractor) Columbia City. Plans in progress. Brick and concrete block. Mature spring.

Danville: College Gymnasium Building: 2 sty. Architect, not selected. Owner, Central Normal College, Jonathan Rigdon, Prest., Danville. Owners financing. mature early summer 1923. Brick.

Goshen: Factory. Jefferson & Third Sts. Owner, Goshen Auto Top & Trimming Co. Site purchased. Expect to build in the spring. Brick.

Plymouth: High School. \$300,000. "Lincoln High School," Architects, Ernest Young, South Bend, and Miller, Full-

lenwider and Dowling, 646 Michigan Ave., Chicago, Ill. Owner, Board of School Trustees, Laporte. Revising plans. Owner will readvertise for new bids in January.

Portland: Club House. Architect, not selected. Owner, B. P. O. E. Lodge, W. H. Reed, Portland. Contemplated.

Silver Lake: Summer Hotel, \$10,000. 1 mile N. W. of Silver Lake on the Lake. Owner, Elias E. Braude, Silver Lake. Plans in progress. Mature spring.

Whiting: Church and Community House, \$60,000. 2 sty. 59x57 and 32x77. Architect, Lowe and Bollenbacher, 108 S. LaSalle St., Chicago, Ill. Owner, Methodist Episcopal Church, Rev. Homer Ivey, 307 Sheridan Road, Whiting. Archt. taking bids to close at once. Brick.

Zionsville: Bank, Owner, Bank Organizing, % Benjamin Booher, R. F. D., Zionsville. and Walter Pitcher, Zionsville. Owner will either remodel stone room into bank or build new building. Definite data later.

Warsaw: Commercial Garage & Salesroom: \$20,000. 1 sty. 75x140. Owner, Outcalt and Deeter (Studebaker Agents) Warsaw. Will build in the spring. Brick.

Contracts Awarded.

Gary: Settlement House, \$80,000. 1½ sty. & bas. 60x120. 1389 Van Buren St. Owner, National Catholic Welfare Council, Rev. John B. De Ville, Supt., 664 Broadway, Gary Ind. Architect, Worthman and Steinback 155 No. Clark St. Chicago, Ill. General contract let to John Lagura, 733 Connecticut St., Gary, Ind. Start work at once.

Hammond: Garage. 1 sty. 50x60. Owner, Beckman Supply Co. General contract let to Matt Lavene. Brick.

Logansport: Residence, \$20,000. 2 sty. & bas. Architect, Allen and Garriott, Masonic Temple Bldg. Owner, Bert Wills, % Sellers Clothing Co. Excavating. Owner builds by day labor. Brick veneer and frame.

Laporte: High School. \$300,000. Archt., Miller, Fullenwider and Dowling, 6 No. Michigan Ave. Chicago Ill. Owner, Board of Education, Laporte. General contractor, Larson and Danielson Construction Co., Laporte. Excavating.

Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field. Copy should reach us. at the latest, Wednesday of the week of publication.

SANITARY SEWER.
NOTICE TO BIDDERS.

Bids will be received by The Board of Trustees of the Indiana State Normal School at 9 o'clock a. m., Tuesday, December 19, 1922, at the office of the Dean, The Ball Teachers' College, Eastern Division, Indiana State Normal School, Muncie, Indiana, for the construction and completion of the Sanitary Sewer at the Ball Teachers' College, Eastern Division, Indiana State Normal School, Muncie, Indiana. Bids must be made on form

RETAIL QUOTATIONS

Indianapolis Building Materials

LUMBER.

Framing Lumber.	
2x4 in. 8, 16 ft.—No. 2 common.....	\$44.00
2x4 in. 18, 20 ft.—No. 2 common.....	46.00
2x6 in. 8, 16 ft.—No. 2 common.....	42.00
2x 6 in. 18, 20 ft.—No. 2 common.....	44.00
2x 8 in. 8, 12, 14, 16 ft.—No. 2 common.....	46.00
2x8 in. 18, 20 ft.—No. 2 common.....	44.00
2x10 in. 8, 12, 14, 16 ft.—No. 2 common.....	44.00
2x10 in. 18, 20 ft.—No. 2 common.....	46.00
2x12 in. 8, 12, 14, 16 ft.—No. 2 common.....	44.00
2x12 in. 10, 18, 20 ft.—No. 2 common.....	47.00
Same—No. 1 common, add \$8.00 per M to above quotations.	
Boards.	
Yellow Pine, S & S., 1x4 in.—No. 1 common.....	\$50.00
Yellow Pine, S & S., 1x4 in.—No. 2 common.....	37.50
Yellow Pine, S & S., 1x6 in.—No. 1 common.....	52.50
Yellow Pine, S & S., 1x6 in.—No. 2 common.....	44.00
Yellow Pine, S & S., 1x8, & 10 in.—No. 1 common.....	55.00
Yellow Pine, S & S., 1x8, & 10 in.—No. 2 common.....	45.00
Yellow Pine, S & S., 1x12 in.—No. 1 common.....	65.00
Yellow Pine, S & S., 1x12 in.—No. 2 common.....	50.00
Bevel Siding.	
6 in. clear redwood.....	\$65.00
6 in. select poplar.....	70.00
8 in. clear cypress.....	75.00
Drop Siding.	
Yellow Pine, 1x6 in.—Clear.....	\$70.00
Yellow Pine, 1x6 in.—No. 1 common.....	60.00
Yellow Pine, 1x6 in.—No. 2 common.....	45.00
Yellow Pine, 1x8 in.—No. 1 common.....	60.00
Yellow Pine, 1x8 in.—No. 2 common.....	47.00
Finish.	
Yellow Pine, 1x6 in. to 10 in.....	\$ 90.00
Yellow Pine, 1x12 in.....	110.00
Cypress, 1x12 in.....	150.00
Cypress, 1x6 in. to 10 in.....	140.00
Hardwood Flooring.	
Oak Flooring.....	\$130.00
Maple Flooring.....	130.00
Edge Grain Flooring.....	110.00
No. 1 Yellow Pine Flooring.....	75.00
Yellow Pine Flooring.	
1x4 in. clear flat grain.....	\$85.00
1x4 in.—No. 1 common.....	65.00
1x4 in.—No. 2 common.....	42.00
1x6 in.—No. 1 common.....	55.00
1x6 in.—No. 2 common.....	45.00
Shingles.	
Oregon cedar, clear 5-2 in.....	\$8.00
Extra XAX, 6-2 in.....	7.00
Wood Lath.	
48 in. No. 1 Cypress Lath.....	\$12.00
48 in. No. 1 Hemlock Lath.....	12.00
48 in. Yellow Pine.....	10.00
32 in. No. 1 Cypress Lath.....	7.00
32 in. No. 1 Hemlock Lath.....	7.00
32 in. Yellow Pine.....	5.50

CLAY PRODUCTS.

BRICK.	
Common, F. O. B. cars, Indianapolis.....	\$15.50 to \$16.50 M.
Face, F. O. B. cars, Indianapolis.....	23.00 to 40.00 M.

HOLLOW CLAY PARTITIONING TILE.

Size (Inches)	Wt. Each	Pcs. to Min C/L	Deld. from Stock M.
3x12x12.....	15 lbs.	3570	\$84.00
4x12x12.....	16 lbs.	3200	95.00
6x12x12.....	22 lbs.	2400	123.80
8x12x12.....	30 lbs.	1800	169.00
10x12x12.....	35 lbs.	1500	192.00
12x12x12.....	42 lbs.	1200	238.90

BAKUP TILE.

Size (Inches)	Wt. Each	Pcs. to Min C/L	Deld. from Stock M.
4x5x12.....	9 lbs.	5000	\$ 45.92
5x8x12 (2-cell).....	15 lbs.	3200	76.50
5x8x12 (3-cell).....	17 lbs.	3200	86.75

GYPSUM BLOCKS.

Size (Inches)	From Warehouse
3x12x30 Hollow.....	\$132.00
4x12x30 Hollow.....	154.00

WALL COPING.

	Per ft.
9 in.	\$0.20
13 in.30
18 in.60
Angles, three times price per ft.	

FLUE LININGS.

	Joint
Flue Linings, 8½x8½.....	\$0.60
Flue Linings, 8½x13.....	.90
Flue Linings, 8½x18.....	1.35
Flue Linings, 13x13.....	1.15
Flue Linings, 13x18.....	1.75
Flue Linings, 18x18.....	2.25
12 inch Round Lining.....	1.35

CEMENT BLOCKS

Plain—8 in.x12 in.x16 in.....	\$0.22 each
Rock Face—8 in.x12 in.x16 in.....	.25 each
For fittings, corners, window blocks, add 25c%.	
For Water-Proof Blocks add two cents per block.	

LIME, CEMENT AND PLASTER

LIME.	Each
Finish, Hydrate, 50 lb. paper sacks.....	\$0.47
Mason's Hydrate, 50 lb. paper sacks.....	.40
Chemical Hydrate, 50 lb. paper sacks.....	.52
Single Bags, any kind.....	.65
Lump Lime, bulk.....	per cwt. .75

CEMENTS.

	Each
Portland, paper bags.....	\$0.90
Portland, cloth bags.....	.95
White Portland, cloth bags.....	2.60
Bricklaying.....	.66 and .75
Cloth sacks included, returnable at 7c each.	

MORTAR FOR BRICKLAYING.

Carney's cement, cloth, per bag.....	\$0.75
Brixment, paper, per bag.....	.66
Brixment, cloth, per bag.....	.70
Cloth sacks included, returnable at 7c each.	

PLASTERS AND FINISHES.

	Each
No. 1, Prepared, 1st coat, cloth sack.....	\$0.60
No. 2 Prepared, 2nd coat cloth sack.....	.60
Special, Prepared Metal Lath, cloth sack.....	.65
Single Sack, any kind.....	.75
Plaster—Unsanded (Neat) 80 lb. paper sacks.....	.78
Plaster—Unsanded (Neat) 100 lb. cloth sacks.....	1.05
Single Sack, paper.....	1.00
Wood Fibre, 100 lb. paper sacks.....	.75
No. 1 Moulding Plaster, 100 lb. cloth.....	1.40
No. 1 Moulding Plaster, 80 lb. paper.....	1.10
Michigan Stucco, 100 lb. cloth.....	1.00
Plaster Paris, satin finish, paper.....	1.00
Superior Plaster Paris, 80 lb. Pa.....	1.00
Keene's Cement, 100 lb. cloth sack.....	2.00
White Trowel, Prepared, 80 lb. cloth sack.....	1.30
White Sandflat, Prepared, 100 lb. cloth sack.....	1.25
Retarder, (at yard).....	pound, .12
Cloth sacks included, returnable at 7c each.	

MORTAR COLORS.

	Pound
Red, 100 lb. sacks.....	.02½
Buff, 100 lb. sacks.....	.03½
Chocolate Brown, 100 lb. sacks.....	.03½
Black, Dble. Str., 100 lb. sacks.....	.05½
Black, Sgl. Str., 100 lb. sacks.....	.03½
Special Chocolate, 100 lb. sacks.....	.04½
In quantities less than 1 sack.....	.06

SAND.

	Ton
White Silica, bulk.....	\$ 8.00
White Silica, cloth sacks.....	10.00
Michigan, bulk.....	5.50
Michigan, cloth sacks.....	7.50
Cloth sacks included, returnable at 7c each.	

ROOFING MATERIALS.

	Square
Slate Surface (8 inx12¾ in.).....	\$6.25
Slate Surface, strip shingles.....	6.00
Colors—Red, Green or Blue-Black.	

ROLL ROOFING.

	Roll
Green Slate Surface.....	\$3.00
Red Slate Surface.....	3.00
Blue Black Slate Surface.....	2.40
Class C Heavy, 55 lb. (3 ply).....	2.40
Light (1-Ply) 35 lb.....	1.75
Black Waterproof Paper, 500 sq. ft.....	1.50

No. 96 prescribed by The State Board of Accounts and must be accompanied by certified check equal to 5 per cent of amount of bid. Bids must be in accordance with provisions of drawings and specifications prepared by Lester Janney, Engineer, Muncie, Indiana; copies of which may be found at the office of the Dean of the Faculty of Ball Teachers' College, Eastern Division, Indiana State Normal School, Muncie, Indiana, and at the office of the Registrar of the Indiana State Normal School, Terre Haute, Indiana. Total estimated cost of the proposed sewer is \$18,810.00.

**BOARD OF TRUSTEES OF THE
INDIANA STATE NORMAL
SCHOOL,**

Helen C. Benbridge, Secretary.
Dec. 2-9-16.

**SCHOOL HOUSE
NOTICE TO CONTRACTORS.**

Notice is hereby given, That on the 27th day of December, 1922, at the Inglefield Community House, at Inglefield, in Scott Township, Vanderburg County, Indiana, the undersigned Trustees of Scott School Township, Vanderburg, County, Indiana, will receive sealed bids or proposals for the construction of a one-story and basement brick school building in said Scott Township, known as the Scott Township Joint High School and Elementary School, in accordance with the plans and specifications now on file in the office of said Trustee, Rural Route, Inglefield, Indiana, and in the office of Anderson & Stingle, architects, McCurdy Building, Evansville, Indiana. Said bids will be received up to eleven (11) o'clock A. m., on said 27th day of December, 1922.

Separate bids or proposals will be received on the several branches of work required to complete said school building, or combinations of several branches will be received; bidders may also submit a single bid for the construction of the entire work.

The estimated cost of said construction is fifty-five thousand dollars (\$55,000).

Bids must be filed on the form as prescribed by the State Board of Accounts, and must be accompanied by a certified check equal to three (3) per cent of the bid, submitted; said check to be forfeited to the Township Trustee in the event the successful bidder refuses or fails to enter into a proper contract for the construction of the work bid on and to furnish proper surety within three (3) days after the awarding of said contract to the said bidder. Said Trustee will examine said bids and award the contract for the construction to the lowest and best bidder therefor. Bids to provide for the furnishing of all labor and materials for the construction of said school house, or the respective part of the same bid on, in accordance with the plans and specifications.

Notice is further given that said proposed school building is to be located at the intersection of the Base Line Road and State Road in said Scott Township, in the southeast quarter of the southeast quarter of section thirty-three (33), range ten (10) west, township four (4) south.

The School Trustees hereby reserves the right to reject any one or all bids on the above work.

JAMES W. LITCHFIELD,
Trustee of Scott School Township.
STONE & KREUZBERGER,
Attorneys for Trustee.

Dec. 9-16-1922.

HOSPITAL

NOTICE TO CONTRACTORS

Sealed proposals for the following described work will be received by the clerk of the city of Shelbyville, Shelby county, Indiana, until seven-thirty o'clock p. m., on December 29, 1922, at which hour the proposals will be publicly opened and read in the council chamber of said city in the city building. The bids will then be examined and considered by the common council of said city, the common council expressly reserving the right to reject any and all bids. Permission will not be given for the withdrawal, modification of explanation of any bid or proposal, after the same has been filed.

Each proposal shall be sealed and endorsed on the enclosure, with the name of the work bid on, the name and address of the bidder and the date of its presentation. All bids shall be filed with the city clerk on or before the day and hour mentioned above, and as stated in the advertisement, and no proposal presented after this date and time will be accepted.

Each bidder is required to deposit with his bid a certified check for an amount not less than two and one-half (2½) per cent of the amount of his bid, said check to be certified by a reputable bank or trust company doing business in the state of Indiana, such check to be returned to any unsuccessful bidders, but if the bid is accepted, and the bidder shall refuse or neglect to enter into a contract with the city of Shelbyville, Indiana, within ten days, or, such time more than ten days, as may be allowed by the common council, from the time he shall be notified of the acceptance of the same, said check shall be forfeited to the city of Shelbyville, Indiana, as ascertained and liquidated damages for failure so to do; and shall also file the usual affidavit of non-collusion as provided by law.

Persons, firms or corporations submitting propositions shall demonstrate to the satisfaction of the common council that they have the proper facilities, expert workmen and experience, to execute the contract in a proper manner, otherwise their bids will not be accepted.

In case the specifications permit the use of either, or any one of two or more materials, the bidder must state specifically on which his bid is based.

The work to be done by the city for which bids or proposals are advertised is the building and erection of a city hospital comprising the remodeling of the present residence of Mrs. W. S.

Major, widow of the late W. S. Major, and the residence being known as the W. S. Major homestead, and the garage on the Major property, and the construction and erection of an additional building attached thereto all for the purpose of using the same as a city hospital and all as shown by the plans and specifications covering the same. Plans and specifications are on file in the office of the city clerk in the city building and bidders may and are expected to examine them before submitting their bids. Bidders must satisfy themselves by personal examination of the location of the proposed work, and by such other means as they choose as to the accuracy of the estimates, and shall not after the opening of the bids complain or dispute the statements set forth in the plans and specifications.

Separate bids will be received on construction and installation as follows:

- 1 Separate bids will be received on the entire work of construction and installation, complete in every detail, as set forth in the plans and specifications, bids to include the completion of the entire work as provided in the plans and specifications in the remodeling of the present Major residence and the additions thereto.
 - 2 Separate bids will be received on the remodeling of the present Major residence and the erection of the additions thereto as provided in the plans and specifications, exclusive of heating and ventilating, plumbing and sewers, electrical work and fixtures and the elevator.
 - 3 Separate bids will be received on the heating and ventilating to be installed in said Major residence and additions thereto as provided in the plans and specifications, exclusive of the remodeling of said Major residence and the erection of additions thereto, plumbing and sewers, electrical work and fixtures and the elevator.
 - 4 Separate bids will be received on the plumbing and sewers to be installed in said Major residence and the additions thereto as provided in the plans and specifications, exclusive of the remodeling of said Major residence and the erection of additions thereto, heating and ventilating, electrical work and fixtures and the elevator.
 - 5 Separate bids will be received on the electrical work and fixtures to be installed in said Major residence and the additions thereto as provided in the plans and specifications, exclusive of the remodeling of said Major residence and the erection of the additions thereto, heating and ventilating, plumbing and sewers, and the elevator.
 - 6 Separate bids will be received for the furnishing and installation of an elevator to be placed in said hospital building as provided in the plans and specifications.
- The estimated cost of the building is \$90,000.

The city of Shelbyville will not be responsible for any errors or inaccuracies in the plans and specifications.

PLEAS E. GREENLEE,

Clerk of the City of Shelbyville, Indiana:
Dec. 16, 1922.

Give us the opportunity of demonstrating our various lines of building materials before placing your orders.

*"Quality and
Service
Our
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VONNEGUT HARDWARE CO.
120-124 E. Wash. St.
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IND.

HIGGIN ALL METAL SCREENS

The frames are made of galvanized steel, enameled both inside and outside in any color desired.

They are only 7/16 inch thick and 1 1/8 inches wide, or about half the width and thickness of wood frames.

Owing to the durability of the frames, we use only non-rusting wire cloth woven from commercial bronze wire.

HIGGIN SCREEN DOORS

The screen doors reflect more clearly, perhaps, than any other one thing the quality of a screen installation. Higgin Doors are built to order. In width of rails, finish, and kind of wood used, they match the corresponding house doors.

Let us furnish without cost or obligation estimates of cost.

General Builders Supply Co.

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INDIANAPOLIS
W. H. Barrere, Jr. Main 0969 D. A. Stackhouse

Central Wire & Iron Works

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Doors Hardware Jamb Sills

Erected if Desired

520 S. Capitol Ave. Phone Main 5069 Indianapolis

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CONTRACTORS AND JOBBERS OF

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COMPANY**

INDIANAPOLIS

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INDIANA

Official Paper

Indiana Society of Architects

Office of the Secretary
500 BOARD OF TRADE BUILDING
Indianapolis, Ind.

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"Your Individual Prestige Can Never Be Greater Than the Prestige of the Profession to Which You Belong"

STATE ARCHITECTS RESPOND

(Continued from Page 5)

matinee audience responded with a hearty encore. Then followed several hours of pleasing entertainment, during which the performers singled out the individual architects for good natured jesting.

As evening settled down the architects returned to the Elks Club House, where a short business session was held by the directors, the main action centering about greater effort to be directed toward perfecting plans for a furthering of the regional meeting idea. In this connection it was moved and seconded that the president appoint a committee to outline a plan for the organization of established regional clubs of architects throughout the state, these to act in conjunction with and be subsidiary to the Society. This is a matter that will be brought before the semi-annual meeting in January with the recommendation that certain constitutional amendments be made to care for the proposed extension of the Society's activity.

Upon the adjournment of the business session of the directors the Terre Haute architects conveyed their visitors by motor to the Edgewood Community Club on the outskirts of the city. It would not be meet to omit reference to this meeting place, built of logs to represent the pioneer cabin and situated in a pretty grove of trees, the whole making it easy to conjure up the early environment of the locality with its woods, Indians, and the unceasing struggle of the pioneer to master the frontier where now arises the prosperous western Indiana city which so royally entertained the visiting State architects. There was the great open fireplace with its blazing logs, while about the walls hung old rifles and the pelts of native wild animals.

There was an inviting dining room, too, and there was served a real old-fashioned chicken dinner, during which a spirit of congeniality that was contagious manifested itself. The better to encourage this condition, President Guy Mahurin called upon each one present to arise and announce his name and the city from whence he came, a feature that proved interesting.

An informal social meeting followed the dinner during which various talks were made, the principal one being delivered by Dr. Phillip Woodworth, president of Rose Polytechnic Institute. Other short remarks were made by President Guy Mahurin, Warren Miller, J. W. Gaddis, Harry Boyle, Dalton B. Shourds, John Fritz, Prof. O. L. Stock, J. G. Vrydagh and A. L. Vrydagh. Those present were: President Guy Mahurin, Ft. Wayne; Directors Harry E. Boyle, Evansville; Chas. Brossman and Donald Graham, Indianapolis; Geo. W. Allen, La Porte, and W. H. Miller, Terre Haute. Others were: E. L. Adams, Brazil; Albert E. Neucks, Evansville; John Fritz, Linton; C. N. Warren, Louisville, Ky.; F. J. Nicholas and K. G. Reeve, Sullivan; J. W. Gaddis, Vincennes, and these from Terre Haute: H. V. Benson, Paul R. Crawley, B. V. Day, H. H. Hamby, M. H. Johnson, Jr., Fred N. Matto, Ewing H. Miller, J. D. Palmer, A. F. Ranahan, C. E. Scott, H. E. Stock, O. L. Stock, G. J. Stoner, Ralph A. Stuart, A. L. Vrydagh, J. G. Vrydagh, Dr. Phillip B. Woodworth and Margaret A. and Margaret G. Stuart, the two latter furnishing several pleasing vocal and instrumental numbers, adding materially to the enjoyment of the evening.

PROMINENT INDIANA ARTIST ENTERTAINS INDIANAPOLIS ARCHITECTS AND THEIR GUESTS.

One of the most delightful meetings of the year was held by the Indianapolis Architects' Association when the members assembled at the Columbia Club in regular monthly session Wednesday night.

As customary there was the 6:30 p. m., dinner enjoyed in an atmosphere of spontaneous sociability, almost intoxicating one might say since two prominent architects shed a dollar each for a dinner he never received.

When it came time for the annual election of officers it was unanimously voted to continue the present incumbents for another term. The officers are: Prest., Herman Scherrer; Vice Prest., Wilson B. Parker; Sec'y. & Treas., Ralph J. Batchelder; members of Board of Governors, H. L. Bass and Kurt Vonnegut.

The election over the architects then

adjourned to a larger room where with their guests, members from the Sciencetech Club, they were highly entertained by Mr. Theodore Steele, dean of Indiana artists, who spoke on art in architecture, though he refrained from giving a title to his word painting.

Those architects present were: Herman Scherrer, Anton Scherrer, Robt. F. Daggett, Fermor S. Cannon, Fred Wallick, W. K. Eldridge, Seymour Van Meter, W. H. Garns, Donald Graham, Kenneth Coffin, Wm. Mac Lucas, A. A. Honeywell, Norman Hill, Kurt Vonnegut, Clarence Myers and R. J. Batchelder.

TIME IS HERE TO PREPARE FOR THE ANNUAL ARCHITECTURAL EXHIBIT.

Just four weeks more remain and then comes the semi-annual meeting of the Indiana Society of Architects, January 13, to be exact.

There is more than just a meeting this year for at the same time the Annual Architectural Exhibit of Indiana Architects is to be opened at the John Herron Art Institute, Indianapolis. It is hoped this year to make this exhibit even better than that of last season, which was most creditable. To achieve such an end the architects must submit exhibits and the committee in charge, of which Kurt Vonnegut, Indianapolis, is chairman, wishes to admonish the members of the profession in Indiana that it is most important that they immediately, if they haven't already, plan to participate in the exhibit and get their contributions ready as soon as possible.

The success of the exhibit will be measured by the degree of cooperation extended to the committee by the entire membership of the profession. The committee can be depended upon to do its part, the rest is up to the architects themselves.

Do You Advertise in the Recorder?

If not, you are among those about whom the Indiana Building Industry is perplexed.

Inquiries are constantly being made as to who handles such and such materials and where can he be located.

Think of the times, however, that your competitor, who does advertise, is turned to by the man who wants to buy because he has not the time to hunt you up.

Building activity in Indiana has reached unprecedented heights; the sales opportunity is yours for the advertising.

A few dollars spent judiciously in advertising gives you more than an even break with the field, it gives you the bulge.

Your name and message in THE RECORDER will reach the Entire Indiana Building Construction Industry—The ARCHITECT, ENGINEER, CONTRACTOR, PROSPECTIVE BUILDER—each week.

The Recorder goes to "the live ones" each week and is read by them; it has no waste circulation; it is the only circulation in the State that covers the entire Indiana Building Field.

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RATES ON APPLICATION.

Indiana Construction Recorder

312 E. Market St.

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Indianapolis

Official Paper

Associated Building Contractors of Indiana

FRED W. JUNGCLAUS, President
Indianapolis

C. C. PIERSON, Secretary
Indianapolis

ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller.....President

Office, 411 Sycamore St.

HARK!

It seems rather a far cry from south-ern to northern Indiana, not taking into consideration the telegraph, the tele- phone, or the radio, and yet across the expanse of land comes the word; "Michi- gan City Expects You January 23, 24 and 25, at the Annual Convention of the Associated Building Contractors of In- diana."

NOT A BAD MOVE

The arbitration scheme followed by the contractors of Evansville in reaching satisfactory wage adjustments with the building trades mechanics' forces last spring was a timely move and resulted in a minimum of labor trouble. Only once was there a break in the placid conditions relative to labor relations. The other cities, because of their higher wage to bricklayers, were causing a serious menace to the local available supply and there was more or less of a feeling of discontent amongst the workmen who felt they were not being treated fairly. However, the situation was straightened out with no trouble and building was kept going.

Looking back over the past season, the amicable relations that were estab- lished between the building trades em- ployers and the employees did much to make the local volume of building what it was.

LOCATION MAKES FOR GOOD BUSI- NESS

The outside demand made upon Evans- ville had done much to make business good this year for the local building men, both contractors and material supply dealers. With Evansville the largest city between Louisville and St. Louis she is called upon not only to meet building market demands of southern Indiana but also that of southern Illinois and west- ern Kentucky. Her contractors have been active out in this broad territory and her material supply firms have fol- lowed strongly in the wake of the con- tractors in addition to meeting the re- quirements of local builders in that sec- tion.

Large quantities of building material

are being shipped south. There is a large market particularly in Memphis with school house building through Ken- tucky a close second. Some of the ma- terial is being shipped as far south as New Orleans. The demand through the south is said to be due to the later build- ing season.

There has been some depression on the local demand due to the approach of the cold weather.

CHIPS AND SHAVINGS.

Carpentry work on the new Donald- son Arms apartments at Second and Howard streets is well under way under the direction of the C. Kanzler & Sons, contractors. About 20 men are employed on this job.

General contractors Anderson & Veatch are ready to begin work on a new office building of the bungalow type for Dr. R. M. Walden. This structure, 95x22 ft., will be of brick and is to be located at 2d avenue and Franklin street.

FT. WAYNE

BUILDERS' EXCHANGE
Member State A. B. C.

Max Irmscher.....President
Eph Dailey.....Secretary
825 Calhoun St.

Phone 2001

NOR IS THIS DISPLEASING

What do you think of this?

"Although there has been a tremendous stimulus to the building industry there is yet no over building." Such was a part of a report sent out by the bureau of information of the National Associa- tion of Real Estate Boards after a re- search survey in 184 cities of the coun- try.

It must come pretty close to sizing up the situation, for, taking Ft. Wayne as an example there still seems to be a de- mand for all the new homes that have been built and then it can't seem to be satisfied. There seems to be no let up as month after month rolls by and new residences continue to arise on all sides. Ft. Wayne never saw such a broad, ex- tensive and comprehensive building cam- paign as was put on in 1922, and there is every indication that the activity will continue right on through 1923.

Other cities, according to reports, were speeding along at much the same gait as Ft. Wayne was maintaining and it is cheering to those interested in the building industry to learn that there is still a big requirement for additional building construction operations.

SORT OF GETS INTO THE BLOOD YOU KNOW.

Whisperings have reached Ft. Wayne that Eph Dailey, well known among the building fraternity of the State, secre- tary of the local Builders' Exchange, and not uninitiated in the political world, has been down to Indianapolis breezing around the State Capitol, sort of reef- ing his sails for a tack back in that di- rection when the State Legislature con- venes in January. Last November, the political surf swept over Eph, to engulf him, but here he is bobbing up again. This time there seems to be a plum still left on the tree, the post of principal clerk of the House, and it is intimated Eph is not adverse to shaking the tree with the hope that the plum will fall in his lap. You know Eph is a Republican and, since that faction still holds the balance of power, it would not be sur- prising if our old friend would be among those present at Indianapolis when the Legislature gets under way.

FRISKING AROUND WITH THE BIG FELLOWS.

Ft. Wayne, with her large building to- tal for 1922, amounting to over nine mil- lion dollars seems to have graduated from the minor to the major league of building. She is up with the big per- formers for a time at least and though the pace may be too hot for a long sus- tained period, nevertheless, the activity put forth locally the past season is going to furnish the city some good publicity around the country and acquaint many that Ft. Wayne, Ind., is a live place. It isn't many times that a city the size of Ft. Wayne puts across such a large vol- ume of building construction work in one year as she has done this season.

MORE GOOD NEWS.

Through the hazy veil of the future building prospects continue to loom vaguely, 'tis true, yet their dim outline can be discerned. The latest announce- ment to direct attention to next season's activity has to do with a big building program contemplated by the Ft. Wayne Board of Education to meet the ever in- creasing demand for educational facil- ities to care for the healthy growth of the city.

The proposed program is to be taken up for consideration at a special meeting of the board, January 8th. As now con- templated it is proposed to erect two new structures, add a large wing to one of the present buildings, and do con- siderable remodeling at another one of the schools. It is estimated that the im- provements will cost \$800,000.

Remember

You can substantially reduce the cost of your compensation and liability insurance by insuring in the BUILDERS & MANUFACTURERS MUTUAL CASUALTY CO. (a strong company, organized and economically managed by contractors, and devoted exclusively to rendering a particular service and reducing the cost of insurance in building construction.)

SURPLUS OVER \$500,000.00

It will pay you to inquire of its rates and service.

See the secretary of your association or write to

**Builders & Manufacturers
Mutual Casualty Company**

1301 Chamber of Commerce Bldg.

CHICAGO

INDIANAPOLIS

Building Contractor's Association
Member State A. B. C.

F. W. Jungclaus.....President
C. C. Pierson.....Secretary
320 Peoples Bank Building

MEETINGS.

Executive Committee meets second Tuesday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

Mason Contractors Association meets every Thursday—1 P. M.

General Contractors meet second Friday each month.

PLANS ON FILE.

At 320 Peoples Bank Building,
Indianapolis.
None this week.

WAIVER OF LIEN.

Dollman, Henry L. (as contractor) and Chadwick Realty Co. (as owner) to erect an apartment building (48 apts.) on part of lot 4 Jos. K. Sharpe's N. addition.

**STATE PAINTERS' ASSOCIATION
HOLDS ANNUAL GATHERING
AT INDIANAPOLIS.**

Constructive effort and by such means thus build up the craft was the keynote sounded throughout the two days' session of the members of the Master Painters' & Decorators' Association of Indiana held at Indianapolis, the past week. Greater association influence, attention to certain legislative requirements, and better business methods were some of the important topics upon which stress was put.

As regards the association, Mr. O. C. Holtz, general manager of the Builders and Manufacturers Mutual Casualty Co., Chicago, told the master painters that every painter employer should be influenced, not only for the good of himself but for the benefit of the craft as a whole, to link up with the state association of painters. He advised that a foundation be built for a strong organization, and in conclusion said:

"Until you improve your local organizations and get 100 per cent membership in your cities, your state organization will not be strong. Build a foundation for a strong organization."

When F. G. Johnson, Indianapolis, advocated the establishment of a quantity survey system with paid estimators to take off the quantities and submit them

in standardized form to all the painter employers who might desire to figure projects. His idea was favorably received and recommended.

That the workmen's compensation law of Indiana will aid in stopping illegal competition of various crafts was brought out in discussion led by E. G. McNeal of Indianapolis, who said that all men working in the painting trade should carry compensation insurance or be reported to the Industrial Board. He said that many contracts were let to firms not carrying the insurance because they were cheaper bidders.

M. V. Clark, Ft. Wayne, insisted in a few well chosen remarks that the master painter is not only in reality a skilled mechanic, but must be an executive, a salesman and, above all, a good business man. He predicted that the future master painter must conduct his business by an established bookkeeping system with business-like methods, if he wants to succeed. Other speakers were O. S. Jones, Ft. Wayne, "Business Ethics," and C. H. Norman, "Costs of Painting."

The annual election of officers resulted in the naming of these men: Pres., U. G. Case, Vincennes; 1st Vice-Pres., M. U. Clark, Ft. Wayne; 2nd Vice Pres., C. H. Sedan, Indianapolis; Secy. and Treas., C. H. Norman, Indianapolis.

SOUNDING THE TOCSIN.

Silently, unceasingly the forces, that locally go to embellish a convention with success, are grinding on at Michigan City in preparation for the State contractors' annual meet in that city next month. But, more than local effort is required, and to that end President Fred W. Jungclaus, Indianapolis, has dispatched the following notice to all corners of Indiana to arouse the local city builders' associations to their duty in this matter.

He says:

On To Michigan City.

It is the desire that the next annual convention of the Associated Building Contractors of Indiana to be held in Michigan City, January 23, 24 and 25 may be the largest and most representative yet held. I wish to impress upon you the importance of each local association having its strongest representation in attendance. I would therefore suggest that the matter of membership attendance be placed in the hands of a committee of each association with the purpose that the above desired result be attained.

You are certainly aware of the good our association has already accomplished for the industry and the need for a continuance of the great work, so let us all strive for a splendid convention and with greater accomplishments during 1923 as our objective.

Let's Go!

**BUILDING PERMITS.
(\$4500 and Over)**

Week of December 7th to 14th.

*Garage and Salesroom: \$250,000. Owner, Meridian-Thirteenth Realty Co. Lessee, Buick Motor Co. General contractors, Conder and Culbertson. Wrecking.

Apartment Buildings (2) \$40,000 each. 532 E. Maple Road. Owner and builder, H. K. Fatout, 3107 Ruckle St. Start work at once. Brick veneer and frame.

Apartment (4 apts.) \$27,000. 5237 Central. Owner, Clifford H. Norman, 2170 N. Talbott. General contract let to Conder and Culbertson, 623 No. Noble St. Brick veneer.

Residence: \$22,000. 4511 Broadway. Owner, Alf O. Kauffman, % Link Belt Co. General contract let to Albert Fuller, 438 No. Emerson. Brick and stucco.

Residence: \$12,000. 509 Blue Ridge. Owner, Dr. W. F. King, State Board of Health. General contract let to F. Bremmerman & Son, 1050 West 30th. Brick veneer and frame.

Residence: \$7,000. 4805 Park. Owner, Edw. B. Saxton, % Security Trust Co. Day labor.

Storage Building: \$5500. 1 sty. 50x100. 40th and Monon. Owner, Western Supply and Fuel Co., Jno. W. Van Wert, Prest., 801 No. Pennsylvania. Owner builds. Conc. block.

Residence: \$8,500. 528-30 Eastern Ave. Owner, M. M. Ryan, 213 Eastern Ave. General contract let to George F. Brewer, 220 No. Gray.

Residence (double) \$6,500, 425 West 44th. Owner, Maynard Realty Co., at site.

Residence (double) \$6,500. 3435-37 Carrolton. Owner, M. S. Myers, 2306 Brookside. Owner builds.

Residence (double) \$8,600. 4637-39 N. Capitol. Owner, Archie R. Kimmick, 816 Odd Fellows Bldg. General contract let to Indiana Builders Corp., Odd Fellows Bldg. Start work at once.

Stores (4) \$7,000. 4810-16 East Mich. Owner, Oma R. Goble, at site.

Garage: 1 sty. 50x95. 525 Pearl St. Owner, C. R. Rhodes and Son, 340 West Washington St. General contract let to Jos. Linder, 1630 No. New Jersey St.

Residence: \$8,000. 5619 College Ave. Owner, F. C. Patton, 3826 Winthrop. Contract let to Wakefield-Patton Co., 3826 Winthrop. Excavating.

Residence: \$8,000. 5617 College. Owner, LeRoy Wakefield, 3826 Winthrop. Contract let to Wakefield-Patton Co., 3826 Winthrop. Excavating.

Residence: \$7,000. Owner, David W. Fisher, 2424 East 10th St. Excavating.

Residence (double) \$7,000. 4113-15 Graceland. Owner, C. M. Anderson at site.

Residence: \$5,000. 624 Eastern. Owner, Cornelia Vollmer, 1824 Union St. Excavating.

Residences (4) \$2800 each. 1848-44-52-56 No. Rural. Owner, Grant Heebner, 2929 College Ave. General contractor, Olvey Bros., 2168 Oxford St.

BEDFORD STONE & CONSTRUCTION CO.
Contractors—Engineers
810-15 FLETCHER TRUST BLDG., INDIANAPOLIS

CONDER & CULBERTSON
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WM. P. JUNGCLAUS CO.
Building Contractors—Industrial and Schools
825 MASSACHUSETTS AVE., INDIANAPOLIS

J. G. KARSTEDT CONSTRUCTION CO.
General Contractors
429 LEMCKE BLDG., INDIANAPOLIS

MORROW AND MORROW
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JAS. HODGSON & SONS
Brick Contractors
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Phones—Residence, Randolph 5203; Office, Circle 4164
WISE BROTHERS
(Walter W. Wise)
MASON CONTRACTORS
206 Indiana Trust Bldg. Indianapolis

COMMERCIAL & INDUSTRIAL BUILDERS
Hall Construction Company
405-406 BOARD OF TRADE
INDIANAPOLIS

CHAS. LATHAM, JR., PRES. **HARRISON WALTERS, V. PRES.**
WM. W. WIESE, SEC.-TREAS.
LATHAM & WALTERS
INC.
ENGINEERS AND CONTRACTORS
927-928 STATE LIFE BLDG. INDIANAPOLIS, IND.
GENERAL CONTRACTORS, CIVIL AND STRUCTURAL ENGINEERS
TELEPHONES:—MAIN 1248. AUTO. 28-581

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Industrial Plants Complete Engineers—Builders Power Houses Factories
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INDIANAPOLIS

Ornamental and Miscellaneous Iron
Bronze and Brass Work
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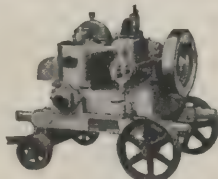
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Builders Hoists Steel Derricks Steel Concrete Forms
Concrete Mixers Column Clamps Round Column Moulds
Mortar Mixers Concrete Hand Carts
Concrete Elevating and Distributing Plants
Double and Single Cage Material Elevator Platform

GEO. W. FIFE EQUIPMENT CO.
1403 Merchants Bank Building
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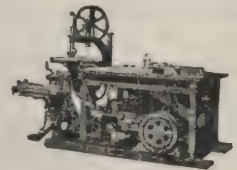
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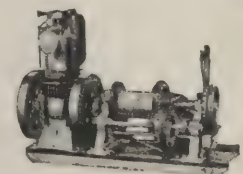
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CALUMET DISTRICT

CONSISTING OF

HAMMOND INDIANA HARBOR
EAST CHICAGO WHITINGBuilding Trades Employers'
Association.

Member State A. B. C.'s

J. Wesley Reed President
E. E. Cole Secretary108 Citizens National Bank Bldg.,
Hammond, Indiana**MEETING NIGHTS**General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.**HERE'S THE ANSWER.**

Sometimes one is forced to wonder why money is so scarce and so many people complain of being hard up.

The following instance, a fable by no means, may throw some light on the matter and explain away some of the perplexity. Right here in Hammond there was a good mechanic who was able to command good wages. He was married just previous to the war and since that time had been able to save up \$1,500 or more. Recently he and "friend wife" reached the laudable decision to own their own home. However, instead of selecting a nice, comfortable little five or six room domicile in a modest home subdivision these two "turtle doves" desired a loftier nest. The result was that a real estate man talked them into buying a \$7,500 bungalow in one of the sweller neighborhoods. This transaction entailed the payment down of \$1,000, the balance to be paid off in rent at \$75 per. Then, too, there were special assessments for sewer and sidewalk improvements that were passed along to the new owner, which, added to light, gas and telephone bills, amounted to an additional regular monthly expense of \$10.00.

Having secured the home, the young couple moved in. An exchange of neighborly calls revealed to the newcomers that one of the neighbors had been one of the "Dollar a Year Men," who had helped the government win the war. The new home owners felt that their furniture was not up to date enough to correspond with that of the "Dollar a Year Man," so they sold the old stuff. Next followed a call upon furniture dealers after which new furniture, rugs, victrola and many electrical household accessories found their way into the new home on the basis of so much cash down with monthly payments to follow to care for the new accounts.

Next, they discovered that to hold the pace an auto was needed and one was secured at \$1,750, this, too, on the cash and carry plan, \$175 down and \$25 per month payments. Wifey, then had to have a new coat and, since all available cash was used up, drastic methods were necessary. An advertisement of the Liberal Credit Clothing Co., solved the dilemma. Said wife got her coat, a \$75.00 one for \$100, \$15 down plus payments of \$10 per mo.

Everything was fixed now; hubby only

had \$155.00 payments per month to meet, to say nothing of the regular household bills, and all this to be done on a \$50 per week salary.

We give it up. Oh, yes, we heard your question, "How does he do it?"

That isn't all; in the language of Bridget, who when accused by Mike of being friendly with Clancy, the boarder, said, "Shure, he ain't the only one."

STATE CONVENTION ACTION TO BE TAKEN SOON.

The Building Trades Employers' Association of the Calumet District has taken no official action as yet relative to the State A. B. C.'s annual convention at Michigan City in January, but will take this matter up at the regular monthly meeting, December 19th.

CALUMET BUILDING PROGRESS.

Contractor Charles Rhoads, who is building ten bungalows in Fields avenue, in the Bunnell Addition, has two of the houses under roof.

William A. Wirt of Gary, said to be the agent of steel interests, has leased from Henry W. Leman of Chicago, the owner, 582 acres of Porter county land along Lake Michigan, west of Waverly beach, at an annual rental of \$17,460, with an option to buy at \$600 an acre cash. It is said a university and town may be built there.

E. E. COLE.

MUNCIEAssociated Building Contractors
Member State A. B. C.Chas. Rowe President
J. A. Gallivan Secretary

314 Main Street

NEED FOR SMALLER CITY CONTRACTORS PULLING TOGETHER ESPECIALLY STRONG.

The smaller city contractors have all the more need for standing together and working in unity simply for the reason that the big cities undoubtedly offer the greater attraction for the employe, both in the matter of wages and recreational diversion. This latter feature is one that can hardly be combatted, but in order to insure an adequate labor supply and hold the mechanics who really are desirous of locating permanently in the smaller cities the contractors can, by working together, arrange wage scales that will be attractive to the building trades mechanics.

It is here that the association comes in; first it enables the employers, both big and little, to become better acquainted, pool their problems and work out their salvation. They can through mutual understanding arrive at adequate wage decisions that will assure competent labor and thus counteract the influence that sweeps in from the big cities. With regard to this, there are small city contractors who are inclined to a low wage scale, but there are others who know better, are aware that such is expensive in that it means less skilled men, discontent and the other things that go with that combination.

There is only one way to insure good building conditions and that points in the direction where the contractors stand together, consider every phase of their industry and the welfare of the employes as well as themselves and their own individual interest. However, when one contractor pulls one way and another another they lose control of the situation and the conditions that result are all wrong. It simply means a house divided against itself.

Here is a condition against which all contractors should guard and the most feasible way to achieve that end is through an association, a militant, virile one that stands only for fair play and justice.

The contractors in the larger cities in the country sometime since saw the light and have profited thereby, the result being enormous volumes of building construction. Such volumes, it is true, are impossible in the lesser cities, but every move should be taken advantage of to encourage to the utmost the building prospects that do arise. It is always the prevailing conditions that wreck building prospects causing a man to quit even after he has had plans drawn and received bids.

There is a wealth of prospect for the season of 1923 but every contractor must be prepared to take a part in the setting of the stage if the on-coming performance is to be a success. The next few months are going to be a little quiet and if the contractors will be satisfied to be stage hands they can so arrange matters that "the house won't be dark" next summer.

If you are a member of a local contractors' association get out and talk it up, recruit it to its full strength and be prepared to aid in the raising of the curtain on a big building show in 1923.

Next season's business hinges largely upon the attitude of the contractors toward each other and this includes the sub-contractor as well as the general. In a word, it is up to the contractor and he can greatly expedite matters through association effort.

COMPETITION CARRIED TOO FAR IS THE CRUX.

There is no way of getting around the fact that it is the keen competition prevailing in contracting circles that keeps the building trades employers apart. Not only is this true in big cities, but also in the lesser municipalities and it even extends to the point where the builders of one locality contend with those of other places for the advantage.

Competition is a fine thing, it is a necessity but it has its limit and beyond that is folly. When competition is carried to the point of selfish advantage it fails for he who gains awakens to find later that another play is started somewhere to check-mate him.

There are certain fundamental conditions in contracting that are common to all and along the lines of which there should be unity. When abortive methods are employed to break this unity there must needs be chaos.

Unity of purpose and action is what Indiana contractors need, what the Indiana building contracting business needs. Let's all make that our aim in 1923.

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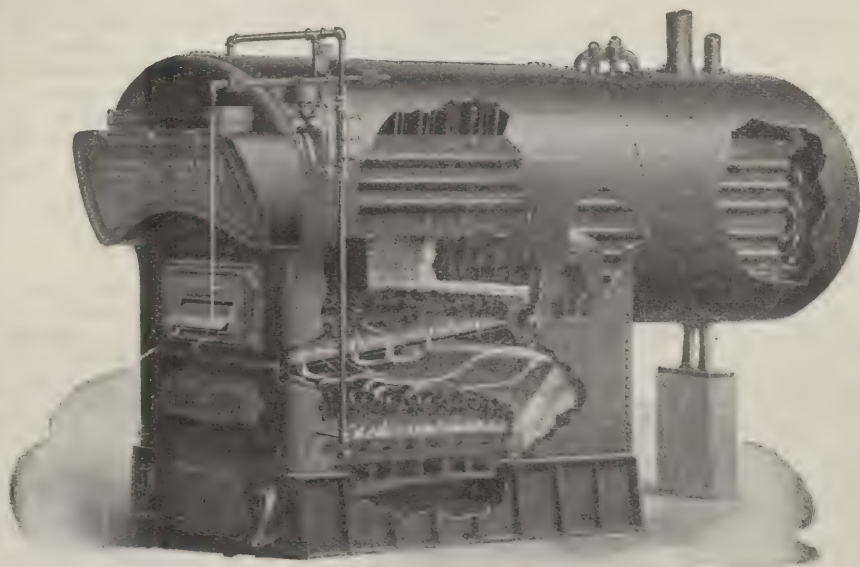
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INDIANA CONSTRUCTION RECORDER

FOR
ARCHITECT
ENGINEER

Devoted to the
Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

VOL. IV

INDIANAPOLIS, INDIANA, DECEMBER 23, 1922

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the Act of March 3, 1879.

BUSINESS ASSOCIATIONS NO LONG- ER AN EXPERIMENT BUT A NECESSITY TO SUCCESS

J. H. OWENS

Field Representative, Associated Build-
ing Contractors of Indiana.

Present day methods require and recognize the necessity of trade organizations for convenience and economy. The public is more interested in all lines of endeavor than ever before, and it requires association effort to keep the public informed of particular businesses, and to serve the public properly. The need of such associations was very evident during the late war, and association endeavor is now encouraged by the Department of Commerce.

The building industry is second in size, exceeded only by agriculture. The Associated Building Contractors of Indiana has done its part, has been and is functioning every day to make the building construction industry a better one for its participants, and at the same time, is performing a public service.

All contractors derive the general benefits, whether they are members or not, but do they want others to carry their lead? And do they knowingly want something for nothing? They, individually, should consider that which they owe the industry in which they gain their livelihood. All should do their duty, and help the Associated Building Contractors of Indiana to truly represent the building construction industry by becoming members and in that way affiliate with others, striving to make a success in the same line of endeavor, for the mutual betterment of all.

Every Indiana contractor is cordially invited to attend the Fifth Annual Convention of the A. B. C.'s, of Indiana at Michigan City, January 23, 24, 25, 1922. These annual sessions are not only filled

with deliberations conducive to better business but are enlivened with a spirit of sociability that makes the entire state contracting fraternity kin. Plan to attend, pack that grip, and take a few days off up at Michigan City in January while the convention is in progress.

SUBSERVIENCE OF BEAUTY TO MA- TERIALISM STRESSED UPON BY WELL KNOWN INDIANA ARTIST IN ADDRESS TO ARCHITECTS

Interesting in the extreme because of its finesse and well studied, careful delineation, was the address of Mr. Theodore Steele, dean of Indiana artists, delivered before the members of the Indianapolis Architects' Association and their guests at the Columbia Club, that city last week.

He said in part:

"In a remarkable address delivered by the French ambassador, Jules Jusserand, at the annual convention of the American Federation of Arts, Washington, D. C., spoke of the picturesqueness and charm of the old towns and villages of Europe. The address was entitled 'The Inestimable Value of Beauty,' and seemingly was an impromptu production, but all through it is characterized by a clearness of thought and statement in art matters decidedly French, and in marked contrast to art writing and criticism on this side of the water.

But to return to his point, American travelers and sightseers usually refer to this picturesqueness and the quaint and beautiful qualities of the old towns as the result of age, the mellowing effect of time, or the glamor of the historical incidents connected with them. Mr. Jusserand, however, says this is not the true point of view and these buildings, many gabled with their steep tiled roofs, that line the narrow, unsanitary streets, the monasteries and great cathedrals, were beautiful when new; they grew slowly from loving design and workmanship. Their beauty was the result of intention and not a happy accident. Where one of them remains in a modern city, the tall buildings beside may look down, but they can not destroy the beauty of the neighbor.

However, the serious feature of Mr. Jusserand's address, to which I wish to direct your attention, is his explanation of the cause of this great change in the spirit of the world, for, there has been a change, a decided one. The spirit of beauty has lost much of its influence as a ruling motive in design and construction since the days when these old towns

were built. Material utility has usurped the throne of beauty and the motives which guide men's energy and the ends at which he aims.

He says, 'With the immense expanding of industry which commenced in the second half of the eighteenth century, when inventions began to multiply in earnest, the newly acquired powers had on man their usual effect, making of him somewhat of a tyrant.

Bestow suddenly on any one unlimited powers, and, if he is not a saint he will become tyrannical. Hence, how could such frail barriers as aesthetic considerations slacken the race for production, increase, force, the assertion of a force so great that it could separate continents and change the face of the earth. What was the beauty of a tree compared with the usefulness of a factory chimney? Of course it did not count, and in this we see the effect of the first intoxication of ever growing power.'

With us in America, the result was inevitable. We had no background, tradition was faint, and the knowledge acquired from books gave no capacity to feel the natural beauty so richly about us, as compared with the direct material results. So, we first became wasters, despoilers. A noble tree had no chance against a factory chimney. Within the memory of most of us, how many natural beauty spots have disappeared?

The State is building an excellent and necessary system of highways. Take the roads north from our city; excellent roadways. Thus one can reach his destination quickly. But, to the old-timer,

(Continued on Page 15)

YOU DON'T SAY!

A builder was one day hunting in a forest. A terrible storm came up. He looked about for shelter. But there was none. It began to rain in torrents. So he crawled into a hollow log. It fitted snugly.

The rain lasted for hours. The water soaked through the wood. The log began to contract. When the storm was over the contractor could not get out.

He strained to free himself with all his might. But the log held tight. Exhausted, he gave up. He knew that he would starve to death.

Like a drowning man, he saw his whole life flash before him, especially his mistakes. He suddenly remembered that he had not paid his percentage dues to the Association of which he was a member.

This made him feel so small that he was able to crawl out of the log without difficulty. (From Associated Builders, Chicago, Monthly Bulletin.)

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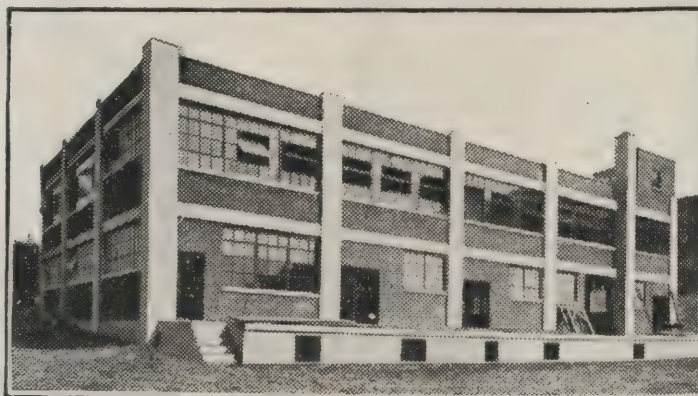
Items marked * in stock. Contractors send in plans of schools and public buildings for estimates on the above materials.

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News of the Week

The asterisk (*) prefix to an item indicates additional information to report published in previous issue.

INDIANAPOLIS

***Bank and Office Building:** \$1,000,000. 11 sty. & bas. 60x200. 126-30 East Washington St. Architect, Vonnegut, Bohn and Mueller, 610 Indiana Trust Bldg. Owner, Meyer-Kiser Bank, Sol Meyer, Prest., 136 East Washington St. Architect receiving bids. Reinforced concrete constr., white terra cotta facings, Italian green marble, structural steel.

Bids Close January 2nd.

Dam: \$200,000.00, 550 ft. long, across the Maumee River near Walton Ave. bridge, at Ft. Wayne, Ind. Consulting engineer, Chas. W. Brossman, 1503 Merchants Bank Bldg., Indianapolis, and A. W. Grosvenor (civil engineer), Ft. Wayne, Ind. Plans in progress. Owner will advertise for bids in 60 to 90 days. Reinforced concrete, permanent spillway, 2 steel movable rollers, each approximately 100 ft. long by 10 ft. in diameter, adjustable gates, hoisting machinery, special roller gate devices. Engineers desire to get in touch with manufacturers who can figure steel rollers, also manufacturers who can build heavy hoisting machinery for same.

***Church:** \$60,000. 24th & Station Sts. Architect, McGuire and Shook, 320 Indiana Pythian Bldg. Owner, Brightwood M. E. Congregation, 2358 Station St., Edgar Brown, Chmn. Bldg. Comm., 2440 Adams St.; Sam Ingle, Secy., 3178 N. Sherman. Plans completed. Ready for bids about January 10th.

***Automobile Service Building:** 1 sty. & bas. 112x122. S. E. Corner St. Clair & Capitol. Architect, D. A. Bohlen & Son, 1001 Majestic Bldg. Owner, Capitol & St. Clair Realty Co. Bernard Korbly, 600 Indiana Trust Bldg., and Fred G. Appel, 505 Fletcher Trust Bldg. Lessee of building, Madden-Copple Co., Chas. F. Campbell, Prest., 209 West North St. Archt. receiving bids to close at once. Brick, mill construction, steel sash, steel girders & trusses, composition roof.

Apartment Building: (4 apts.) (rem. from residence). \$10,000. 2 sty. 644 Middle Drive Woodruff Place. Architect, Sam A. Hastings, Denniston and Center Sts. Owner, John M. Dils, 624 Middle Drive, Woodruff Place, Indianapolis. Plans in progress. Frame, asphalt shingle roof, tile floors in baths, steam heating, complete new plumbing, electric wiring and fixtures.

***High School:** Connersville, Indiana.

Architect, The Elmer E. Dunlap Co., 1050 No. Delaware St., Indianapolis. Owner, Board of School Trustees, Connersville. Plans and specifications completed and approved, will advertise for bids about January 10th.

***School:** Lancaster Township, Jefferson County, Indiana. Architect, The Elmer E. Dunlap Co., 1050 No. Delaware St., Indianapolis. Owner, Chas. L. Rutledge, Trustee, Dupont, Indiana. Revised plans completed. Owner will advertise for new bids about January 20th. Brick.

***High School:** (Alterations and additions). Winchester, Indiana. Architect, The Elmer E. Dunlap Co., 1050 No. Delaware St., Indianapolis. Owner, Board of School Trustees, David F. Hardman, Prest.; L. M. Kimmel, Secy., Winchester. Owner will advertise for bids about Feb. 1st. Brick.

School: Liberty Township, Shelby County, Indiana. Architect, J. Edwin Kopf and Woolling, 402 Indiana Pythian Bldg., Indianapolis. Owner, Omer E. Perkins, Trustee, Waldron, Indiana. Plans completed. Owner will advertise for bids about February 1st. Brick.

Store Building: 1 sty. & bas. Architect, Russel N. Edwards Co., 45 Union Trust Bldg. Owner, Ashjian Bros. (Rug Manufacturers) 454 West 16th Place. Plans in progress. Brick; ordinary construction.

***Factory** (addition), \$25,000. 00 2 sty. South East St. Archt. and engineer, Russell N. Edwards Co., 45 Union Trust Bldg. Owner, American Tent and Awning Co., South East St. Brick, mill construction. Owner will build by day labor. Start work shortly.

School Furniture: The trustee-elect (Vestal Davis) of Wayne township, Marion county, and his advisory board will receive sealed bids at his residence on the Country Club road and West Tenth St., on January 11, 1923, at 1:30 p. m., for the following school furniture for immediate delivery: 35 primary school desks, 35 intermediate school desks, 35 large size school desks. Twenty per cent of the above desks to be adjustable. Necessary window shades for school rooms and library room; 3 teachers' desks, 3 desk chairs. They reserve the right to reject any and all bids. Joseph M. Hillman, trustee of Wayne township, Maion county, Indiana.

Residences (2 doubles) and 4 car garage: (6 rooms each side) West Drive, Woodruff Place, Indianapolis. Owner, Chas. Montgomery Zink, State Secretary and Treasurer of Indiana Division Travelers Protective Assn. of America, 408 Indiana Pythian Building, Indianapolis. Mrs. Chas. M. Zink, % Indiana University, Bloomington, Ind., is in charge.

Architect, Alfred Grindle, Public Square, Bloomington. Preliminary plans in progress. Stucco, asphalt shingle roof, tile and hardwood floors.

Residence (Duplex and Garage: \$15,000. No. Meridian St. Architect, Fermor S. Cannon, 21 Virginia Ave. Owner, Duplex House Co., Harvey Coonse, Prest. 71 So. Tuxedo St. Start work soon. Owner will build by day labor. Brick veneer.

Residence: (double) \$14,000. 2 sty & bas. 32x51. 4619-21 No. Pennsylvania St. Private plans. Owner, Carl Kreis, General Agent for Hartford Accident & Indemnity Co., 405 City Trust Bldg. Owner will build and award separate contracts. Start work about February 15th. Brick veneer.

Residences: (2 doubles) \$7,800 and \$9,000. 2 sty. & bas. 32x46 & 26x54, 4407-09 Central Ave. & 4401-03 East 44th. Private plans. Owner, Minnie Swindler, University Heights, Indianapolis. Plans in progress. Start work soon. Brick veneer, asphalt shingle roofs, furnaces.

Commercial Building (rem. and add.): about \$50,000.00. Private plans. Owner, Del-Court Realty Co. Philip Grenwald, 34 N. Delaware St., J. J. Kiser, V. P. Meyer-Kiser Bank. Plans in progress. Work will consist of new brick front, store fronts, elevator, electric wiring and fixtures, mill work, tearing out partitions and general alterations.

Contracts Awarded

Suburban Residence and Garage: \$400,000. 2 sty. & bas. 100x47. Near Riverside. Architect, Bass, Knowlton & Co., 312 No. Meridian St. Owner, Chas. B. Sommers, Prest. D. Sommers & Co., Capitol Ave. and Washington St. General contract awarded to Bedford Stone & Construction Co., Fletcher Trust Bldg., Indianapolis. Brick, reinforced concrete, limestone. English type of architecture.

***Condenser and Still Building:** 1 sty. 85x102. Architect, Bathelder & Scales, Board of Trade Bldg. Owner, Republic Creosoting Co., Merchants Bank Bldg. General contract awarded to Schlegel & Roehm, 606 Lombard Bldg. Brick.

***School:** Jackson Township, Decatur County, Indiana. Architect, The Elmer E. Dunlap Co., 1050 No. Delaware St., Indianapolis. Owner, Cliff N. Fulton, Trustee, Letts, Indiana. General contract awarded to W. R. Dunkin & Son, Flora, Indiana (on condition), awaiting approval of State Tax Board. Expect to start work about February 1st. Brick.

Commercial Building: (general remodeling & addition). \$10,000. Private plans. Owner, General Motors Co., Walnut and Illinois Sts. General contract awarded to Lynn B. Millikan, 501 No. Delaware St. Brick.



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INDIANAPOLIS



VENTILATORS

Ice Plant: \$27,000. 1902 South East St. Private plans. Owner, Polar Ice & Fuel Co., John W. Miner, Prest., 20th and Northwestern Ave. General contract awarded to William P. Junglaus Co., 825 Mass. Ave. Start work at once. Brick. 1 sty. 47x83.

Residences: (9) \$40,000 Total. 9 doubles. 121-23; 137-39; 145-47; 118-20; 122-24 Webster St., and 17-19; 37-39; 45-47; 43-45 Catherwood. Owner and builder, Walker-Brooks Realty Co., 134 No. Delaware St. Start work soon. Frame.

Residence: (double) \$15,000. 2 sty & bas. 28x54, 4605-07 Broadway. Architect, Ed. Doeppers, Engineering Dept., City Hall. Owner, Max Ziegler, Sales Manager, Mooney-Mueller Drug Co., 101 S. Meridian St. General contract let to Mark Clift, 4125 Byram Ave. Contractor will start work in about 60 days. Brick veneer, tile roof, furnace, tile & hardwood floors.

***Salesroom (Garage and Service Station:** \$250,000. 3 sty & bas. 100x200. 13th and Meridian Sts. Architect, J. Edwin Kopf and Wooling, 402 Indiana Pythian Bldg., Indianapolis. Owner, Meridian and Thirteenth Realty Co., Crawford Fairbanks, Prest., Terre Haute, Ind., K. K. Woolling, 401 Indiana Pythian Bldg., Indianapolis. John Collett, 25 East 33d St., Indianapolis. Lessee of entire bldg., The Buick Motor Co., Ills. & Vermont Sts., Indianapolis. General contract awarded to Conder and Culbertson, 623 No. Noble St., Indianapolis. C. J. Wacker, Peoples Bank Bldg., is the contractor for excavating, plain and reinforced concrete work. Start wrecking old building on site shortly after Jan. 1. Start excavating about Feb. 1st.

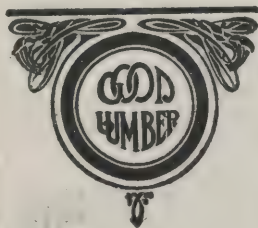
Residence (double) \$13,000. 2 sty. & bas. 30x48. 4611-13 Broadway. Private Plans. Owner, Charles Dare, Purchasing Agent, Mooney-Mueller Drug Co., 101 So. Meridian St. General contract awarded to Mark Clift, 4125 Byram Ave.

Contractor will start work in about 60 days. Brick veneer, tile or asphalt shingle roof, 2 furnaces, hardwood & tile floors.

Residence: (double) \$13,000. 2 sty & bas. 32x52. 210-14 East 49th St. Private plans. Owner, Frank J. Lahr, Judge, Marion County Juvenile Court, Court House. General contract let to Mark Clift, 4125 Byram Ave. Contractor will start work about February 1st. Brick veneer, asphalt shingle roof, 2 furnaces.

Apartment Building and Stores: \$12,000. 2 sty. & bas. 27x61. 4151-53 Boulevard Place. Private plans. Owner, Michiel J. Ready, 1213 No. Pennsylvania St. General contract awarded to John Stewart, 1401 Cornell. Brick, ordinary construction. Start work in 30 days.

Residence: (double) \$11,000. 2 sty & bas. 27x38. 2538-40 No. Delaware St. Private plans. Owner, N. C. Mann, 4309 Central Ave. General contract let to O. F. Mann, 4309 Central Ave. Brick veneer.



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Residences: (2) \$10,000 each. 3837 & 3843 Central Ave. Private plans. Owner, Schuyler A. Haas (Attorney), 504 Lemcke Bldg. General contract let to Court Realty Co. Owner. Start work soon. Frame, asphalt shingle roofs, furnaces, hardwood & tile floors.

Residence: (double) \$10,000. 2 sty. & bas. 28x46. 4208-10 Ruckle St. Owner, Harry W. Beazell, 2858 No. New Jersey St. General contract let to Realtor Bldg. Co., Lemcke Bldg. Start work about February 1st. Frame and stucco.

Residence: (double) \$12,000. 2 sty. & basement. 28x51 feet. Private plans. Owner, Minnie M. Remington, 3945 No. Capitol Ave. General contract awarded to I. H. Norman. Owner will start work in about 30 days.

Residence: (double) \$10,000. 2 sty & bas. 28x38. 525-27 East 52d. St. Private plans. Owner, Minnie M. Remington, 3945 No. Capitol Ave. General contract let to I. H. Norman, % Owner. Start work in February.

Residence: (double) \$10,500. 2 sty. & bas. 29x48. 3867-69 Park Ave. Private plans. Owner, W. H. Benton, 2821 No. Delaware St. Plans in progress. Expect to start work about February 1st.

Residence: (double) \$11,000. 2 sty. & bas. 4922-24 Washington Boulevard. Private plans. Owner, Oscar X Buehler, Prest. Indianapolis Tool & Manufacturing Co., 205 West South St. Plans in progress. Start work in about 60 days.

Store Building: \$8,500. 1 sty. 43x46. 4305-09 Michigan St. Owner, E. E. Barb, 612 No. Colorado. Owner will build by day labor.

Residence: (double) \$8,700. 2 sty. & bas. 4641-43 No. Capitol. Owner and builder, Indiana Builders Corporation, Archie R. Kimmick, Prest., I. O. O. F. Bldg. Start work shortly. Frame.

Residences: (2 doubles) \$7,000 each. 415-17 & 423-25 West 43d. St. Private plans. Owner, Etta Thrush, 4253 Rockwood. General contract let to Perry R. Thrush, 703 Lemcke Bldg. Start work soon. Frame.

Residence: (double) \$7,000. 55-57 Kealing Ave. Private plans. Owner, Chas. Vollrath, 202 South Audubon Rd. General contract let to W. H. James, Madison Road, south of University Heights, Indianapolis. Start work in 10 days

Residence: (double) \$6,000. 1202-04 West 31st. Owner, David Krieger, 2019 No. Illinois St. Owner will build by day labor. Start work soon. Frame.

Residence: (double) \$6,500. 17-19 So. Euclid. Private plans. Owner, W. C. Brydon, 5135 Norway. Owner builds. Start work shortly. Frame.

Residence: (double) \$8,000. 614-16 East 47th. Owner, M. M. Andrews, % Washington Bank & Trust Co. Owner builds and awards separate contracts. Start work shortly.

ELKHART.

***Apartment Hotel:** \$1,500,000. 9 sty. & bas. 225x225. (1166 rooms) Wilmette, Illinois, Kenilworth Line, Cook County. Architect, R. L. Simmons, Elkhart, Ind. Owner, Beach Manor Apartment Hotel Co., 1101 Security Bldg., 189 West Madison St., Chicago, Ill. Owner receiving bids. Brick, frpf. constr., reinf. concrete, hollow tile, steel frame constr., built-up roof, high pressure boilers, private water system, steel sash.

***Church:** \$50,000. Monroe and Middlebury Sts. Owner, Castle United Brethren Congregation, Rev. H. C. Beauchamp, Pastor, 814 Monroe St. Architect, E. Hill Turnock, Elkhart. Plans completed. Brick, stone trim.

***School** (Add. of an auditorium and gymnasium) "High School Building," \$125,000. 1 sty. & bas. 104x120x180. Architect, E. Hill Turnock. Owner, Board of School Trustees, Elkhart. Plans nearing completion, mature late winter. Brick, stone trim, steel truss roof, split steam heating system, 800 metal lockers, metal windows, skylights.

Bank: \$60,000. Hartford City, Indiana. Architect, E. Hill Turnock, Monger Bldg., Elkhart. Owner, Citizens State Bank, Hartford City, Indiana. Plans about completed. Ready for bids soon. Brick, 2 sty. & bas. 40x90. 2 reinf. conc. vaults, vault doors, new bank fixtures, tile and marble work, steel girders, bronz doors.

EVANSVILLE

Amusement Park: (new buildings and additions) \$117,000. "Exposition Park," Evansville. Owner, Col. I. Austin Kelly, Rye, New York. Plans in progress; mature about March 1st. Frame.

***Residence:** \$35,000. 2 sty. & bas. (10 rooms) Sunset Ave. Architect, Harry E. Boyle and Co., Furniture Bldg. Owner, E. Meade Johnson, Prest. Meade-Johnson Co. Plans in progress. Ready for bids about February 1st. Stucco, steam heat, tile roof.

***Bungalow:** \$10,000. (6 rooms) Mt. Carmel, Ill. Architect, Harry E. Boyle & Co., Furniture Bldg., Evansville. Owner, Clarence Hurd, Mt. Carmel, Ill. Ready for bids about January 10th. Frame.

***Packing Plant** (Addition 3 sty. 42x31. Architect, Harry E. Boyle & Co., Furniture Bldg. Owner, Evansville Packing Co. Brick, reinf. concrete construction, refrigerating plant, steel sash, comp. roof. Archt. taking bids to close December 26th.

***Packing Plant:** 1 sty. 40x100. Outer 4th. Ave. Archt., Harry E. Boyle and Co., Furniture Bldg. Owner, Benjamin W. Jenkins, 522 South 4th Ave. Plans nearing completion. Ready for bids soon. Reinforced concrete.

***Residence:** \$8,000. Howard St. near Second. Architect, Harry E. Boyle & Co., Furniture Bldg. Owner, C. H. Gardner. Archt. taking bids to close December 27th. Brick veneer.

***Residence:** \$10,000. (6 rooms) Architect, Harry E. Boyle and Co., Furniture Bldg. Owner, Emil Seminele. Bids in; under advisement. Frame.

***Duplex Apartment:** \$16,000. Chandler and Scholz Aves. Architect, Harry E. Boyle and Co., Furniture Bldg. Owner, Frank Freund. Plans completed. Ready for bids in 2 weeks. Brick.

Car Shops: 1 sty. 150x500. Mt. Vernon, Ill. (near Evansville.) Owner, Mt. Vernon Car Manufacturing Co., Mt. Vernon, Illinois. Start work soon. Brick.

Duplex (rem. from residence- 702 Blackford. Architect, Harry E. Boyle & Co., Furniture Bldg. Owner, Mrs. Mary Elder, 702 Blackford St. Plans in progress.

Memorial Building: Huntington, Indiana. Architect, Harry E. Boyle and Co., Furniture Bldg., Evansville. Owner, Chamber of Commerce, Hugo C. Rothert, Prest., Huntington Bank, Huntington, Indiana. Sketches. Details undecided. Definite data later.

(Continued on Page 11)

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INDIANAPOLIS

Sunday School and Gymnasium: \$40,000. Huntington, Ind. Archt., Harry E. Boyle and Co., Evansville. Owner, Salem Evangelical Church, Rev. J. C. Klingberger, Pastor, Huntington, Ind. Preliminary plans in progress. Brick.

***Factory:** \$75,000. 4 sty. 75x150. 2nd and Division Sts., Evansville. Architect, Alfred E. Neucks, 515-16 Peoples Bank Bldg., Evansville. Owner, General Cigar Co., 119 West 40th St., New York City, and 2 Upper Second St., Evansville. Plans about completed. Wrecking present bldg. Archt. ready for bids soon. Brick, mill construction.

Main Sewer: Owner, Board of Public Works, Walter F. Wunderlich, Clerk, is taking bids to close December 29th at 10 a. m., for a sewer to be constructed of brick, reinf. conc. vit. segmental block or reinf. conc. block. 700 ft. of 48-in. pipe; 993 ft. 42-in.; 660 ft. 36-in.; 300 ft. 30-in.; 1550 ft. 24-in.; 700 ft. 18-in.

Contracts Awarded.

***Residence:** \$13,000. Scholz and Madison. Architect, Alfred E. Neucks, 515-16 Peoples Bank Bldg. Owner, Phil Raphael. General contract let to John Wilkins, Stringtown Road, Evansville. Start work at once. Brick veneer.

Residence: \$6,000. Riverside Drive near Howard. Private plans. Owner, Thomas Brose. General contract let to John Wilkins, Stringtown Road.

FRANKFORT.

High School Building: \$200,000. Owner, Board of School Trustees, Richard M. Heavilon, Prest., Marvin S. Hufford, Secy. Contemplated. Owner will select an architect in January. Project will mature spring. Brick, frpf. constr.

***Theater** (fire rebuild) Owner, M. L. Conley, % The Blynn Theater. Architect, Rodney Leonard, Peoples Life Bldg. Bids rejected. Will probably revise plans and ask for new bids in the spring. Brick.

FRENCH LICK.

***School:** \$40,000. Archt., Clifford Shopbell and Co., Furniture Bldg., Evansville. Ind. Owner, Board of Education, French Lick. Revised plans completed. Owner will readvertise for bids about March 1st. Brick.

Contracts Awarded.

***School:** \$21,000. Dubois, Indiana. Archt., C. H. Lutes, French Lick. Owner, James Lansford, Trustee Jasper, Ind. General contractor, Ed. Hemmelin, Jasper, Ind. Work started.

FT. WAYNE.

Residence and Garage: \$40,000.00, 2 sty. and bas., 44x74, Lincoln Highway near Ft. Wayne. Architect and builder, Chas. W. Kiracoffe and Son, 939 Lincoln. Owner, N. M. Putnam. Plans in progress. Expect to start work in 30 days. Cream colored brick, green tile roof, white quartered oak floors throughout, white and French gray enamel trim, 3 fireplaces, vacuum cleaning system, electric motor, water softener, marble and tile floors and wainscoting, vacuum heating system.

Church: \$60,000. Oliver and McKee. Architect, Not selected. Owner, Inman

Baptist Congregation, Rev. B. F. Martin, Pastor, 2815 Oliver St. Contemplated. Owners financing. Expect to mature about March 1st. Brick.

Lodge Building: 2 sty. and bas., 45x100. Private plans. Owner, Loyal Order of Red Men, Petersburg. Plans in progress. Ready for bids late winter. Brick.

Resort Hotel: \$25,000. 2 sty. & bas. 90x30. with 2 wings, 65x30 each, Lake Wawasee, near Warsaw, Indiana, Oakwood Park. Architect, F. A. Fortney and Clarence Levy, 509 Bass Building, Ft. Wayne. Owner, Evangelical League of Christian Endeavor, % Archt. Plans in progress. Frame, shingle roof, septic tank, private water system, will contain 44 rooms.

Stores (2) Apartments, and Hall: \$30,000. 2 sty. & bas. 47x175. Architect, Pohlmeier and Pohlmeier, Central Bldg. Owner, Christian Miller (Sheet Metal Works) Broadway and Jefferson. Plans in progress. Brick, composition roof, metal ceilings, furnaces, copper set store front.

Apartment, Store and Filling Station: \$10,000. Leo Road and Clinton St. Architect, Pohlmeier and Pohlmeier, Central Bldg. Owner, Carl Altschull, 1117 Jackson. Bids in; under advisement.

Dance Hall: \$30,000. 1 sty. 150x200. Architect, Pohlmeier and Pohlmeier, Central Bldg. Owner, River View Amusement Co., % Archt. Archt. taking bids. Frame, concrete foundation.

***Factory:** (Addition) \$100,000. 4 sty. 50x120. Superior and Calhoun Sts. Architect, Chas. R. Weatherhogg, Wayne and Webster Sts. Owner, Ft. Wayne Box Co., Calhoun and Superior Sts. Plans in progress. Brick, reinf. concrete and steel.

***Nurses and Physicians Home:** \$60,000. Irene Byron Tuberculosis Hospital. Architect, Chas. R. Weatherhogg, 250 West Wayne St. Owner, Board of County Commissioners, Angus C. McCoy, Auditor. Court House, Ft. Wayne. Preliminary plans in progress. Brick, fire-proof construction.

Contracts Awarded.

Residence: \$9,000. 2 sty. & bas. West Berry St. Architect, Pohlmeier and Pohlmeier, 303 Central Bldg. Owner, Louis Mommer. General contract let to Pohlmeier and Miller, 303 Central Bldg. Excavating.

***Warehouse:** \$9,000. 1 sty. 25x60. Architect, Pohlmeier and Pohlmeier, 303 Central Bldg. Owner, Freiburger Hardware Co., 1914 Calhoun St. General contract let to August Fuhrman. Pressed brick.

Residence: \$5,000. 1919 Andrews. Owner, E. A. Orr, 801 Greenlawn.

Residence: \$5,000. 1130 Edsell Ave. Owner, Wm. Conner, Logan St. Route

Residence: \$5,000. 3209 So. Barr St. Owner, Pohlmeier and Miller. Court St.

Residence: \$5,000. Webster St. Owner, H. P. Pawlisch, 112 West Jefferson St.

Residence: \$5,100. So. Wayne & Nuttman. Owner, Ernest Tuhrman, 3006 Harrison.

Residence: \$5,600. 2324 Terrace Rd. Owner, Elmer Pfeiffer, Mildred Ave. Route 4.

HAMMOND.

Office Building: 10 sty. Owner, Northern Indiana Gas and Electric Co. Contemplated. Brick, definite data later.

***Hotel:** \$100,000. 3 sty. 50x125. State St. east of Post Office. Owner, Dickson Bros. Hotel Co. Plans in progress. Take bids about February 1st. Brick.

Contracts Awarded.

Ford Assembling Plant: (1st unit) 1 sty. 500x1400. Torrence Ave. and 130th St. Owner, Ford Motor Car Co., Detroit, Michigan. General contract let to Great Lakes Construction Co., Chicago, Ills. Brick, steel sash, comp. roof.

***Stores (12), Offices (26), Hotel (120 Rooms): and Public Garage:** \$400,000. 4 sty. & bas. 210x135. State and Hohman Sts. Architect, C. Howard Crane, 127 No. Dearborn St., Chicago, Ill. Owner, Hammond Hotel and Improvement Co., J. P. Bereolas, Prest., Wm. J. Whinery, Secy., 306 Hammond Bldg., Hammond, Ind. General contract awarded to Finlayson Bros. Constr. Co., 139 No. Clark St., Chicago, Ill., \$348,000. Architect taking bids on heating, plumbing and wiring.

LAPORTE.

Club House and 9 Hole Golf Course: Owner, The Laporte Country Club, Laporte, Ind. Archt. (club house) Weller Kippel, 120 South Dearborn St., Chicago, Ill. Archt. (golf course) Langford and Moreau, 140 So. Dearborn, Chicago, Ill. Plans in progress. Frame.

***High School** (add.) \$300,000. Archt. Miller, Fullenwider and Dowling, Chicago, Ill. Owner, Board of School Trustees, Laporte. General contractor, Larson and Danielson Constr. Co., Laporte. Excavating. ptg. let to A. R. Gerbrick, Electric work to Fountz Electric Co., mill work to Laporte Sash and Door Co. Sheet metal work to Decker Bros., all of Laporte. Struct. steel to E. L. Shaw Co., Chicago.

MICHIGAN CITY.

Factory (Add.) \$20,000. 1 sty. 60x30. Private plans. Owner, Triangle Steel Products Co., Theo S. Cassel, in charge, Michigan City. Contemplated. Mature about March 1st. Brick.

Sub Division Development: \$60,000. Pottewana Park. Landscape Archt., American Park Builders, 201 East Ontario St., Chicago, Ill. Owner, Dr. Frank Warren, Michigan City. Start work soon. Area 150 acres. Work will consist of sewer, lighting and water systems, sidewalks, community park.

Cemetery Development: \$30,000. Owner, Company organizing, % H. Smitters, Michigan City. Landscape Architect, American Park Builders, 201 East Ontario St., Chicago, Ill. Start work soon. Will include roads, iron gates, private vaults, water system, iron fence.

PRINCETON.

Residence and Garage: \$10,000. 2 sty. & bas. Private plans. Owner, Laurence Sullivan, V. P. American National Bank,

Princeton. Sketches. Mature about Mar. 1st.

Filling Station: 1 sty. Main and Monroe Sts. Owner, The Standard Oil Co. Mature late winter.

SOUTH BEND.

Chapel and Mausoleum: \$100,000. City Cemetery. Private plans. Owner, J. M. Studebaker Estate, 505 Citizens National Bank Bldg. Genral contract let to L. E. Slaughter, 121 So. Emrick St., South Bend. Granite.

Factory and Office: \$20,000. 2 sty. 66x144. 1533 So. Main St. Owner, National Lumber Co., 1429 So. Main. General contractor, J. R. Good, 1118 Woodward Ave. Plastering to Herman Glaser, Painting to Harvey Goehr, all of South Bend.

Laundry Building: \$25,000. 2 sty. 211 Sycamore St. Owner, W. O. Davies, 211 West Jefferson Blvd. Owner builds. Excavating.

Residence: \$5,200. 218 West Madison. Owner, J. S. Kerner, 923 East Indiana Ave. Owner builds.

Residence: \$10,000. 1134 Blaine St. Owner, Mrs. E. E. Horspool, 111 Lindsay St. Contractor, C. H. Elrod, 2017 Prairie Ave. Brick veneer, on foundation.

Residence: \$13,500. 305 Lincoln Way East. Owner, Wilber Hool, 454 Lincoln Way East. General contract let to J. E. Brink, 602 East South St.

Store and Apartments: 2 sty. and bas. 759 So. Michigan. Owner, Mrs. Rosie Hodes, 759 So. Michigan St. (Building permit issued) Excavating.

MISCELLANEOUS CITIES.

***Alexandria:** School: \$68,000. 1 sty. & bas. Monroe School Township, Madison County, Indiana. Archt., E. F. Miller, 545 Farmers Trust Bldg., Anderson, Indiana. Owner, William Cunningham, Trustee., No. Harrison St., Alexandria, Ind. Low bidder, Glenn Gardner, 1119 Hendricks St., Anderson, Ind. Award contract shortly. Brick.

Bloomington: Apartment Building: 2 sty. & bas. Architect J. L. Nichols, 204 South Indiana Ave. Owner, John Campbell, North Grant St. Plans in progress. Brick veneer.

Clinton: Coal Washing Building and Equipment: \$50,000. Consulting Engineer, Allen and Garcia Co., 21 East Van Buren St., Chicago, Ill. Owner, J. K. Dering Coke Co., 332 South Michigan Ave. Chicago, Ill. Plans in progress. 1 sty. 50x125. Brick.

***Crawfordsville:** Printing Establishment (to be built in units) \$1,000,000. Architect, Howard Shaw, 39 So. State St., Chicago, Ill. Owner R. R. Donnelley & Sons. General offices 731 Plymouth St., Chicago, Ill. G. Ballinger, Mgr., Crawfordsville, Ind. Plans in progress. Plans will be ready for bids on 1st unit about March 1st. Brick.

Culver: Golf Course: (18 holes) Architect, Langford and Moreau, 140 South Dearborn St., Chicago, Ill. Owner, Culver Military Academy, Culver Indiana. Plans in progress.

Gary: Church and Rectory: \$50,000. Broadway and 13th Sts. Archt. Werthman and Steinbach, 155 No. Clark St., Chicago, Ill. Owner, Roman Catholic Church (Latin), Rev. John B. De Ville, 664 Broadway, Gary, Indiana. Plans in progress. Ready for bids in February. Brick stone trim, steam heat, 1 sty. & bas. 50x100.

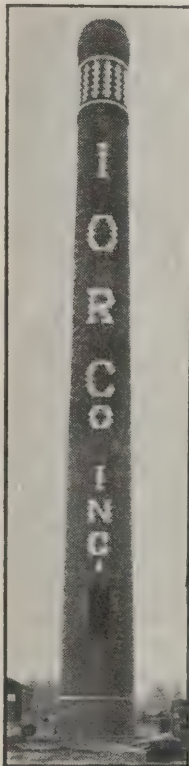
Lawrenceburg: Filling Station, \$6,000. Walnut and William Sts. Owner, The Standard Oil Co., of Indiana. Start work late winter. Brick.

Logansport: Service Stations (several) Owner, Pure Oil Co., Marion Overpeck, Mgr., 1417 George St. Mature spring. Brick.

Madison: Engine House. West Main St. Owner, City of Madison, % City Clerk, Madison. Brick. Contemplated. May mature early spring. Brick.

Newport: Community Building. 1 sty. 40x100. Owner, Community Club and Better Farming Assn., H. H. Boyd, Secy. Conrad Dutell, David Dierdorf, Bldg. Comm., Newport, Ind. Plans in progress. Hollow tile.

Oakland City: Community Building. 1 sty. Owner Father Sullivan, of the Snake Run Catholic Church. Plans in progress. Start work late winter. Frame.



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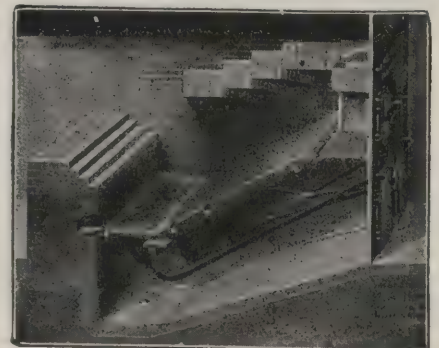
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MEETING NIGHTS

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General contractors meet second and fourth
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**SOME CHANGE IN FINANCING
WOULD AID HOME BUILDING**

Now that the year of 1922 has about run its course a checking up of the building figures for the entire period to date in Hammond reveals the information that \$3,425,000 was the estimated valuation registered on the new building that was started during the year. A big proportion of this volume of business covered new home construction, and while it materially aided in relieving the shortage of housing there still remains a big demand for new dwellings. The greatest drawback to an extensive home building campaign lies in the fact that few owners have at their command sufficient funds to take care of the greater portion of the operation, the result being that they pay down a small amount, negotiate a big loan in proportion to take care of the rest of the job and have to labor along under large monthly payments, payments that sometimes are so burdensome that the prospective builder, after serious consideration, becomes discouraged and gives up the idea of building.

OUTLOOK PROMISING

The outlook for next season is most promising, many good-sounding projects lending encouragement to the anticipation being entertained by those interested in the building industry of the Calumet District. Especially is this true of the situation at Hammond.

Every indication points to a greater building year next season than was experienced the past. There are all types of projects in contemplation embracing industrial, commercial, mercantile and home building construction. Even at this time there are plans in progress, or contracts have just been let (work that will reach far into 1923), for two hotels, a three-story bank building, a three-story store and office building, two grade schools, a large city community building, a theater, and a number of lesser sized projects such as stores and garages. Then, too, the Northern Indiana Gas & Electric Co. is contemplating the erection of a ten-story office building to care for its needs.

DICKERING

The Wage Committee of the B. T. E. A., of the Calumet District has had two sessions with the Carpenters' Committee only to learn that the demand for next season is to be \$1.25 per hour. The delegation representing the contractors is seeking to secure some changes from the present working conditions. So far no conclusions have been reached.

HELPED THAT MUCH ANWAY

The B. T. E. A. of this district accomplished one thing at least in 1922. Owing to the fact that agreements were reached with the bricklayers and carpenters which provided that no systematic strikes ensue when difficulties arose with other crafts there were no strikes, this being the first year such an end was ever attained in this locality.

CALUMET BUILDING PROGRESS

The Bereoloes Bros. Hotel was let to Finlayson Bros. of Chicago. The bids ran all the way from \$348,000 to \$415,000.

The Dickson Bros. Hotel will be let as soon as they can finance it. The latest information is that this feature has just about been taken care of.

The Henry Ford Plant across the line was let to the Great Lakes Construction Co., of Chicago.

The first snow of the season to cover the ground appeared the 13th and the mercury fell to six above 0, all of which sent us scurrying for the heavy ones.

A survey of the different parts of town shows 150 bungalows, apartments, and dwellings now under construction besides factory and commercial buildings. The trades are all busy with a shortage in bricklayers and plasterers prevailing.

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Associated Building Contractors
Member State A. B. C.

Chas. Rowe President
J. A. Gallivan Secretary

314 Main Street

**UNSUNG THE BUILDING DEEDS OF
INDIANA'S SMALLER CITIES
COUNT, TOO.**

While much is being said about the wonderful volumes of building work that have been "put over" in the big cities and those of close to a hundred thousand and over population, very little attention has been paid to the smaller cities who took good care of their 1922 building programs.

One might think that all the construction work went on in the big places and that there was a lull in this line of endeavor in the lesser sized municipalities.

However, such was not the case, in fact, the little city builders were as busy in proportion as the fellows in the big places. Naturally the demand for varied and large types of building construction was and is not as heavy as in the large cities, most of the building effort going into new houses and smaller business structures with here and there some factory work. Another thing, too, that fails to feature building results in the smaller localities is the fact that no great stress is put on building construction operations and complete figures in the way of totals are not available.

Except for a few of Indiana's large cities that impose certain building restrictions and requirements no permits are issued in the other municipalities with the result that the volume of building is lost as far as statistics go. If these figures were obtainable all over Indiana her building operations would stand forth strongly.

For instance, Muncie, Kokomo, Anderson, Vincennes, Lafayette and other such places of like size did considerable building the past year, which if totaled, would make a fine showing. Muncie alone built a fine new Elks' Club House, several city high schools, and buildings at the State Normal Institute, to say nothing of a good volume of new residences. Though probably Muncie's sister cities of like size did not put up as many large projects as she they did build residences, stores, etc., ably taking care of the local demand and furnished a good medium of employment to the mechanics dependent upon building construction for a livelihood.

The contractors in these various cities, through their associations, contended strongly to bring about favorable building conditions and to inject into the industry a stability that would inspire confidence in the prospective builders. Nor was their effort in vain for many who contemplated construction work proceeded with their projects and kept the building interests busy, not only contractors of all crafts, but material supply men and building trades employees as well.

**SLIP SOME RED INK ON THE
CALENDAR AROUND
THESE DATES**

A little admonition from northern Indiana is now being broadcasted over the State and all contractors would do well to "listen in" and act accordingly.

The message is: "Mark it down now! Going to Michigan City January 23, 24 and 25."

Everyone knows what that means for the big event of the year for the whole state contracting fraternity, the Annual Convention of the Associated Building Contractors of Indiana, is scheduled for Michigan City on the above dates. Every effort is being exerted to make this the most attractive contractors' meeting ever held in Indiana.

Give us the opportunity of demonstrating our various lines of building materials before placing your orders.

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Owing to the durability of the frames, we use only non-rusting wire cloth woven from commercial bronze wire.

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The screen doors reflect more clearly, perhaps, than any other one thing the quality of a screen installation. Higgin Doors are built to order. In width of rails, finish, and kind of wood used, they match the corresponding house doors.

Let us furnish without cost or obligation estimates of cost.

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INDIANA

Official Paper

Indiana Society of Architects

Office of the Secretary
500 BOARD OF TRADE BUILDING
Indianapolis, Ind.

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"Your Individual Prestige Can Never Be Greater Than the Prestige of the Profession to Which You Belong"

SUBSERVIENCE OF BEAUTY

(Continued from Page 5)

there is no temptation to linger on the way. Scenic beauties of larded wire fences, silos, and interminable fields are a bad exchange, to travelers, for the wayside trees, the occasional woodlot, and the bosky dells with their nuances of variegated color. In my own county (Brown), so rich in beautiful valleys and wooded hills, there are now twenty sawmills at work. In a neighboring county, an insurance company has come into possession of six hundred acres of original forest. They will not forest it; they will cut it all. They are now negotiating with lumber dealers, with railroads for the placing of thousands of ties, and even with cooper shops for hoop poles. Barren and useless hilltops, their sides gutted by erosion, will be the destiny of this noble forest land, now a refuge of birds and wild creatures of the woods, a sanctuary where man may walk beneath the great trees, and in its quiet knit together the raveled nerves, torn in the strife of modern life, and find again the things that are really worth while.

City parks are desirable, and they are worth all the immense sums they cost, but they are artificial and do not speak to the spirit in Nature's rugged dialect. This is heard alone in the solitude of mountains, the woods and the seashore. To a people these sanctuaries of the spirit are necessary for sanity and growth, and I use the word sanctuary advisedly; for they are places not only of recreation and enjoyment, but inspiration. Beauty is not only a joy forever, but a power, a force. My vision of a conservation well worth while would be to secure for the State as many tracts of primeval forest as possible. There are but a few of them left and in a very few years there will be none at all; only a memory of magnificence gone, for they will never be replaced.

There is no inevitable conflict between beauty and utility. A great people will express itself greatly and there are many signs of a change in the valuation of that which appeals only to the aesthetic sense as compared with purely material things. In many places many societies have been

formed to use active means to preserve natural beauty spots. The highway commissions of some states are seeking enlarged powers that will enable them to control and preserve groups or groves of trees, beautiful streams or other natural objects that add to the attraction of the road, though not upon their right of way, if they are liable to be destroyed by commercial interests. This is a recognition of the effect of the beauty of the environment of a road as an attraction as well as the good roadway. In a conversation with Mr. Poynter, the superintendent of the construction of the State Highway from Bloomington to Nashville, now in construction, he said: 'In widening the roadway from thirty to fifty feet, it is inevitable that I shall have to cut many trees; but I am saving all that I possibly can. It is my aim to give you a beautiful as well as a good road!'

MUST HAVE EXHIBITS

The goal is three weeks off; then comes the Annual Architectural Exhibit of Indiana Architects at the John Herron Art Institute, Indianapolis, January, 13th.

The success of this affair is fundamentally in the hands of the architects.

Have you, Mr. Indiana Architect, prepared your individual exhibit? The committee is anticipating your contribution.

HEARD AT TERRE HAUTE

One of the most pleasing features of the architects' meeting at Terre Haute was an informal talk made by Dr. Philip B. Woodworth, president of the Rose Polytechnic Institute, a few excerpts from which are given below.

"When all technical rules have been learned, there remains the big fact that no architecture is good unless sincerity runs clear through it. You can't insert sincerity, it's there, or it isn't there;

clear conception in clean cut lines is an impossibility to men who lack it."

"Architecture that is to be a genuine investment must have such dignity that it's yesterdays are fruitful assets through its tomorrows."

"The one fundamental asset of Architecture is the respect that it creates."

"Architecture that is to stand as a permanently fruitful investment must not be made to stand on any fugitive interest."

"However brilliant any piece of architectural work may seem it has no place in the scheme unless it contains sincerity, usefulness, and above all—character."

"The architect who understands and commands beauty need not search in thin air for 'punch,' 'jaz,' and other prescriptions for general debility. The product of a good craftsman needs no tonic."

"Beauty is power."

"The perfect architectural line, the perfect design, these have the power to move men."

"To attain beauty, even imperfectly is supremely difficult; anybody can 'jazz,' anybody can aim a 'punch,' in other words, invent a good idea of a sort."

"In any individual art the men who succeed are ones who know beauty is not a by-product but the very heart of the product itself."

"There are architects who attract to themselves clients from a distance simply because the quality of their architectural work abounds in beauty, and men are at all times seeking for that very thing."

"The architect who is sincere and knows how to produce that thing called beauty will have men, even strangers, continually coming to his door."

Do You Advertise in the Recorder?

If not, you are among those about whom the Indiana Building Industry is perplexed.

Inquiries are constantly being made as to who handles such and such materials and where can he be located.

Think of the times, however, that your competitor, who does advertise, is turned to by the man who wants to buy because he has not the time to hunt you up.

Building activity in Indiana has reached unprecedented heights; the sales opportunity is yours for the advertising.

A few dollars spent judiciously in advertising gives you more than an even break with the field, it gives you the bulge.

Your name and message in THE RECORDER will reach the Entire Indiana Building Construction Industry—The ARCHITECT, ENGINEER, CONTRACTOR, PROSPECTIVE BUILDER—each week.

The Recorder goes to “the live ones” each week and is read by them; it has no waste circulation; it is the only circulation in the State that covers the entire Indiana Building Field.

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the Buying Moment Arrives.**

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Indianapolis

Official Paper

Associated Building Contractors of Indiana

FRED W. JUNGCLAUS, President
Indianapolis

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Indianapolis

ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller-----President

Office, 411 Sycamore St.

SAYS THERE IS JUSTIFICATION IN OUTLOOK TO WARRANT BIG PREPARATION

A prominent local brick manufacturer says, regarding building prospects:

"There is justification in every effort being made to handle a big demand that, the outlook indicates, will be put upon building construction forces next season." He announces that his plants will be kept in operation just as long as possible this winter, the first time in four years that such an exigency has made itself felt.

While local conditions at the present time are a little slow the general outlook is most favorable and prospects for next year are encouragingly promising. It appears as if confidence had been restored and that the people, especially prospective builders, have come to the conclusion that it is useless to hope for or expect a return to pre-war prices in building materials.

Evansville material supply men are not apprehensive of any great changes in quotations for some time to come owing to the fact that all labor wages are up and fuel prices, as everybody knows, are high. There may be unseen conditions to arise to affect future building operations and the attitude of labor on the wage question must be reckoned with, but, on the face of things, the volume of building construction work in Evansville next year should exceed that of 1922.

SOME CONSOLATION TO BE FOUND IN THESE COMPARISONS.

Though Evansville did not set the world afire by her building expansion in 1922 she did show some nice monthly gains here and there over the corresponding periods of the preceding year with the result that the sum total of estimated valuations for the first eleven months of this year exceeded the same item, registered during the like period in 1921, to the amount of \$970,189, or nearly a million dollars.

Further, Evansville kept pace with her sister city to the north, Terre Haute, in fact, outstepped her by a slight margin in the way of building construction operations for the first eleven months this season.

Comparative figures from the two cities show this:

Evansville	-----	\$2,161,824
Terre Haute	-----	2,145,464

Evansville Gain--\$ 16,360

LOCAL BUILDING INTEREST PROF- ITS BY FREIGHT RATE CUTS

Leslie Lacroix, traffic manager of the Chamber of Commerce, was notified by the Indiana Public Service commission Thursday of a reduction in brick rates for Evansville.

The new rates are on the same level as those in Illinois brick manufacturing towns. Heretofore those towns have had a better rate than Evansville shippers and Mr. Lacroix has been working for the reduction for some time.

CHIPS AND SHAVINGS

A Merry Xmas is in store for quite a number of Evansville citizens who possessed the happy faculty of sizing up the building situation, reaching the conclusion that to wait longer for price reductions was folly, and went right ahead with their contemplated new residences. As a result these folks will have the pleasure of celebrating their first Xmas in their own owned homes. Much credit for the happy situation is due to the expediency with which the Evansville contractors discharged their duties to the new home owners.

FT. WAYNE

BUILDERS' EXCHANGE
Member State A. B. C.

Max Irmscher -----President

Eph Dailey-----Secretary
825 Calhoun St.

Phone 2001

EVERYTHING POINTS TO ANOTHER BIG BUILDING YEAR FOR FT. WAYNE

This city, like most of the municipalities around the country, is budding with promising indications for another big building construction season in 1923. Though just getting into winter, the snow, ice, and zero temperature don't seem to have much effect on the building contemplations of prospective builders and back of this inclination seems to be an earnestness not to be denied.

Recent realty deals in the suburban districts give promise of an early resumption of house building construction in the spring. Even now the local school board is planning for a ways and means whereby to launch still further school

building operations next year to meet the ever growing demand that is taxing to the utmost the present school facilities despite the new schools that have been built and added to. Then, too, there is considerable commercial, industrial and mercantile building construction work being nosed about. Much of this latter is still of a premature nature yet back of it sounds a strong and convincing note.

From many parts of Indiana comes the same story, while surveys of the country with a view to sizing up the outlook on building construction have produced evidence that inspires confidence for an unprecedented volume of building work in 1923.

Realizing that the past year was the best ever recorded in Ft. Wayne as far as new building operations were concerned and that there can be no dilly-dallying if another nine million dollars and over mark is to be attained, the building construction interests of the city expect to get set for the successful completion of such a performance if called upon, in fact, every building man in Ft. Wayne will welcome such a call.

BIG ENGINEERING PROJECT CON- TEMPLATED

Public improvements are so closely related to building construction because of the influence they exert in that direction that every large piece of such improvement projected is of more than passing interest.

There must of necessity be streets, sewers and sidewalks to insure extensive building, but beyond those there is nothing more conducive to the beauty of the upbuilding of a city than boulevards and park systems.

Fort Wayne has a good park system and is extending its boulevards all the time along an orderly line of procedure that has given her many fine suburban residential districts. These in a way account for the heavy volume of new residence construction work that has been done of late.

The city with the St. Mary's, the St. Joseph, and Maumee rivers has a wealth of waterways that can be developed in connection with the parks and boulevards for the future beautification of the municipalities. Even now this matter is being gone into and an engineering contract has just been placed by the city for plans for the construction of a reinforced concrete dam, 400 ft. long across the Maumee river. This project should develop into maturity early in 1923 and, since reinforced concrete operations are so closely related to building construction, might even be included in the building prospect for next year. The estimated cost of the proposed work is \$200,000.

Remember

You can substantially reduce the cost of your compensation and liability insurance by insuring in the BUILDERS & MANUFACTURERS MUTUAL CASUALTY CO. (a strong company, organized and economically managed by contractors, and devoted exclusively to rendering a particular service and reducing the cost of insurance in building construction.)

SURPLUS OVER \$500,000.00

It will pay you to inquire of its rates and service.

See the secretary of your association or write to

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INDIANAPOLIS

Building Contractor's Association
Member State A. B. C.

F. W. Junglaus.....President
C. C. Pierson.....Secretary
320 Peoples Bank Building

MEETINGS.

Executive Committee meets second Tuesday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

Mason Contractors Association meets every Thursday—1 P. M.

General Contractors meet second Friday each month.

PLANS ON FILE.

At 320 Peoples Bank Building,
Indianapolis.
None this week.

WAIVER OF LIEN.

None this week.

**THIS YEAR'S A. B. C. CONVENTION
FOR, BY, AND OF INDIANA
CONTRACTORS AS A
WHOLE**

The officers and executive board of the A. B. C.'s of Indiana having made arrangements in accordance with the action taken at Evansville last January beg to announce to the building contracting fraternity of the State that the Fifth Annual Convention of the Associated Building Contractors of Indiana will be held at the Hotel Spaulding, Michigan City, January 23d, 24th, and 25th, 1923.

This approaching assemblage will afford a most favorable opportunity for the contractors of all the building crafts to get together, talk over and discuss, and formulate definite plans that should secure to the entire industry beneficial results. This endeavor to be effective must be concentrated, and to concentrate as a whole that whole must congregate.

Among the more important matters to be brought before the convention for deliberation will be subjects pertaining to legislative activities, betterment of building conditions, proposed programs for action to encourage and facilitate building operations, and such things as may appear to be vital to the building contracting industry.

Again, on Wednesday night, January 24th, those attending the convention will be the guests of the Builders and Manufacturers Mutual Casualty Co., of Chicago, at a banquet at the Spaulding Hotel.

The Michigan City contractors, with the aid of local civic bodies, are making extensive arrangements for the entertainment of the visiting contractors while the city's guests.

The State Association through its officers solicits the aid of all the local city

associations affiliated to exert their best endeavor to make the coming convention the biggest and best ever held for the advancement of Indiana builders and their industry.

**NAME TWO INDIANAPOLIS MEN
AMONG OFFICERS OF INTER-
NATIONAL MASON'S ASSN.**

Once more the Indianapolis mason contractors have returned home from the annual convention of the Master Mason Contractors' Association of the United States and Canada brim full of enthusiasm over the accomplishments of the parent organization and more greatly converted to the mission of association effort.

The latest convention of the masons was held in St. Louis last week and was attended by hundreds of the craft employers from all over the United States and Canada. A wide and varied program of subjects pertaining to the business and practices of the mason fraternity was covered in the three days session, bringing forth many recommendations of merit that when followed should prove of benefit not only to the individual mason, but the employe and the industry as a whole, and even extending beyond should have a beneficial effect on the building contracting business.

There were many social features to the convention that did St. Louis proud and added greatly to the pleasure of the sojourn of the visitors.

At the annual election of officers two Indianapolis men were among those named, Harry A. Fenton, general counselor, and T. J. O'Hara, one of the vice-presidents. The other officers elected were: President, August Hitzman, Cincinnati, O.; Secy. and Treas., Walter T. McGarvey, Cincinnati. Fifteen vice-presidents, each from a different state, were elected in addition to Mr. O'Hara.

Memphis, Tenn., was selected as the site for the next annual convention, to be held in January, 1924.

BUILDING PERMITS

(\$4,500 and Over)

Week of Dec. 14th to Dec. 21st.

Ice Plant: \$24,000.00, 1902 South East St. Owner, Polar Ice and Fuel Co., John W. Miner, Pres., 20th and Northwestern Ave. General contract awarded to William P. Junglaus Co., 825 Mass. Ave.

Residences: (9) \$25,000.00, total 9 doubles. 121-23, 137-39, 145-47, 118-20, 122-24 Webster St. and 17-19, 37-39, 45-47, 43-45 Catherwood. Owner and builder, Walker-Brooks Realty Co., 134 N. Delaware. Start work soon. Frame.

Residence: (double), \$15,000., 4605-07 Broadway. Owner, Max Ziegler, sales manager, Mooney-Mueller Drug Co., 101 South Meridian St. General contract let to Mark Clift, 4125 Byram Ave. Contractor will start work in about 60 days. Brick veneer.

Residence (double), \$10,700, 5160 Park Ave. Private plans. Owner, Minnie M. Remington, 3945 Capitol Ave. General contract awarded to I. H. Norman, % owner. will start work in about 30 days.

Residence (double), \$10,000, 4922-24 Washington Boulevard. Private plans. Owner, Oscar X. Buehler, Pres., Indian-

apolis Tool and Manufacturing Co., 205 West South St. Plans in progress. Start work in about 60 days.

Residence: (double) \$11,000.00, 2 sty. and bas, 30x48, 4611-13 Broadway. Private plans. Owner, Charles Dare, % Mooney-Mueller Drug Co., 101 South Meridian St. General contract awarded to Mark Clift, 4125 Byram Ave. Contractor will start work in about 60 days. Brick veneer.

Residence (double) \$11,500, 210-14 E. 49th St. Owner, Frank J. Lahr, Judge Marion County Juvenile Court, Court House. General contract let to Mark Clift, 4125 Byram Ave. Contractor will start work about February 1st. Brick veneer.

Apartment Building and Stores: \$10,000, 4151-53 Boulevard Place. Private plans. Owner, Michael J. Ready, 1213 N. Pennsylvania St. General contract awarded to John Stewart, 1401 Cornell. Brick, ordinary construction. Start work in 30 days.

Residence (double), \$10,000.00, 2538-40 N. Delaware St. Private plans. Owner, N. C. Mann, 4309 Central Ave. General contract let to O. F. Mann, 4309 Central Ave. Brick veneer. Start work soon.

Residence (double), \$13,000.00, 4619-21 N. Pennsylvania St. Private plans. Owner, Carl Kreis, general agent for Hartford Accident and Indemnity Co., 405 City Trust Bldg. Start work about February 15th. Brick veneer.

Residences (2), \$10,000.00 each, 3837 and 3843 Central Ave. Private plans. Owner, Schuyler A. Haas, (Atty.), 504 Lemcke Bldg. General contract let to Court Realty Co., % owner. Start work soon. Frame.

Residence (double) \$10,000, 2 sty. & bas., 28x46, 4208-10 Ruckle St. Owner, Harry W. Beazell, 2858 N. New Jersey St. General contract let to Realtor Bldg. Co., Lemcke Bldg. Start work about February 1st. Frame and stucco.

Residence: \$9,500 (double), 3367-69 Park Ave. Private plans. Owner, W. H. Benton, 2821 N. Delaware St. Plans in progress. Expect to start work about February 1st.

Residence (double), \$9,100, 525 East 52nd St. Private plans. Owner, Minnie M. Remington, 3945 N. Capitol Ave. General contract let to I. H. Norman, % Owner. Start work in February.

Residence (double), \$82.00, 4641 N. Capitol. Owner and builder, Indiana Builders Corporation, I. O. O. F. Bldg. Start work shortly. Frame.

Store Building: \$7,500. 1 sty., 43x45, 4305-09 Michigan St. Owner, E. E. Barb, 612 N. Colorado. Owner will build by day labor.

Residence (2 doubles): \$7,000 and \$8,500, 4407-09 Central Ave. and 4401-03 East 44th. Private plans. Owner, Minnie Swindler, University Heights, Indianapolis. Plans in progress. Start work soon. Brick veneer, asphalt shingle roofs, furnaces.

Residence (double) \$6,500, 55-57 Kealing Ave. Private plans. Owner, Chas. Vollrath, 202 South Audubon Road. General contract let to W. H. James, Madison Road, south of University Heights, Indianapolis. Start work in 10 days. frame.

Residence (double) \$5,300, 1202-04 W. 31st. Owner, David Krieger, 2019 N. Illinois St. Owner will build by day labor. Start work soon. Frame.

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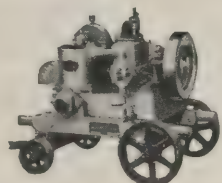
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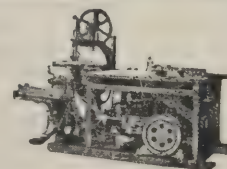
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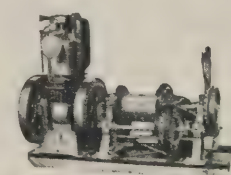
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LUMBER.

Framing Lumber.

2x4 in. 8, 16 ft.—No. 2 common	\$44.00
2x4 in. 18, 20 ft.—No. 2 common	46.00
2x6 in. 8, 16 ft.—No. 2 common	42.00
2x6 in. 18, 20 ft.—No. 2 common	44.00
2x8 in. 8, 12, 14, 16 ft.—No. 2 common	46.00
2x8 in. 18, 20 ft.—No. 2 common	44.00
2x10 in. 8, 12, 14, 16 ft.—No. 2 common	44.00
2x10 in. 18, 20 ft.—No. 2 common	46.00
2x12 in. 8, 12, 14, 16 ft.—No. 2 common	44.00
2x12 in. 10, 18, 20 ft.—No. 2 common	47.00

Same—No. 1 common, add \$8.00 per M to above quotations.

Boards.

Yellow Pine, S & S., 1x4 in.—No. 1 common	\$50.00
Yellow Pine, S & S., 1x4 in.—No. 2 common	37.50
Yellow Pine, S & S., 1x6 in.—No. 1 common	52.50
Yellow Pine, S & S., 1x6 in.—No. 2 common	44.00
Yellow Pine, S & S., 1x8, & 10 in.—No. 1 common	55.00
Yellow Pine, S & S., 1x8, & 10 in.—No. 2 common	45.00
Yellow Pine, S & S., 1x12 in.—No. 1 common	65.00
Yellow Pine, S & S., 1x12 in.—No. 2 common	50.00

Bevel Siding.

6 in. clear redwood	\$65.00
6 in. select poplar	70.00
8 in. clear cypress	75.00

Drop Siding.

Yellow Pine, 1x6 in.—Clear	\$70.00
Yellow Pine, 1x6 in.—No. 1 common	60.00
Yellow Pine, 1x6 in.—No. 2 common	45.00
Yellow Pine, 1x8 in.—No. 1 common	60.00
Yellow Pine, 1x8 in.—No. 2 common	47.00

Finish.

Yellow Pine, 1x6 in. to 10 in.	\$ 90.00
Yellow Pine, 1x12 in.	110.00
Cypress, 1x12 in.	150.00
Cypress, 1x6 in. to 10 in.	140.00

Hardwood Flooring.

Oak Flooring	\$130.00
Maple Flooring	130.00
Edge Grain Flooring	110.00
No. 1 Yellow Pine Flooring	75.00

Yellow Pine Flooring.

1x4 in. clear flat grain	\$85.00
1x4 in.—No. 1 common	65.00
1x4 in.—No. 2 common	42.00
1x6 in.—No. 1 common	55.00
1x6 in.—No. 2 common	45.00

Shingles.

Oregon cedar, clear 5-2 in.	\$8.00
Extra XAX, 6-2 in.	7.00

Wood Lath.

48 in. No. 1 Cypress Lath	\$12.00
48 in. No. 1 Hemlock Lath	12.00
48 in. Yellow Pine	10.00
32 in. No. 1 Cypress Lath	7.00
32 in. No. 1 Hemlock Lath	7.00
32 in. Yellow Pine	5.50

CLAY PRODUCTS.

BRICK.

Common, F. O. B. cars, Indianapolis	\$15.50 to \$16.50 M.
Face, F. O' B. cars, Indianapolis	23.00 to 40.00 M.

HOLLOW CLAY PARTITIONING TILE.

Size (Inches)	Wt. Each	Pes. to Min C/L	Deld. from Stock M.
8x12x12	15 lbs.	3570	\$84.00
4x12x12	16 lbs.	3200	95.00
6x12x12	22 lbs.	2400	123.80
8x12x12	30 lbs.	1800	169.00
10x12x12	35 lbs.	1500	192.00
12x12x12	42 lbs.	1200	238.90

BACKUP TILE.

Size (Inches)	Wt. Each	Pes. to Min C/L	Deld. from Stock M.
4x5x12	9 lbs.	5000	\$ 45.92
5x8x12 (2-cell)	15 lbs.	3200	76.50
5x8x12 (3-cell)	17 lbs.	3200	86.75

GYPSUM BLOCKS.

Size (Inches)	From Warehouse
3x12x30 Hollow	\$132.00
4x12x30 Hollow	154.00

WALL COPING.

9 in.	Per ft. \$0.20
13 in.	.30
18 in.	.60

Angles, three times price per ft.

FLUE LININGS.

Flue Linings, 8 1/2 x 8 1/2	Joint \$0.60
Flue Linings, 8 1/2 x 13	.90
Flue Linings, 8 1/2 x 18	1.35
Flue Linings, 13x13	1.15
Flue Linings, 13x18	1.75
Flue Linings, 18x18	2.25
12 inch Round Lining	1.35

CEMENT BLOCKS

Plain—8 in.x12 in.x16 in.	\$0.22 each
Rock Face—8 in.x12 in.x16 in.	.25 each

For fittings, corners, window blocks, add 25¢.

For Water-Proof Blocks add two cents per block.

LIME, CEMENT AND PLASTER

LIME.

Finish, Hydrate, 50 lb. paper sacks	Each \$0.47
Mason's Hydrate, 50 lb. paper sacks	.40
Chemical Hydrate, 50 lb. paper sacks	.52
Single Bags, any kind	.65
Lump Lime, bulk	per cwt. .75

CEMENTS.

Portland, paper bags	Each \$0.90
Portland, cloth bags	.95
White Portland, cloth bags	2.60
Bricklaying	.66 and .75

Cloth sacks included, returnable at 7c each.

MORTAR FOR BRICKLAYING.

Carney's cement, cloth, per bag	\$0.75
Brixment, paper, per bag	.66
Brixment, cloth, per bag	.70

Cloth sacks included, returnable at 7c each.

PLASTERS AND FINISHES.

No. 1, Prepared, 1st coat, cloth sack	Each \$0.60
No. 2 Prepared, 2nd coat cloth sack	.60
Special, Prepared Metal Lath, cloth sack	.65
Single Sack, any kind	.75
Plaster—Unsanded (Neat) 80 lb. paper sacks	.78
Plaster—Unsanded (Neat) 100 lb. cloth sacks	1.05
Single Sack, paper	1.00
Wood Fibre, 100 lb. paper sacks	.75
No. 1 Moulding Plaster, 100 lb. cloth	1.40
No. 1 Moulding Plaster, 80 lb. paper	1.10
Michigan Stucco, 100 lb. cloth	1.00
Plaster Paris, satin finish, paper	1.00
Superior Plaster Paris, 80 lb. Pa.	1.00
Keene's Cement, 100 lb. cloth sack	2.00
White Trowel, Prepared, 80 lb. cloth sack	1.30
White Sandflat, Prepared, 100 lb. cloth sack	1.25
Retarder, (at yard)	pound, .12

Cloth sacks included, returnable at 7c each.

MORTAR COLORS.

Red, 100 lb. sacks	Pound .02 1/2
Buff, 100 lb. sacks	.03 1/2
Chocolate Brown, 100 lb. sacks	.03 1/2
Black, Dble. Str., 100 lb. sacks	.05 1/2
Black, Sgl. Str., 100 lb. sacks	.03 1/2
Special Chocolate, 100 lb. sacks	.04 1/2
In quantities less than 1 sack	.06

SAND.

White Silica, bulk	Ton \$ 8.00
White Silica, cloth sacks	10.00
Michigan, bulk	5.50
Michigan, cloth sacks	7.50

Cloth sacks included, returnable at 7c each.

ROOFING MATERIALS.

Slate Surface (8 inx12 3/4 in.)	Square \$6.25
Slate Surface, strip shingles	6.00

Colors—Red, Green or Blue-Black.

ROLL ROOFING.

Green Slate Surface	Roll \$3.00
Red Slate Surface	3.00
Blue Black Slate Surface	2.40
Class C Heavy, 55 lb. (3 ply)	2.40
Light (1-Ply) 35 lb.	1.75
Black Waterproof Paper, 500 sq. ft.	1.50

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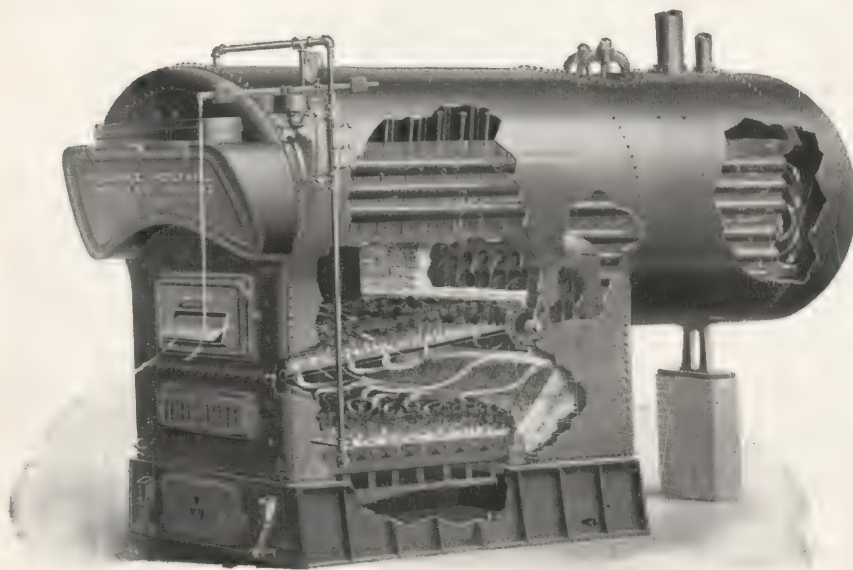
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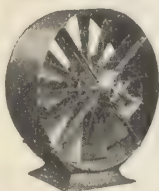
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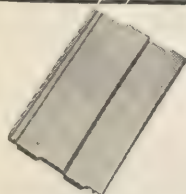


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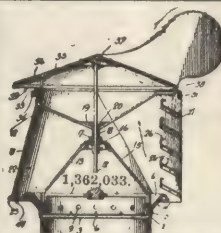
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INDIANA CONSTRUCTION RECORDER

FOR
ARCHITECT
ENGINEER

Devoted to the
Interests of the Indiana Construction and Engineering Industry

FOR
CONTRACTOR
SUPPLYMAN

Vol. IV

INDIANAPOLIS, INDIANA, DECEMBER 30, 1922

No. 39

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Six Months \$4.00

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the Act of March 3, 1879.

IMPORTANT TASK PUT SQUARELY UP TO THE ARCHITECTURAL PROFESSION

Progressive action for the preservation of beauty and its promulgation, that it may not be rent and entirely destroyed by the insatiable maw of utilitarianism was the responsibility placed upon the architects and the landscape architects by the eminent Indiana artist, Theodore Steele, when he addressed a gathering of Indianapolis architects recently. Upon them, more than any other profession, he said, rested this obligation to posterity.

The obligation he said consisted of a means for the encouragement of the building of art galleries, the making of the collections of pictures and other art objects in almost every city of size in the country. He, at this point, referred to the contemplated new wing of the Metropolitan Museum, New York City, as of special interest to architects and the workers in applied art. He called attention to the fact that the proposed structure with its eighteen galleries was not to be used for pictures but for the purpose of housing a complete historical collection of the best that had been done in architecture from the earliest days of the colonies to the present day, this collection to be augmented by furniture, the applied arts, in fact, all the arts associated with architecture.

Continuing, Mr. Steele touched upon the laudability of the replanning and zoning of cities as a whole with all their complicated problems of engineering, transportation, education, business, housing and many other complex features pertaining to the welfare of the citizen.

Further, relating to the practice of architecture, we quote from Mr. Steele, "The art of building, to see as a whole, is not given to many men. The Greeks did not have it; only in their decadence

(Continued on Page 15)

CONSTRUCTION COSTS DECLINE NOT LIKELY

A feature that must not be overlooked when considering future building business, probably the most important of all, has to do with costs. The chances are that next year's building construction costs will not be any less, in fact, there is a tendency of prices going even higher. Building material quotations have ruled firm right along with ever gaining strength with advances cropping out in some instances. It is just possible that the opening of the building season in the spring may see a slight general advance owing to the apparent demand.

As for labor, building trades mechanics are showing an inclination to demand increased wages in 1923. As it was in 1922, wage scales meant little as contractors in many instances went right ahead and paid more, maybe not openly but in the form of bonuses. There seems to be the feeling among the contractors that they aren't going to be "the goats" all the time, and they are not inclined to spend their money, time and effort, to say nothing of being hampered in their work, in trying to reduce wages so long as the public won't back them up in their endeavor. The fight the contractors put up during the last few years along the line of trying to hold costs down meant little or nothing to the public, so it seems, for the said public went right ahead building, showing little preference for the contractor who did honestly endeavor to hold costs within reasonable bounds. Frequently owners handed their building work to the contractors who were not bucking wage scales simply because the argument was advanced that the fighting contractor was bound to be delayed in his operations because he was antagonizing labor and could not get the mechanics to complete the work. Reasonable wages mean encouragement of building construction, but many a contractor who has sought to bring about such a situation has been left "to hold the bag." As "Wildcat" was wont to say in the Saturday Evening Post now and then, "they didn't do nothing else but."

BOOSTING NOW IN ORDER.

Now that the weeks are slipping by and the time is growing short for final preparations for the Annual Convention of the Associated Building Contractors of Indiana the thought has come to those in charge of the big meeting, "How many of the local subsidiary city contractors' associations are boosting for the Michigan City gathering, January 23, 24 and 25?"

How many of the local associations have organized their "On to Michigan City" Crowd? If not, why not? Has the entire membership of the locals been advised of the northern Indiana gathering?

Associations in every section of the state are evidencing that they are beginning to view with wisdom the necessity for unity of effort and the need for closer co-operation between local associations and the parent body if contracting affairs and the industry are to be protected and are to progress.

Representatives of the State A. B. C. have returned from Michigan City where they met with the local committee and completed final arrangements for the convention. It is safe to say that no contractor who attends this meeting will be disappointed for there will be a real program, not only of business but social entertainment as well.

Michigan City expects you, make your arrangements now. "Let's all go."

"THEM DAYS IS GONE FOREVER"

This startling announcement appeared in the Chicago Tribune under date of October 5th, wherein it was stated that "Another meeting was held yesterday morning by the United Order of Bricklayers at their hall on West Taylor Street, and it was resolved 'That no union man will be allowed, on or after Monday next, to work for any contractor in the city of Chicago until he shall first sign a written agreement that he will pay \$4 per day for eight hours' work.' Members of the union left the city by last evening's trains to visit the lodges of other cities and prevent workmen from coming to this city."

Do not be alarmed at this notice for it appears it is a re-copy of what appeared in the Tribune on October 5th, 1872.—Bulletin of Associated Builders of Chicago.)

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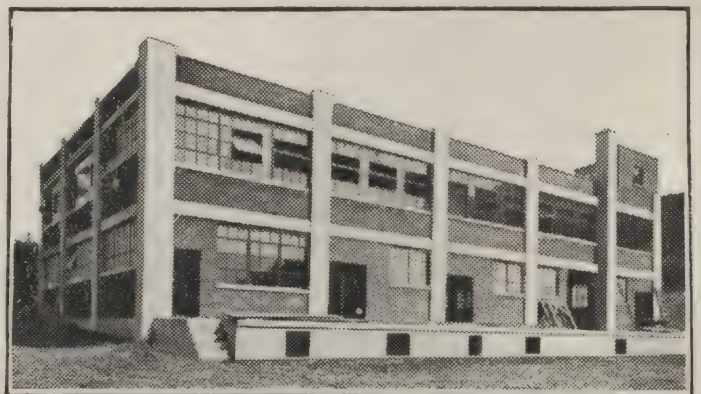
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GENERAL OFFICE, CINCINNATI

News of the Week

The asterisk (*) prefix to an item indicates additional information to report published in previous issue.

INDIANAPOLIS

***Indiana Reformatory Buildings:** \$3,000,000. Pendleton, Indiana. Architect, Herbert Foltz, 843 Lemcke Annex, Indianapolis. Supt. of Construction, Fred Friedline, Pendleton, Ind. Owner, Indiana Reformatory, Geo. A. H. Shideler, General Supt., Pendleton, Board of Trustees, Chas. W. Mouch, Newcastle, Ind., Wm. W. Cave, French Lick, Ind., Oren S. Hack, 525 Indiana Trust Bldg., Indianapolis, Joseph E. Hennings, Anderson, Ind. General contractor, Lathem and Walters, State Life Building, Indianapolis, and site at Pendleton, Ind. The work already done includes completion of the wall foundation, inclosing thirty acres; the completed shell for two industrial buildings, the foundation for the power house and a number of small buildings and shops used in construction. Work will be started this winter and early spring on the following:

The detailed estimate of appropriations asked by the reformatory board follows:

Ash bunker, \$2,500.00. Laundry, clothing storage, shoe repair shop, barber shop and bath, no equipment, 200x60x30, \$59,505.75. Receiving, identification, detention, assistant superintendent's office, captain's guards' office, 110x45, 75,000 square feet, \$50,000.00. Administration, guard quarters, outer guard, officer's sleeping quarters, parole room, watch tower, water tank, 124x62, 303,000 cubic feet, \$121,200.00. Cell house No. 1, Building G, not including cells, \$178,537.50. Cell house No. 2, Building H, each 346x50, 793,500 cubic feet, at 22½ cents, \$178,537.50. Inner guards' hall building, with heating equipment for cell houses G, H, J and with steel sash included, 35x78, 277,200 cubic feet, \$69,300.00. Cell house No. 4, Building J, includes cells and inside protection, 459,420 cubic feet, \$174,579.60. Dormitory and chapel, Building K, partitions, toilets, clothing room, second floor 18 feet high, 740,000 cubic feet, \$196,100.00. Dining room, refrigerator and equipment, ice machines and equipment, bakery and equipment, kitchen and main storeroom, 261x215, \$291,870.00. Hospital, terrazzo throughout, \$81,984.00. Guard office and fire department, 40x50, \$7,484.00. Vocational, two story and basement, building Q, printing, tailor, woodworking, sheet metal, plumbing, machine, paint shops, \$16,896.00. Voca-

tional, two story and basement, Building R, blacksmith, applied electricity and carpenter shops, \$16,896.00. School, library, chapel, library office, Building S, \$59,040.00. Industrial Building A, 60x200—two-story, for shops, \$7,847.52. Industrial Building B, 60x200—two story, for shops, \$7,847.52. Power house, building and stack, \$87,256.90. Power house equipment, set, \$90,000.00. Installation, valving, setting, piping, \$70,000.00. Tunnel A, 434 lin. ft., 8x8 ft.; reinforced concrete, \$8,922.50. Tunnel B, 510 lin. ft., 6x8 ft.; reinforced concrete, \$9,103.50. Tunnel C, 1220 lin. ft., 4x6½ ft.; reinforced concrete, \$14,945.00. Pipe installation for all tunnels and under buildings A, B, C. For hot and cold water, high and low pressure, steam supply and return between power house and all buildings to be constructed now and marked anticipated further construction, \$65,690.00. Fire protection system, all piping buried, fire plugs, hose racks and riders. All hose connections to same, \$36,000.00. Sewer system. Does not include sewage disposal plant, but all manholes. Line connections at buildings, \$24,000.00. Rain water system. Pipe line manholes, downspout connections and reservoir. This will give the laundry all needed water supply (soft) and avoid new water softener, \$17,000.

Electric System for the Entire Institution—Distribution of high tension, including transmitters, \$15,000.00. Low tension, \$4,500.00. Yard lighting (posts, lead cables and buried), transmitters, search lights on walls and towers, including circuit for outside wall lights, \$12,000.00. Circuit to electric heaters, watch tower switch board complete for entire institution, \$12,000.00. Tower heaters, automatic circuit breakers in transformer stations and necessary recording apparatus in power house and chief engineers' office, including all necessary connections between, and to switch board and generating apparatus, \$8,000.00. Sewage disposal plant, \$20,000.00.

Total estimated cost of complete Lathem and Walters activities, \$2,014,543.29.

***Physicians and Dentists Building:** \$875,000. 9 sty. & bas. 67x130 and garage 1 sty. 67x65. S. E. Corner of Pennsylvania and Michigan Sts. Architect, William K. Eldridge. (Company's archt.) 914 Hume Mansur Bldg. Owner, The Pennsylvania and Michigan Realty Co., E. G. Spink, Prest., 914 Hume Mansur Bldg. C. J. Schuh, Secy., 914 Hume Mansur Bldg., Hays Buskirk, Treas., % Fletcher-American Co. Builder. The E. G. Spink Co., 914 Hume Mansur Bldg. Plans in progress. Excavating. Owner will build and award separate contracts. Brick, 3 stys, Bedford stone, 6 stys.

Reinforced concrete and hollow tile floor and roof construction, tile, mastic and terrazzo floors, metal covered fire doors, marquee skylights, 2 electric passenger elevators, comp. roof, reinf. conc. stairs, metal ceilings, orn. iron and bronze work, vacuum pump, city heat, steam radiation.

***Garbage Disposal Plant:** \$375,000.00. Consulting Engineer, E. W. McCullough, %owners. Owner, City of Indianapolis, Board of Sanitary Commissioners, City Hall, Indianapolis. Plans in progress. Mature early spring.

Canning Plant: \$225,000.00 (Warehouse 3 sty. and bas., 130x122, boiler house, preserving bldg., 2 sty., 144x84, receiving bldg., 1 sty., 48x98) Sturgin Bay, Wisconsin. Archt. and Engineers, McMeans and Tripp, Majestic Bldg., Indianapolis. Owner, Fruit Growers Canning Co., Jos. Martin, Pres., Sturgin Bay, Wisconsin. Brick, reinforced concrete, 1-125 ft. stack (brick or concrete), conveying equipment, 2-15 H. P. boilers, comp. roof, steel sash. Plans in progress.

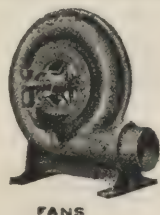
Canning Plant: \$100,000 (factory Bldg., 3 sty., 48x108, boiler house, 1 sty., processing bldg., 1 sty., 54x54; Viner bldg., warehouse) Fort Atkinson, Wisconsin. Owner, Ft. Atkinson Canning Co., J. A. Hagemann, Pres., Ft. Atkinson, Wisconsin. Architect and Engineers, McMeans and Tripp, Majestic Bldg., Indianapolis. Plans in progress. Brick, reinf. concrete and mill construction, freight elevator, steel stack, 125 ft. high, 2 150 H. P. boilers, steel sash, comp. roofs.

High School: \$250,000.00, Delphi, Ind. Archt., The Elmer E. Dunlap Co., 1050 N. Delaware St., Indianapolis. Owner, Board of Education, James O'Dear, Clinton Wagner, C. J. Weaver, Delphi, Ind. Architect selected. Brick. Details undecided.

Church: \$100,000. Martinsville, Indiana. Architect, A. A. Honeywell, 412 Penway Bldg., Indianapolis. (Plans only). Owner, Christian Church, Roy Tilford, Chmn. Bldg. Comm., Martinsville. Contemplated. May mature Spring. Brick.

***Stores and Offices:** \$75,000 (13 store rooms), 2 sty. and bas., 105x183, 34th and Central. Archt., Russel N. Edwards Co., 45 Union Trust Bldg. Owner, Frank R. Reynolds, 3362 Central Ave. Archt. receiving bids to close January 6th. Brk., copper-set store fronts, steam heat.

Dormitory: \$50,000, 2 sty., 115x40. Hanover, Indiana. Jefferson County. Archt., Herbert Foltz, 843 Lemcke Annex, Indianapolis. Owner, Hanover College, Board of Trustees, Hanover, Indiana. Plans in progress. Brick and frame.



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VENTILATORS

***Church:** (Rem. and additional class rooms). \$50,000. Ashland, Ohio. Archt., L. H. Sturges, Board of Trade Bldg., Indianapolis. Owner, Presbyterian Congregation, R. V. McConnell, Secy., % Farmers Trust Co., Ashland, Ohio. Plans about completed. Mature about March 1st. Brick.

Church: \$30,000. Grinnell, Iowa. 6th Ave. and Broad St. Archt., A. A. Honeywell, 412 Penway Bldg., Indianapolis. Owner, Christian Church, W. A. Ross, Pastor, 916 Spring St., Grinnell, Iowa. Preliminary plans in progress. Brick.

Store and Apartment Building: 8 apartments and 4 stores. 2 sty. & bas. 120x142. East Washington St. and Oakland Ave. Private plans. Owner, Robert S. MacGregor, % Emerson W. Chaille & Co., 312 North Meridian St. Preliminary plans in progress. Mature about March 1st. Brick.

Contracts Awarded.

***Apartment Building:** \$600,000. 3 sty. & bas. (48 5-room apartments) 3847-49

No. Meridian St. Architect, Donald Graham, 1128 Hume Mansur Bldg. Owner, Woodsmall-Meridian Corp., H. H. Woodsmall, Prest., Fidelity Trust Bldg. General contract awarded on percentage basis to Leslie Colvin, Board of Trade Bldg. Revising plans. Start work soon. Brick, reinforced concrete and struct. steel, Bedford stone trim, steam heat, incinerators, dumb waiters, tile baths, steel stairs.

***Residence:** \$25,000. 2 sty. & bas. (10 rooms) 35x51. 3336 Fall Creek Boulevard. Architect, Chas. Byfield, 923 Peoples Bank Bldg. Owner, John G. McCullough, 106 No. Delaware St. General contract awarded to James Atwood and Son, 856 West 27th St. Brick veneer. Start work at once.

***Temple** (Hebrew) \$40,000. 1 sty. & bas. 1027 South Meridian St. Architect, Everett H. Crabb, 1112 State Life Bldg. Owner, Congregation of Kneseth Israel, 547 Eddy St., Rev. Philip Adelman. Rabbi, 943 Maple St. General contract

awarded to Abraham Kwitny and Son, 1137 South Illinois St. Start work at once.

EVANSVILLE

***School Building:** Joint High and Elementary School. \$55,000. 1 sty. & bas. Scott School Township, Vanderburgh County, Inglesfield, Indiana. Architect, Anderson and Stingle, McCurdy Building, Evansville. Owner, James W. Litchfield, Trustee. Owner receiving bids to close January 24th at 11:00 a. m. Bids are being received by the Trustee at the Inglesfield Community House, Inglesfield, Indiana. (See legal advertising in this issue). Brick.

***Apartment Building:** (4 apts.). Architect, Anderson & Stingle, McCurdy Bldg. Owner, Heseman & Schnake, 1221 Main St. Plans in progress. Ready for bids in 2 weeks. Brick, steam heat.

***Residence:** \$15,000. Ky. and Jackson. Architect, Harry E. Boyle & Co.,

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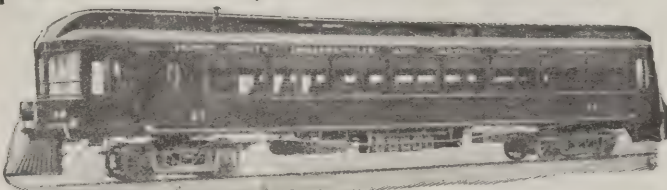
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***Residence:** \$10,000. (6 rooms.) Boonville, Indiana. Architect, Harry E. Boyle & Co., Furniture Bldg., Evansville. Owner, Henry Hay, Boonville. Start work January 3d. Owner will build and award separate contracts.

***Memorial Building:** Huntingburg, Indiana. Architect, Harry E. Boyle & Co., Furniture Bldg., Evansville. Owner, Chamber of Commerce, Hugo C. Rothart, Prest., Huntingburg Bank, Huntingburg, Indiana. Sketches. Details undecided. Definite data later.

***Sunday School and Gymnasium:** \$40,000. Huntingburg, Ind. Archt., Harry E. Boyle & Co., Evansville. Owner, Salem Evangelical Church, Rev. J. C. Klinberger, Pastor, Huntingburg, Ind. Preliminary plans in progress. Brick.

Contracts Awarded

Fabricating Plant: 1 sty. 100x80. Private plans. Owner, Evansville Struct. Supply Co. Owner will build. Start work in 10 days. Frame construction.

***Residence:** Owner, Emil Simonel, Sr. Architect, Harry E. Boyle & Co., Furniture Bldg. General contract let to Jacob Schmitt.

***Filling Station:** Owner, Standard Oil Co. General contract let to Anderson & Veatch.

FT. WAYNE

***Masonic Temple:** 9 stys. & bas. 70x120. E. Washington. Architect, Chas. E. Weatherhogg. Owner, Masonic Temple Assn. Archt. ready for bids next week. The following contractors will figure: Max Irmscher & Sons, Indiana Engineering & Constr. Co., Buesching & Hagerman, all of Ft. Wayne.

***Office and Store:** 2 sty. 150x37. Private plans. Owner, Rhoads-Morgan Co. (Paints and building materials), 1323 Calhoun St. Owner taking bids. Brick.

***Residence and Garage:** \$10,000. Owner and Archt., Wayne E. Bell, 124 West Jefferson. General contractor, Oscar Springer, 1525 Crescent Ave. Heating to Chas. Thorp, 2101 So. Calhoun St.; plumbing let to Schwegeman-Witte Co., all of Ft. Wayne. On foundation. Stucco over frame.

Building Permits

Residence: \$10,000. Crescent Ave. and Columbia Ave. Permit issued to P. P. Pierce, 1229 Crescent Ave.

Garage: \$6,000. 903 Wells St. Permit issued to L. H. McAfee, 901 Wells St.

Residence: \$7,000, 1715 Kensington Blvd. Permit issued to Henry C. Hockemeyer & Son, 1217 Summit St.

Residence: \$9,000. Meridian St. Permit issued to A. Roathele & Son.

Residence: \$5,600. 1130 Sinclair. Permit issued to Rosie Richter.

Residence: \$5,000. 519 Columbia Ave. Permit issued to Allen Muldoon, 131 W. Leith.

GARY

Apartment Building: (12 apts.) \$45,000. 3 sty. 42x87. 1200 West 5th Ave. Architect, Joe H. Wildermuth & Co., 690 Broadway. Owner, G. A. Swartz, % Board of School Trustees, 405 Broadway. Plans nearing completion. Ready for bids in 2 weeks. Brick, stone trim, ordinary construction.

Store and Apartment: \$14,000. 2 sty. 25x65. 807 Broadway. Architect, L. H. Warriner, 673 Broadway. Owner, R. H. Howren, 708 Broadway. Archt. taking bids. Brick, stone trim, ordinary construction.

***Garage:** \$40,000. 1 sty. 58x165. Architect, M. Clifford Wiley, 1st National Bank Bldg., East Chicago, Indiana. Owner, Gary Baking Co., 2160 West 10th. St. Architect receiving bids. Brick and concrete, steel sash, comp. roof.

Apartment Building: (3 apts.) \$12,000. 2 sty. 16th and Monroe Sts. Architect, Joe H. Wildermuth & Co., 690 Broadway. Owner, T. Perrotha, 1404 Jackson St. Owner will build and award separate contracts. Start work about January 15th.

***School:** (Ambridge school). \$40,000. 2 sty. 45x70. 4th Ave. Architect, Joe H. Wildermuth & Co., 690 Broadway. Owner, Board of School Trustees, Wm. A. Wirt, Supt., 405 Broadway. Plans nearing completion. Owner will advertise for bids in January. Brick, stone trim. Will contain 4 class rooms, gymnasium.

***School:** (machine shop, foundry and laundry). \$40,000. 1 sty. 70x115. "Emerson High school," 6th and Carolina. Architect, Joe H. Wildermuth & Co., 690 Broadway. Owner, Board of School Trustees, William A. Wirt, Supt., 405 Broadway. Plans completed. Owner will

advertise for bids about March 1st. Brick.

***School:** (side addition). \$50,000. "Froebel school," 15th and Madison. Architect, Joe H. Wildermuth & Co., 690 Broadway. Owner, Board of School Trustees, William A. Wirt, Supt., 405 Broadway. Plans in progress. Owner will advertise for bids in February. Brick, stone trim, comp. roof. Will contain lecture room, plumbing shop, pattern shop, forge room, wood shop, drafting room.

Apartment Building and Garage: \$14,000. 2 sty. & bas. 25x48. 1384 Jackson St. Private plans. Owner, Bela Bogye, 1388 Jackson St. General contract let to Anton Lucas, 1388 Jackson St. Brick.

HAMMOND

***Manufacturing Plant:** (several units). \$6,000,000. 1st unit 1 sty. 502x1365. "Hegewisch," Torrence Ave & 130th St., Hammond. Architect, Albert Kahn, 1000 Marquette Bldg., Detroit, Mich. Owner, Ford Motor Car Co., Detroit, Michigan. General contractors (1st unit, Great Lakes Construction Co., Chicago, Ills. Brick, steel sash, comp roof.

Tunnel: (Inverted Syphon). \$80,000. Columbia Avenue and Calumet River. Owner, City of Hammond. Board of Public Works. General contract let to Subway Constr. Co., 115 South Dearborn St., Chicago, Ills. Concrete, 2 tunnels, 500 feet long.

GREENCASTLE

Church: (addition). Poplar St. Architect, not selected. Owner, Presbyterian Congregation, Victor L. Raphael, Pastor, Greencastle. Site purchased. Owners voted to build in the spring. Brick.

Garage: 1 sty. Indiana and Columbia Sts. Owner, William Randel. Start work soon. Owner will build and award separate contracts. Brick.

KOKOMO

Residence and Garage: \$9,000. 2 sty. & bas. 44x28. Forest Park Add. Architect, Oscar Cook, Citizens Bank Bldg. Owner, Leon C. Martin, 1315 West Sycamore St. Archt. receiving bids. Frame, asphalt shingle roof, furnace.

Power Plant: (Addition and new equipment) (Continued on Page 11)

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INDIANAPOLIS

ment). \$175,000. The Northern Indiana Power Co., Kokomo, Ind., which recently effected a consolidation of seven Northern Indiana public utilities, has asked authority of the Public Service Commission to issue \$175,000 of securities, the proceeds to be used in enlarging the power plant at Logansport, Indiana.

Contracts Awarded

Bungalows: (6) \$18,000 total, 1824-26-30-34, 1900 % 1936 So. Lafontaine St. Owner and builder, Russel Watkins. Owner builds and buys materials. All frame. (6 rooms each). Building permit granted.

Bungalow: \$5,000. 1806 No. Morrison. Owner, Reed Pierce, 819 East Mulberry. Owner builds. Frame. Building permit granted.

Residence: \$9,000. 713 East Mulberry. Owner, M. E. Armstrong. (Building permit granted.)

MARION

***Church:** (Add.). \$50,000. 8th and Boots Sts. Private plans. Owner, Christian Congregation, G. W. Heinzeman, Chmn. Bldg. Comm., First St. and Belt R. R. Plans in progress. Brick.

***Factory:** \$25,000. 3 sty. 49x150. Owner, Bedell Mfg. Co., T. H. Bedell in charge. On foundation. Owner builds. Brick.

MADISON

Hospital: \$30,000. (40 rooms). 2 sty. & bas. Architect, Edw. Pierre, Occidental Bldg., Indianapolis. Owner, Dr. George Denny, in charge, Madison, Ind. Plans in progress. Brick. Mature about March 1st.

Residence: \$6,000. 2 sty & bas. Private plans. Owner, Peter Beerck, Madison. Plans in progress. Owner will ask for bids about March 1st.

RICHMOND

Residence: \$18,000. 2 sty & bas. Architect, C. E. Werking & Son, Palladium Bldg. Owner, Charles Herr, Richmond. Plans in progress. Brick, creosoted shingle roof, hot water heat, tile bath room.

Residence: \$12,000. 2 sty. & bas. Architect, C. E. Werking & Son, Palladium Bldg. Owner, Everett Ackerman, 918 Main St., Richmond. Plans in progress. Stucco, creosote shingle roof, hot water heat.

Residence: \$6,500. 2 sty. & bas. Architect, C. E. Werking & Son, Palladium Bldg. Owner, Howard Dill, Richmond. Plans in progress. Stucco, creosote shingle roof, hot water heat.

Residences: (6) (5 rooms each.) 10th and No. D Sts. Private plans. Owner, Edwin C. Wright, Richmond. Site purchased. Will build early Spring. Frame.

SEYMOUR

Church: (Rem. & Add.) \$30,000. 3d St. Archt. not selected. Owner, First Methodist Episcopal Church, Rev. Chas. Whitman, pastor, Seymour. Contemplated. Owners voted to build in the Spring. Brick veneer.

Lodge Building: (Rem.) \$4,000. Architect, R. H. Hall, 108 East 3d St. Owner, B. P. O. E., Seymour. Plans in progress. Owners decided to remodel instead of building a new building.

gible evidence on all sides, had a great

Housing (90 residences.) \$500,000 total. South Michigan St. (16 acres.) Private plans. Owner, Victor V. Van Cantfort Co. Plans in progress. Start work shortly. Owners grading site at present.

Factory Building: 4 sty. & bas. 100x875. Architect, Albert Kahn, 1000 Marquette Bldg., Detroit, Mich. Owner, Studebaker Corporation, South Bend. Plans in progress. Brick, reinforced concrete construction, comp. roof, steel sash, elevators, fire doors.

Foundry Building: Architect, Albert Kahn, 1000 Marquette Bldg., Detroit, Mich. Owner, Studebaker Corporation, South Bend. Architect ready for bids. Brick.

Parochial School: \$125,000. 2 sty. & bas. Calvert and Hill Sts. Architect, Freyermuth & Maurer, 654 Farmers Trust Bldg. Owner, St. Joseph's Roman Catholic Church, Right Rev. Herman J. Alerding, Bishop of the Diocese, Ft. Wayne, Ind., and Rev. William Lennertz, in charge, South Bend. Plans in progress. Brick, composition roof, steam heat, stone trim, 2 sty. and bas. 147x142.

***Parochial School:** \$40,000. 2 sty. & bas. Architect, Michael S. Bedmarski, 4641 Forsythe Ave., Chicago, Ill. Owner, St. Stanislaus Church, Rev. Marciniak, pastor, 415 No. Brookfield. Plans in progress. Mature about March 1st. Brick.

***Hospital:** (side addition) and new power plant.) \$350,000. 5 sty. & bas. Architect, R. E. Schmidt, Garden and Martin, 104 South Michigan St., Chicago, Ills. Owner, Epworth Hospital and Training School, 123 West Navarre St. H. W. Eldridge in charge. Geo. Wyman & Co., 105 No. Michigan Ave., South Bend. Plans nearing completion. Ready for bids about February 1st. Brick, reinforced concrete, fireproof constr.

Store and Apartment Building: \$30,000, 2 sty. & bas., 33x70, 436 South Michigan St. Private plans. Owner, Sullivan Shaw Tire Co., 436 South Michigan Ave. Plans completed. Owner will be ready for bids soon. Brick.

City Hall: (addition.) 2 sty. & bas. 150x75. Architect (name withheld for present). Owner, City of South Bend, Mayor E. F. Seebert, City Hall. Sketches. Mature early spring. Brick.

***Warehouse:** 2 sty. & bas. Architect, E. R. Austin and Roy N. Shambleau, 111 No. Lafayette. Owner, W. C. Sibley, % South Bend Foundry Co. Plans in progress. Mature about February 1st. Brick.

Store and Residence: \$10,000. 2 sty. 33x70. 516 So. Michigan. Private plans. Owner, J. S. Kerner, 923 East Indiana Ave. Plans in progress. Owner ready for bids about March 1st. Brick.

Girls Home: Archt. not selected. Owner, Progress Club, Mrs. F. Woodward, Prest. South Bend Womens Club; Mrs. R. B. Coon, Prest. Womens Civic Club; Miss Maude Heath, Secy. Y. W. C. A. Contemplated. Probably mature in the Spring or early Summer. Brick.

***Store Building:** (4 stores.) \$30,000. Main and Marion Sts. Owner, Thad M. Talcott, 346 Farmers Trust Bldg. Architect, E. W. Young, Dean Bldg. Plans in progress. Ready for bids soon. (Previously reported as excavating.)

Store Building: \$20,000. 2 sty. 66x100. 413-17 So. Michigan. Architect, Austin & Shambleau, 111 No. Lafayette. Plans in progress. Brick.

***Store and Apartments:** \$100,000. Colfax and Michigan Sts. Owner, Joint ownership, Poledore Bros., 116 No. Michigan, and Ezra Rhodes, 722 East Jefferson. Maturity rather indefinite owing to the filing of an injunction. Definite data later. Brick, terra cotta, 2 sty. 150x75.

Contracts Awarded

***Department Store:** \$500,000. 8 sty. & bas. 150x100. South Michigan St. Architect, Willard M. Elwood, South Bend. Owner, Robertson Bros. George Robertson, Prest., 129 So. Michigan St. General contract awarded on percentage basis to H. G. Christman Construction Co., South Bend. Plans nearing completion. Start construction soon. Brick, reinforced concrete and steel, frpf. construction, comp. roof, steam heat, elevators, marble and tile, marquise, skylights, terra cotta trim.

Warehouse: \$40,000. 2 sty. Private plans. Owner, Hamilton-Harris Co., 129 So. Emerick St. General contract awarded to H. G. Christman Constr. Co., 306 So. Notre Dame Ave. Plans in progress. Start work shortly. Brick.

Laundry Building: (addition.) 2 sty. 60x150. \$40,000. 211-17 Sycamore St. Architect, Willard M. Elwood. Owner, Superior Laundry Co., W. O. Davies, Mgr., 211 West Jefferson St. General contract awarded to H. G. Christman Constr. Co., 306 South Notre Dame Ave. Plans nearing completion. Will start construction about March 1st. Brick.

Stores: (4) 1 sty. 75x150. La Salle and Michigan Sts. Archt., Willard M. Elwood. Owner, Masonic Temple Assn. General contract awarded on percentage basis to H. G. Christman Constr. Co., 306 South Notre Dame Ave. Start work soon. Brick.

Stores: (2) and apartments (2) 2 sty. & bas. 60x150. Private plans. Owner, Hyde & Hammerstein, Louis M. Hammerstein, Attorney, 721 J. M. S. Bldg. General contract awarded to H. G. Christman Construction Co., 306 South Notre Dame Ave. Start work in 60 days. Brick.

Store and Apartment: \$15,000. 2 sty. & bas. 737 South Michigan. Private plans. Owner, L. Reisman, 405 West South St. Plans in progress. Owner will build and award separate contracts. Brick, ordinary construction.

Residence: \$9,000. 507 South William St. Private plans. Owner, Henry Frank, 517 South William St. Start work soon. Owner will build and award separate contracts. Frame.

***Lodge Building, Stores and Offices:** \$300,000. 7 sty. 82x90. Lafayette and Jefferson Sts. Architect, Austin & Shambleau, 111 No. Lafayette, and W. W. Schneider, 120 So. Main St. Owner, Lodge No. 14 Knights of Pythias, David C. Gibson, Treas. General contractor, Hay-Weaver Co., 127 East Sample St. Steel let to Highway Iron Products Co., Ligonier, Indiana. Excavating. Archt. taking bids on elevators; contractor desires figures on roofing, plastering, sheet metal work.

***Undertaking Establishment & Apartments:** W. Jefferson. 3 sty. & bas. Archt., Willard M. Elwood. Owner, A. M. Russell, 307 So. Michigan St. General contractor, H. G. Christman Constr. Co. Struct. steel and misc. iron let to Elkhart Bridge & Iron Co., Elkhart, Ind. Excavating. Brick.

***Residence:** \$25,000. 1320 E. Washing-

ton. Owner, J. M. Stephenson, 313 West Colfax St. General contractor, Joseph Good, 1118 Woodward Ave. On foundation. Brick.

Residence: \$7,000. 419 So. Michigan. Owner, R. V. Maurer, 219 No. Eddy St. Excavated. Owner builds. Frame.

Store and Apartments: \$19,000. 2 sty. & bas. 530 South Michigan St. Private plans. Owner, Joe Breskin, 412 South Michigan St. Brick, ordinary construction. Start work soon.

Stores and offices: \$16,000. 2 sty. & bas. 514 South Michigan St. Private plans. Owner, Salinger & Burke, 530 South St. Joseph St. Owner will build and award separate contracts. Start work soon. Brick, ordinary construction.

Store and Apartments: \$16,000. 2 sty. & bas. 737 South Michigan St. Private plans. Owner, L. Rismann, 405 West South St. Start work soon. Owner will build and award separate contracts. Brick, ordinary construction.

Store and Apartments: \$22,500. 2 sty. & bas. 759 South Michigan. Private plans. Owner, Rosie Hodes, 759 So. Michigan St. Plans in progress. Brick.

Store and Loft Building: \$25,000. 2 sty. 66x100, 1011 So. Michigan St. Private plans. Owner, George A. Farabaugh (Atty.), 305 J. M. S. Building. Plans in progress. Brick, composition roof, steam heat.

Residence: \$6,000. 2 sty. & bas. 1412 Anderson St. Private plans. Owner, Harry Polis, 1412 Anderson St. Owner builds. Start work at once.

Residence: \$7,000. 409 East Broadway. Private plans. Owner, James C. Hansen, 1113 Birner St. Owner will build.

Store and Apartment: \$6,000. 2 sty. 1609 Ford St. Private plans. Owner, William Lodyga, 618 Pulaski St. Start work shortly. Brick veneer.

Store and Apartment: \$8,000. 2 sty. & bas. 22x40. Calvert and Fellows Sts. Private plans. Owner, Joseph Schreiner. Start work soon. Brick, ordinary constr.

TERRE HAUTE

Stadium: \$400,000. (seating 20,000.) Owner, City Park Board and Chamber of Commerce, Terre Haute. Contemplated. Probably mature in Spring.

***Hotel:** (83 rooms.) \$200,000. 4 sty. & bas. 60x130, Paris, Illinois. Architect, Johnson, Miller & Miller, 30 No. 5th St., Terre Haute. Owner, Paris Building Corporation, W. T. Blackburn, Prest. Board of Directors, Paris, Ills. Plans and specifications completed. Owner will ask for bids in February. Brick, steel and reinf. concrete.

TIPTON

Contracts Awarded.

Bungalow: (5 rooms.) Owner, Mell Hobbs, North of Hobbs, Indiana. General contract let to William Shook, Tipton. Excavating. Frame.

VINCENNES

Lodge and Store Building: \$15,000. 2 sty. & bas. 42x66. Sumner, Ills. Architect, L. H. Osterhage and Byron Sutton,

Citizens Trust Bldg., Vincennes. Owner, I. O. O. F. Lodge No. 249. Oscar Fyffe, Secy., Sumner, Ills. Plans nearing completion. Ready for bids about January 20th. Brick, stone trim, composition roof, stoves (for heating), comp. roof, electric wiring and fixtures, metal ceilings, steel trusses and girders, pine trim, maple floors, private lighting system, plate and copper store fronts.

***Creamery:** \$17,500. 1 sty. 63x55. Princeton, Ind. Architect, John P. Bayard, Vincennes. Owner, Tip Top Creamery Co. John A. Risch, Prest., Vincennes; F. C. Ball, Mgr., Princeton, Ind. Owner receiving bids. Brick, steel, reinf. concrete floor constr., comp. roof.

MISCELLANEOUS CITIES.

Jasper: Factory (Addition) \$40,000. Private plans. Owner, Schaaf and Schnaus Manufacturing Co. Plans in progress. Owner will build by day labor, starting work about March 1st. Brick, mill construction.

Kendallville: Lodge and Hotel Building. \$100,000. Owner, B. P. O. E., R. V. Fisher, in charge, Kendallville. Owners voted to build in the spring.

Lafayette: Store Room, \$7,000. 1 sty. 40x160. Owner, Chicago, Indianapolis and Louisville R. R. Co. (Monon Route), 608 So. Dearborn St., Chicago, Ill. Chief Engineer, A. B. Kent, 608 So. Dearborn St., Chicago, Ill. Plans in progress. Frame.

Middlebury: Packing House, \$12,000. Green House, \$10,000; Office Bldg., \$8,000. Owner, The Krider Nurseries, Inc., Vernon H. Krider, Prest., Dr. B. F. Tetters, V. P., Middlebury. Plans in progress. Owner will receive bids soon.

***Mishawaka:** High School. \$600,000. (Central High School) Archt., Perkins, Fellows and Hamilton, 814 Tower Court, Chicago, Ill. Owner, Board of School Trustees. P. C. Emmons, Prest., Mishawaka, Ind. Preliminary plans in progress.

Contracts Awarded.

***Cannelton:** Sewer Pipe Factory (Addition) \$200,000. 3 sty. & bas. 130x75. 32 kilns, Boiler Room: Private plans. Owner, Cannelton Sewer Pipe Co., Cannelton, Indiana. General contract awarded to M. J. Hoffman Construction Co., Furniture Bldg., Evansville, Indiana. Start work January 5th. Brick.

***Fowler:** Freight and Passenger Station. \$20,000. 1 sty. 69x28. Private plans. Owner, C. C. & St. L. R. R. Co., 12th St. Station, Chicago, Ill. General contract awarded to A. J. Glaser, Muncie, Ind. Start work shortly. Brk.

***Hartford City:** (Hotel Rem.) Owner, F. M. Bush, Seymour, Ind. Lessee, Harry Johnson, Hartford Hotel, Hartford City. Owner builds. Start work shortly. Plumbing let to John C. Gable, Hartford City. Work consists of general interior rem.

***Michigan City:** Store rooms (3) 2 sty. add. 402-4 Franklin St. Owner, J. C. Penny Co., 402 Franklin St. General contract let to M. Kromshinsky; carpentry let to Charles Tonn; brick work to Chas. Ahlgrim & Son.

Sealed Proposals

An advertisement for sealed proposals inserted in these columns places the proposition before the entire Indiana Construction Interests, affording a publicity in contracting and material supply circles from one end of the State to the other, a publicity obtainable from no other single publication published in or entering the Indiana field. Copy should reach us, at the latest, Wednesday of the week of publication.

SCHOOL HOUSE.

NOTICE TO CONTRACTORS.

Notice is hereby given, That on the 24th day of January, 1923, at the Inglefield Community House, at Inglefield, in Scott Township, Vanderburgh County, Indiana, the Trustee of Scott School Township, Vanderburgh County, Indiana, will receive sealed bids or proposals for the construction of a one-story and basement brick school building in said Scott Township, known as the Scott Township Joint High School and Elementary School, in accordance with the plans and specifications now on file in the office of said Trustee, R. R. Inglefield, Indiana, and in the office of Anderson & Stingle, architects, McCurdy Building, Evansville, Indiana. Said bids will be received up to eleven (11) o'clock A. M., on said 24th day of January, 1923.

Separate bids or proposals will be received on the several branches of work required to complete said school building, or combinations of the several branches will be received; bidders may also submit a single bid for the construction of the entire work.

The estimated cost of said construction is fifty-five thousand dollars (\$55,000).

Bids must be filed on the form as prescribed by the State Board of Accounts, and must be accompanied by a certified check equal to three (3) per cent of the bids submitted; said check to be forfeited to the Township Trustee in the event the successful bidder refuses or fails to enter into a proper contract for the construction of the work bid on and to furnish proper surety within three (3) days after the awarding of said contract to the said bidder. Said Trustee will examine said bids and award the contract for a construction to the lowest and best bidder therefor. Bids to provide for the furnishing of all labor and materials for the construction of said school house, or the respective part of the same bid on, in accordance with the plans and specifications.

Notice is further given that said proposed school building is to be located at the intersection of the Base Line Road and State Road in said Scott Township, in the southeast quarter of the southeast quarter of section thirty-three (33), range ten (10) west, township four (4) south.

JAMES W. LITCHFIELD,
Trustee of Scott School Township.
A. C. Stone, Attorney for Trustee.
Dec. 30-Jan. 6th.

WANTED.

Architectural Draftsman—At once. Man thoroughly qualified. Must be able to carry plans through from sketches. Good position for right man in architect's office in progressive city in Central Indiana. Write at once, stating age and qualifications. Address, Architect, % Indiana Construction Recorder, 312 E. Market St., Indianapolis, Ind.

CALUMET DISTRICT

CONSISTING OF
HAMMOND INDIANA HARBOR
EAST CHICAGO WHITING

Building Trades Employers'
Association.

Member State A. B. C.'s

J. Wesley Reed President
E. E. Cole Secretary

108 Citizens National Bank Bldg.,
Hammond, Indiana

MEETING NIGHTS

General meeting every third Tuesday evening.
General contractors meet second and fourth
Monday evening.
Master plumbers every Thursday evening.

JUST ONE INSTANCE

Once upon a time there was a contractor who having begun building operations in a small town had by hard work and economy accumulated quite a snug pile of the filthy lucre. Then ambition siezed upon him and he decided to migrate to a larger city where he would have the opportunity to expand. A most commendable evolution. After carefully investigating and sizing up the situation he concluded that the Calumet District, because of its ideal location and budding promise, was the proper place for him.

A change of address followed, and after considerable figuring he landed a good sized contract and proceeded to show the old-timers in that locality how to do business. Here seemed to be a wide awake progressive newcomer, so the Contractors' Association, always desirous of adding new and promising material to its ranks, sent a representative around to the stranger within the gates for an interview and with an invitation to join the organization. The conversation between these two men had not progressed far when the newcomer seemed to assume the attitude that the invitation was rather in the light of an intrusion and gave the caller to understand that he had always been able to conduct his affairs himself without the aid of advice from outsiders.

However, doing business in a small town and operating in a real city are two different things. In the former place the builder is not brought into contact with the festive an dmeddlesome business agent, nor is there the annoyance of the jurisdictional dispute. In the small town men are inclined to work, to do that which they see is to be done, they are not specialists who simply work on a time basis at a high scale. When night comes they have given a full day's work for a full day's pay. The newcomer was in for the surprise of his life. Much to his amazement he soon learned that there was a big interest that was very much inclined to insist upon what he should do to be saved. Still the new contractor thought he could run his own business. Bing. How quickly the sky clouded up to shut off the rosy hue that had been so inviting. Delay after delay followed as disputes arose as to whom or which craft was going to do certain kinds of the

work; thus the job was needlessly tied up while the various crafts wrangled over jurisdiction.

Finally by digging down in his jeans to pay one craft for sitting out the time it had taken another craft to put up the disputed material the new contractor got his building completed, a sadder but somewhat wiser man. Then he came to the realization, and admitted it, that perhaps it would have been better for him to have cast his lot with men who had had experience, were organized to protect their interests and could have aided him greatly.

EVIDENCE SURELY IS REVOLTING

The indications are that some of those miners at Herrin will not feel quite so frisky after the court gets through with them. If the jury does not find them guilty after hearing the evidence submitted there is no use trying to convict any man of a crime if he is connected with organized labor.

CALUMET BUILDING JOTTINGS

Ahlborn & Bates are being delayed on the sewage disposal plant by the failure of the foundry to deliver the structural steel.

Architect Mac Turner has secured office rooms over the People's State Bank, 629 Hohman St., where he will be located after the new year.

Finlayson Bros. of Chicago, were awarded the contract for The Bereloes Bros. Hotel for \$352,000. The Tri City Electric Co. secured the electrical work and the Public Construction Co. the excavating; both of the latter are local firms.

J. H. Owens, field representative of the State A. B. C.'s, dropped in on us Tuesday evening, and gave us a very interesting sketch of what was being done over the state. It seemed like old times to have Jack with us; it had been about two years since he was last with us.

Henry Ford will build a \$6,000,000 plant to employ 16,000 people on the tract he secured across the line. It is predicted that it will ultimately be one of the world's largest automobile plants. The closed car bodies which were formerly made in Detroit will be manufactured at the new plant and 500 cars a day will be assembled.

Danner, Gohman & Meyers, are putting the finishing touches on the North Side Lincoln School, in order that school can be started the first of the year.

Bandits held up the Dyer Bank, seven miles south of here and got away with \$5,000. We don't feel a bit alarmed, for there is no danger of them holding up a Contractor's Association.

The Calumet B. T. E. A. wishes you all a very happy and prosperous New Year, and hopes 1923 will be a banner year for the contractors of Indiana.

E. E. COLE.

MUNCIE

Associated Building Contractors
Member State A. B. C.

Chas. Rowe President
J. A. Gallivan Secretary

314 Main Street

RESERVATIONS PLEASE!

Preparations are being made by several of the Muncie contractors to run up to Michigan City, the third week in January to take in the annual meeting of the Associated Building Contractors of Indiana.

What would an A. B. C. convention be without Jerry Gallivan and his Muncie colleagues hustling around? When the roll is called up yonder, they'll be there.

UNLAWFUL COMBINATION.

What constitutes an unlawful combination?

The United States Supreme Court in the case of McCord versus The Thompson-Starrett Company has said:

"While an individual employer may lawfully agree with a labor union to employ only its members, because such an agreement is not of an oppressive nature operating generally throughout the community to prevent craftsmen in the trade from obtaining employment and earning their livelihood, yet such an agreement when participated in by all or by a large proportion of employers becomes oppressive and contrary to public policy because it operates generally upon the craftsmen in the trade and imposes upon them as a penalty for refusing to join the favored union the practical impossibility of obtaining employment at their trade and thereby gaining a livelihood."—"The Review," Published by the Master Builders' Association of Boston.

BING!

One of the Muncie contractors rang the bell last week. General Contractor Albert J. Glasser, took a shot at some railroad building construction work recently and hit the target. The project he picked off was a passenger and freight depot for the Big Four Ry. at Fowler, Ind. The building will be of brick construction, 1 sty., 28x69 ft.

"QUIT WORK AND DIVIDE"

"The time to quit work and divide the wealth is just two weeks before the end of the world. For the world's surplus of supplies is just two weeks ahead of starvation. Wheat is being harvested in one country or another every week in the year. And yet with all the hard work that men can do, they cannot boost the world's supply of bread so as to increase our two weeks lead on the wolf of famine. A farmers' strike could bring a famine. A railroad strike could do the same. Many men advocate a combination farmers' strike and railroad strike. Don't get impatient boys. You shall have your famine if you will wait long enough. And the less work you do while you are waiting the sooner it will come. Nature is never whipped."—"The Iron Puddler," Jas. J. Davis, United States Secretary of Labor.

Give us the opportunity of demonstrating our various lines of building materials before placing your orders.

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INDIANAPOLIS
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HIGGIN ALL METAL SCREENS

The frames are made of galvanized steel, enameled both inside and outside in any color desired.

They are only 7/16 inch thick and 1 1/8 inches wide, or about half the width and thickness of wood frames.

Owing to the durability of the frames, we use only non-rusting wire cloth woven from commercial bronze wire.

HIGGIN SCREEN DOORS

The screen doors reflect more clearly, perhaps, than any other one thing the quality of a screen installation. Higgin Doors are built to order. In width of rails, finish, and kind of wood used, they match the corresponding house doors.

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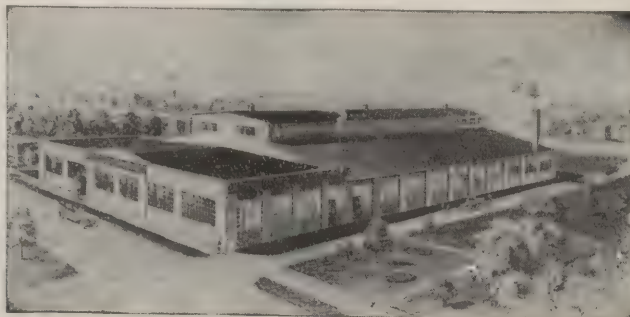
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INDIANA

Official Paper

Indiana Society of Architects

Office of the Secretary
500 BOARD OF TRADE BUILDING
Indianapolis, Ind.

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"Your Individual Prestige Can Never Be Greater Than the Prestige of the Profession to Which You Belong"

IMPORTANT TASK.

(Continued from Page 5)

did they have a glimmering conception of the relation of one building upon another in groups. The Romans, only, built magnificent cities.

Have I, a mere layman, any word of advice or suggestion to a member of the profession, that is the mother of all art, it would be to keep alive in his own heart the love of beauty.

Architecture, as I understand it, is the art of beautiful building. It has other sides of course, but it enters the field of art through significant form and awakens, through this, aesthetic emotion. This emotion is its only witness to success and, as an emotion, differs from any other feeling we possess. It is not selfish, and is characterized by humility. Standing before great examples of art we take off our hat in reverence, and our emotion may approach ecstasy.

But the thing all artists must remember, it matters not in which field of endeavor he works, is that he, who would move others by his work, must first himself be moved. It may be a mystery how this emotion of an artists gets into his work, but it gets there. Somewhere in its conception or execution there comes a time when he must feel as well as think.

Dealing in concrete things subject to the laws of gravitation, I take it that the architect mercifully has been spared some of the aberrations that pester my own profession. With pipe or cigars, in moments of leisure you men may build castles in Spain, but in your work in daytime you lay no foundations in the clouds, you build no futurist buildings."

ELABORATE PREPARATIONS BEING MADE FOR STATE ARCHITECTS' SEMI-ANNUAL MEETING.

Plans have been worked out for the semi-annual meeting of the Indiana Society of Architects to be held at Indianapolis, Saturday, January 13, that will make this event unique in comparison with the meetings that have been held by the state architects heretofore.

The arrangements provide for a program that will be par excellence and there are to be features that should not allow one dull moment to intrude upon

the time of the visiting architects.

There will be a noon luncheon at the Lincoln Hotel following the registration of visitors. Then a short time will be devoted to Society and professional business matters, a feature no one need fear as a period of tedium since it has been the custom of President Mahurin ever since his induction into office to make the discussions short, snappy and to the point.

Later in the afternoon there will be several attractive diversions, among them being a trip to the John Herron Art Institute to view the Annual Architectural Exhibit of Indiana Architects.

That evening there is to be a dinner and entertainment the exact location of which can not be announced at this time as complete arrangements have not been finished in detail. Suffice it to say that this will be the finest and most attractive affair of its kind ever given by the Indiana architects, due notice of which will be given on Saturday, January 6th.

It might also be added that the Indianapolis Architects' Association has voted to meet in a body in conjunction with the State Architects' Society two weeks hence.

NO FALSE FRONT FOR THIS ARCHITECT

Many invitations, calls, or whatever one cares to call them, are sent out for meetings. A few of the recipients respond in the affirmative, seldom in the negative, and committees are frequently left in the dark and are forced to take a chance on the preparations.

The realization that a negative response might prove a guiding light seemed to dawn upon this architect who wrote in recently as follows:

Terre Haute, Indiana.

December 9, 1922.

Mr. Warren D. Miller,

Terre Haute, Ind.

Dear Sir:—

I am not in shape that I can attend your meeting of the Architects. My suit of clothes is at the dry cleaners. I sent my shirt to Sam's wash last week and haven't got it back yet. I could wear a dicky, but it isn't well for an Architect to put on a false front.

I know the good eats will be a treat to

some Architects. It does not appeal to me, as all I have had to eat this summer and fall is fried chicken and cream gravy with hot biscuits for breakfast; buttermilk, corn, greens etc., for luncheon; black bass, squirrel and wild duck for six o'clock dinner.

They sent for Dr. Fortune, the corner, twice for me. Once I was out in a boat fishing; had so many black bass tied to the boat that when they all got to flopping at once they upset the boat. Some men dragged me feet first up the bank and went about a half mile to telephone Dr. Fortune. When they got back the water had run out of me and I was all right. The banks of the river sloped down.

The other time, I and a couple of others were getting wild grapes. Nobody's business what we were getting them for. I climbed up the grapevine about twenty feet when one of the parties told me to cut the vine. I cut it above where I was holding. I made a hole in the ground where I struck.

Some of the Architects may have read of the tower of Babel. I read about it once in a book. They did not have an Architect on the job, hence the confusion.

Let Charlie Scott have all he can eat, and oblige,

Yours truly.

SEND IN YOUR EXHIBITS EARLY.

The Exhibit Committee, of which Kurt Vonnegut, 610 Indiana Trust Bldg., Indianapolis, is chairman, is now ready to receive display contributions from the state architects for the Annual Architectural Exhibit, scheduled for the John Herron Art Institute, Indianapolis, beginning January 13th.

All drawings, photographs and other exhibits should be securely wrapped and addressed to the Architectural Exhibit Committee, % John Herron Art Institute, Indianapolis.

Contributions should be shipped as early as possible so as to facilitate the work of the committee since considerable time is required to enable the proper arranging and hanging of the various displays.

Do You Advertise in the Recorder?

If not, you are among those about whom the Indiana Building Industry is perplexed.

Inquiries are constantly being made as to who handles such and such materials and where can he be located.

Think of the times, however, that your competitor, who does advertise, is turned to by the man who wants to buy because he has not the time to hunt you up.

Building activity in Indiana has reached unprecedented heights; the sales opportunity is yours for the advertising.

A few dollars spent judiciously in advertising gives you more than an even break with the field, it gives you the bulge.

Your name and message in THE RECORDER will reach the Entire Indiana Building Construction Industry—The ARCHITECT, ENGINEER, CONTRACTOR, PROSPECTIVE BUILDER—each week.

The Recorder goes to "the live ones" each week and is read by them; it has no waste circulation; it is the only circulation in the State that covers the entire Indiana Building Field.

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RATES ON APPLICATION.

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Indianapolis

Official Paper

Associated Building Contractors of Indiana

FRED W. JUNGCLAUS, President
Indianapolis

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Indianapolis

ORGANIZATION AND CURRENT NEWS

EVANSVILLE

Associated Building Contractors
Member State A. B. C.

Geo. L. Miller.....President

Office, 411 Sycamore St.

EXTENSIVE HOUSE BUILDING MADE FOR RECORD CONSTRUCTION YEAR AT EVANSVILLE.

More than one new residence a day has been built in Evansville during the past year, according to building permit records. To date there have been 426 new houses built this year. This number does not include several houses that have been remodeled into duplex homes.

The past year will set a new record for building of all classes in Evansville, according to figures. There has been more than \$3,000,000 worth of building licensed this year. In 1915 there was \$2,500,000 worth of work licensed. This figure is the nearest the 1922 mark. It is estimated that residence work during 1922 totalled \$1,400,000, almost half of the total.

LOCAL CONSTRUCTION INTERESTS PLAYED A BIG PART IN THIS MARKET

Southwestern Indiana, not so intensively populated as the northern end of the state, lacking in the number of good sized cities that exist in the farther north territory, nevertheless, made a fairly good accounting as regards new building construction during the 1922 season now about to pass into history.

Evansville, with over \$3,000,000 for new building and Terre Haute with an amount close to that mark, boosted the southern Indiana total greatly. The wide range of territory eastward several counties from Evansville and south of Terre Haute, possessed of wealthy county seats and some bustling little progressive cities also did considerable building construction though it was of the nature of smaller buildings, residences, stores and a few factories. Then, too, in the rural districts quite a few good modern school houses were built, structures that as a whole would add several hundreds of thousands of dollars to the amount of money invested in the sum total of new buildings in "The Pocket" and the adjacent territory.

Though accurate figures are not available it is safe to estimate on the face of the building information from southwestern Indiana that approximately \$8,-

000,000 would come close to representing the volume of business done during the past season.

Chips and Shavings

One of the largest building permits issued in Evansville this season was taken out last week for the construction of the Donaldson Arms Apartment. The estimated valuation was \$200,000.

Contractors Anderson & Veatch are developing a new residential district out on Lincoln avenue, to be known as "Lincolnshire." There are 75 lots in the subdivision and certain restrictions are to be placed on the new homes to be built there in order to make it one of the city's best residential sections.

There is still some activity in the local building field with quite a few projects under construction, several being figured by the various contractors and the prospect of more to come from the architects who are preparing plans.

FT. WAYNE

BUILDERS' EXCHANGE
Member State A. B. C.

Max Irmscher.....President

Eph Dailey.....Secretary
825 Calhoun St.

Phone 2001

LINING UP FOR NEXT YEAR

Busy builders and their allied co-workers in Ft. Wayne are starting the fires for a big burst of speed ahead next season. January will mark the period for getting up steam, as it were. Architects, contractors, material men and realtors from this city are preparing for pilgrimages to their annual conventions, there to talk over things for the encouragement of a continuation of building operations at a lively rate.

It is realized that the enormous volume of building construction work that was carried on in 1922 reached far beyond building circles and exerted a powerful influence in making business good in other lines. The big purpose of realtors, architects, contractors and material supply men will be to effect favorable conditions and stability as regards new building projects in order to lend assurance to maturity.

Ft. Wayne architects will lead the exodus to the conventions, quite a few of them are contemplating going to Indianapolis January 13th to attend the semi-annual meeting of the Indiana Society of Architects.

Next in order will come some of the local realtors who will leave about Janu-

ary 15th to be present at the mid-winter assemblage of the National Association of Real Estate Boards at Jacksonville, Fla., January 17 to 20.

Local building material supply men will entrain about the same time and head for Chicago, where the annual convention of the National Builder Supply Men's Association will meet.

Indianapolis will attract local lumbermen January 17 and 18, when the Indiana Retail Lumber Dealers' Association gathers in the Hoosier Capitol for its yearly meeting.

Last but not least to be among those missing when the daily Ft. Wayne business roll call is made will be the contractors during the period from January 23 to 25, inclusive. On those dates the Associated Building Contractors of Indiana are to assemble in Michigan City for their annual pow-wow. This is the big meeting of the year for the builders from all over Indiana and, since Ft. Wayne contractors have always played a big part at these annual sessions, a good sized local delegation is preparing to be on hand.

NO LONGER A "MAIN STREET" CITY

The growth of Ft. Wayne is clearly manifested in the result of the efforts of her building forces exerted in the downtown or strictly retail and office district which has been undergoing steady improvement for some time past.

Fort Wayne was for a good many years practically a one-street city, so far as retail business houses were concerned, and the time has now arrived, on account of the splendid expansion of northern Indiana's metropolis, when business men are manifesting confidence in the side streets. That the people who have erected buildings on these streets have been justified is substantiated in the fact that every building erected has been under lease long before the structures were completed, and those concerns who are now occupying the store rooms in the building hereinbefore mentioned are doing a very satisfactory business and in most cases, beyond their expectations.

BIG BANK BUILDING TO BE LARGEST IN FT. WAYNE DISTRICT

The First National bank and office building, now being erected on West Berry street by general contractors Max Irmscher & Sons, will be easily the most pretentious structure in Fort Wayne and will loom up as one of the largest buildings in this section of the country. Twelve stories high, it will tower 155 feet above the sidewalk, providing a suite of eleven spacious and handsome offices on each of the eleven floors and magnificent banking quarters on the first two floors. The specifications call for completion October 1, 1923.

Remember

You can substantially reduce the cost of your compensation and liability insurance by insuring in the BUILDERS & MANUFACTURERS MUTUAL CASUALTY CO. (a strong company, organized and economically managed by contractors, and devoted exclusively to rendering a particular service and reducing the cost of insurance in building construction.)

SURPLUS OVER \$500,000.00

It will pay you to inquire of its rates and service.
See the secretary of your association or write to

**Builders & Manufacturers
Mutual Casualty Company**

1301 Chamber of Commerce Bldg.

CHICAGO

INDIANAPOLIS

Building Contractor's Association
Member State A. B. C.

F. W. Jungclauss.....President
C. C. Pierson.....Secretary
320 Peoples Bank Building

MEETINGS.

Executive Committee meets second Tuesday each month.

Painter Contractors meet every Wednesday, 4.00 p. m.

Plasterer Contractors meet every Wednesday noon.

Mason Contractors Association meets every Thursday—1 P. M.

General Contractors meet second Friday each month.

PLANS ON FILE.

At 320 Peoples Bank Building,
Indianapolis.
None this week.

WAIVER OF LIEN.

None this week.

CONTRACTORS TO ELECT ASSOCIATION OFFICERS.

Among other things that come in the wake of the new year are various revampings and included in this category are annual elections. Such being the case the Indianapolis Building Contractors' Association is all squared away for its yearly voting contest on Monday, January 8th.

Gus Wege and his nominating committee have announced the following ticket:

President, J. E. Hall; First Vice-Pres., Robert Berner; Second Vice-Pres., Wm. Carper; Third Vice-Pres., Walter W. Wise; Fourth Vice-Pres., Robert Poehner; Treasurer, Odis Porter.

The polls will be open from 11 A. M. to 3 P. M.

WHAT CONCERTED AND PROGRESSIVE ACTION ON THE PART OF CONTRACTORS HAS ACCOMPLISHED.

The new year will find many of the big new building projects started in 1922 either completed or just about so and ready to care for the demand that 1923 will have to put upon them.

Indianapolis contractors who had the execution of these large contracts did some fine work at hustling and put their jobs through with expediency. Despite the heavy call that was put upon the local building contracting forces and the scarcity of certain craftsmen Indianapolis' construction operations rode right along at high speed never letting down for a moment. Working conditions

were so arranged earlier in the season that they proved not only continuously favorable to the employer but to the employe as well, a condition the credit for which unquestionably is due to the unceasing and sincere efforts of the Building Contractor's Association. There were, among the members, differences of opinion over certain proposed policies and yet there was a fair give-and-take attitude always present that in the end effected the ultimate result of the greatest good for the greatest number."

The final reckoning is that Indianapolis contractors and the allied building interests have just completed the most successful year ever recorded by the entire Indianapolis building industry.

REMOVALS.

General Contractor Leslie Colvin has opened a downtown office in the Board of Trade Building.

The State Construction Co., formerly located at 726 Indiana Pythian Bldg., has removed its office to 30th street and Columbia avenue.

SOME OF THE 1922 CONTRACTING ACCOMPLISHMENTS.

Among the big pieces of building construction work put over in 1922 are: Murat Theatre Annex, \$500,000; Roosevelt Building, \$500,000; Guaranty Building, \$300,000; Parcel Post Depot, \$300,000; and several large apartment buildings, approximating hundreds of thousands of dollars. Then, too, construction work is well along on the new million and a half dollars Indianapolis Athletic Club and the Wild Bank and Office Building, \$600,000.

NOT ALL PROFIT BUT THE GAIN AFFORDED AMPLE REWARD

With an excess of close to \$8,000,000 spent in Indianapolis on new building construction in 1922 over that of 1921 the building interests of the city are winding up the biggest year they ever experienced.

Building operations getting away to an early start in the spring continued to gain in volume as the season wore on and carried through strong right up to December. The unprecedented building business turned in is attributable to the stability that was injected into the local conditions. Material supply prices, somewhat off from the former high levels of preceding years, held practically steady all summer. Then the labor situation was so adjusted and controlled by both employers and employes that it was entirely free from strikes. The ever increasing volume of building, with tangible evidence on all sides had a great influence in reestablishing confidence in

the ranks of the laymen, the prospective builders, who took heart and proceeded to launch the contemplated projects. The season was the heavy demand imposed upon the available supply of building trades mechanics by the enormous volume of construction operations which caused a scarcity of men in some of the crafts. Outside of this feature there was no retarding influence.

A MEMBER'S PRAYER

Teach me that sixty minutes make one hour, sixteen ounces one pound and one hundred cents a dollar. Help me to live so that I can lie down at night with a clear conscience, without a gun under my pillow and unhaunted by the faces of those to whom I have brought pain. Grant that I may earn my meal ticket on the square, and that in earning it I may do unto others as I would have them do unto me. Deafen me to the jingle of tainted money and the rustle of unholy skirts. Blind me to the faults of the other fellow and reveal to me my own. Guide me so that each night when I look across the table at my wife who has been a blessing to me, I will have nothing to conceal. Keep me young enough to laugh with little children and sympathetic enough to be considerate of old age, and when comes the day of darkened shades and smell of flowers, the tread of footsteps in the front yard—make the epitaph simple: Here lies a man who has always paid his dues in the Exchange.—(From "Pep," Semi-Monthly Bulletin, Erie, Pa., Builders' Exchange.)

**BUILDING PERMITS.
(\$4,500 and Over)**

Week of December 21 to December 28.

Residence: \$15,000. 187 Golden Hill. Owner, Oren M. Ragsdale, Prest. Hunter Dry Kiln Co. General contract let to Albert Fuller, 438 No. Emerson. On 1st floor.

Residence: \$18,000. 3336 Fall Creek Blvd. Owner, John G. McCullough, 106 No. Delaware St. General contract let to James Atwood and Son, 856 W. 27th.

Residence (double): \$6,000, 1540-42 Villa Ave. Owner, Francis L. Yeager, at site.

Planing Mill: \$6,500. 1 sty. 50x98. Owner, H. A. Pinnel, 1920 No. New Jersey. G. C., T. A. Berry, 962 West 27th.

Garage: \$7,000. 64th and College. Owner, Paul Talbott, 6024 College Ave. General contract let to Simon Goss, % owner.

Residence: \$5,000. 19 No. Sheridan. Owner, Julian Johnson, 1723 Laurel St.

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Contractors—Engineers
810-15 FLETCHER TRUST BLDG., INDIANAPOLIS

CONDER & CULBERTSON
General Building Contractors
623 NORTH NOBLE ST., INDIANAPOLIS

CORNELL ENGINEERING CO.
Building Contractors
2611 CORNELL AVE., INDIANAPOLIS

WM. P. JUNGCLAUS CO.
Building Contractors—Industrial and Schools
825 MASSACHUSETTS AVE., INDIANAPOLIS

J. G. KARSTEDT CONSTRUCTION CO.
General Contractors
429 LEMCKE BLDG., INDIANAPOLIS

MORROW AND MORROW
General Building Contractors
1006 E. Main St. Muncie, Ind.

JAS. HODGSON & SONS
Brick Contractors
208 HOLLIDAY BLDG., INDIANAPOLIS

Phones—Residence, Randolph 5203; Office, Circle 4164
WISE BROTHERS
(Walter W. Wise)
MASON CONTRACTORS Indianapolis
206 Indiana Trust Bldg.

COMMERCIAL & INDUSTRIAL BUILDERS
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405-406 BOARD OF TRADE
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Ornamental and Miscellaneous Iron
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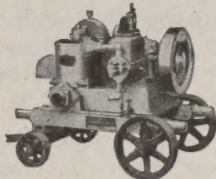
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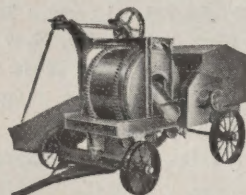
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Phone, Main 6360 Indianapolis, Indiana



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No. 107 Koehring Dandie

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PUMPS
HOISTS

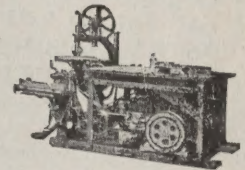
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BAR CUTTERS

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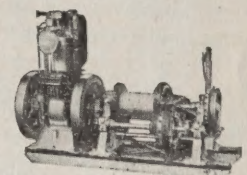
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FLETCHER TRUST BUILDING INDIANAPOLIS

H. W. TAYLOR, INDIANA REPRESENTATIVE

MAIN 7170



No. 6 C. H. & E. Saw Rig



No. 3 C. H. & E. Hoist

RETAIL QUOTATIONS

Indianapolis Building Materials

LUMBER.

Framing Lumber.

2x4 in. 8, 16 ft.—No. 2 common.....	\$44.00
2x4 in. 18, 20 ft.—No. 2 common.....	46.00
2x6 in. 8, 16 ft.—No. 2 common.....	42.00
2x 6 in. 18, 20 ft.—No. 2 common.....	44.00
2x 8 in. 8, 12, 14, 16 ft.—No. 2 common.....	46.00
2x8 in. 18, 20 ft.—No. 2 common.....	44.00
2x10 in. 8, 12, 14, 16 ft.—No. 2 common.....	44.00
2x10 in. 18, 20 ft.—No. 2 common.....	46.00
2x12 in. 8, 12, 14, 16 ft.—No. 2 common.....	44.00
2x12 in. 10, 18, 20 ft.—No. 2 common.....	47.00

Same—No. 1 common, add \$8.00 per M to above quotations.
Boards.

Yellow Pine, S & S., 1x4 in.—No. 1 common.....	\$50.00
Yellow Pine, S & S., 1x4 in.—No. 2 common.....	37.50
Yellow Pine, S & S., 1x6 in.—No. 1 common.....	52.50
Yellow Pine, S & S., 1x6 in.—No. 2 common.....	44.00
Yellow Pine, S & S., 1x8, & 10 in.—No. 1 common.....	55.00
Yellow Pine, S & S., 1x8, & 10 in.—No. 2 common.....	45.00
Yellow Pine, S & S., 1x12 in.—No. 1 common.....	65.00
Yellow Pine, S & S., 1x12 in.—No. 2 common.....	50.00

Bevel Siding.

6 in. clear redwood.....	\$65.00
6 in. select poplar.....	70.00
8 in. clear cypress.....	75.00

Drop Siding.

Yellow Pine, 1x6 in.—Clear.....	\$70.00
Yellow Pine, 1x6 in.—No. 1 common.....	60.00
Yellow Pine, 1x6 in.—No. 2 common.....	45.00
Yellow Pine, 1x8 in.—No. 1 common.....	60.00
Yellow Pine, 1x8 in.—No. 2 common.....	47.00

Finish.

Yellow Pine, 1x6 in. to 10 in.....	\$ 90.00
Yellow Pine, 1x12 in.....	110.00
Cypress, 1x12 in.....	150.00
Cypress, 1x6 in. to 10 in.....	140.00

Hardwood Flooring.

Oak Flooring.....	\$130.00
Maple Flooring.....	130.00
Edge Grain Flooring.....	110.00
No. 1 Yellow Pine Flooring.....	75.00

Yellow Pine Flooring.

1x4 in. clear flat grain.....	\$85.00
1x4 in.—No. 1 common.....	65.00
1x4 in.—No. 2 common.....	42.00
1x6 in.—No. 1 common.....	55.00
1x6 in.—No. 2 common.....	45.00

Shingles.

Oregon cedar, clear 5-2 in.....	\$8.00
Extra XAX, 6-2 in.....	7.00

Wood Lath.

48 in. No. 1 Cypress Lath.....	\$12.00
48 in. No. 1 Hemlock Lath.....	12.00
48 in. Yellow Pine.....	10.00
32 in. No. 1 Cypress Lath.....	7.00
32 in. No. 1 Hemlock Lath.....	7.00
32 in. Yellow Pine.....	5.50

CLAY PRODUCTS.

BRICK.

Common, F. O. B. cars, Indianapolis.....	\$15.50 to \$16.50 M.
Face, F. O. B. cars, Indianapolis.....	23.00 to 40.00 M.

HOLLOW CLAY PARTITIONING TILE.

Size (Inches)	Wt. Each	Pcs. to Min C/L	Deld. from Stock M.
3x12x12.....	15 lbs.	3570	\$84.00
4x12x12.....	16 lbs.	3200	95.00
6x12x12.....	22 lbs.	2400	123.80
8x12x12.....	30 lbs.	1800	169.00
10x12x12.....	35 lbs.	1500	192.00
12x12x12.....	42 lbs.	1200	238.90

BAKUP TILE.

Size (Inches)	Wt. Each	Pcs. to Min C/L	Deld. from Stock M.
4x5x12.....	9 lbs.	5000	\$ 45.92
5x8x12 (2-cell).....	15 lbs.	3200	76.50
5x8x12 (3-cell).....	17 lbs.	3200	86.75

GYPSUM BLOCKS.

Size (Inches)	From Warehouse
3x12x30 Hollow.....	\$132.00
4x12x30 Hollow.....	154.00

WALL COPING.

	Per ft.
9 in.	\$0.20
13 in.30
18 in.60

Angles, three times price per ft.

FLUE LININGS.

	Joint
Flue Linings, 8½x8½.....	\$0.60
Flue Linings, 8½x13.....	.90
Flue Linings, 8½x18.....	1.35
Flue Linings, 13x13.....	1.15
Flue Linings, 13x18.....	1.75
Flue Linings, 18x18.....	2.25
12 inch Round Lining.....	1.35

CEMENT BLOCKS

Plain—8 in.x12 in.x16 in.....	\$0.22 each
Rock Face—8 in.x12 in.x16 in.....	.25 each
For fittings, corners, window blocks, add 25¢/p.	
For Water-Proof Blocks add two cents per block.	

LIME, CEMENT AND PLASTER

LIME.

	Each
Finish, Hydrate, 50 lb. paper sacks.....	\$0.47
Mason's Hydrate, 50 lb. paper sacks.....	.40
Chemical Hydrate, 50 lb. paper sacks.....	.52
Single Bags, any kind.....	.65
Lump Lime, bulk.....	per cwt. .75

CEMENTS.

	Each
Portland, paper bags.....	\$0.90
Portland, cloth bags.....	.95
White Portland, cloth bags.....	2.60
Bricklaying.....	.66 and .75
Cloth sacks included, returnable at 7c each.	

MORTAR FOR BRICKLAYING.

Carney's cement, cloth, per bag.....	\$0.75
Brixment, paper, per bag.....	.66
Brixment, cloth, per bag.....	.70
Cloth sacks included, returnable at 7c each.	

PLASTERS AND FINISHES.

	Each
No. 1, Prepared, 1st coat, cloth sack.....	\$0.60
No. 2 Prepared, 2nd coat cloth sack.....	.60
Special, Prepared Metal Lath, cloth sack.....	.65
Single Sack, any kind.....	.75
Plaster—Unsanded (Neat) 80 lb. paper sacks.....	.78
Plaster—Unsanded (Neat) 100 lb. cloth sacks.....	1.05
Single Sack, paper.....	1.00
Wood Fibre, 100 lb. paper sacks.....	.75
No. 1 Moulding Plaster, 100 lb. cloth.....	1.40
No. 1 Moulding Plaster, 80 lb. paper.....	1.10
Michigan Stucco, 100 lb. cloth.....	1.00
Plaster Paris, satin finish, paper.....	1.00
Superior Plaster Paris, 80 lb. Pa.....	1.00
Keene's Cement, 100 lb. cloth sack.....	2.00
White Trowel, Prepared, 80 lb. cloth sack.....	1.30
White Sandflat, Prepared, 100 lb. cloth sack.....	1.25
Retarder, (at yard).....	pond, .12
Cloth sacks included, returnable at 7c each.	

MORTAR COLORS.

	Pound
Red, 100 lb. sacks.....	.02½
Buff, 100 lb. sacks.....	.03½
Chocolate Brown, 100 lb. sacks.....	.03½
Black, Dble. Str., 100 lb. sacks.....	.05½
Black, Sgl. Str., 100 lb. sacks.....	.03½
Special Chocolate, 100 lb. sacks.....	.04½
In quantities less than 1 sack.....	.06

SAND.

	Ton
White Silica, bulk.....	\$ 8.00
White Silica, cloth sacks.....	10.00
Michigan, bulk.....	5.50
Michigan, cloth sacks.....	7.50
Cloth sacks included, returnable at 7c each.	

ROOFING MATERIALS.

	Square
Slate Surface (8 inx12¾ in.).....	\$6.25
Slate Surface, strip shingles.....	6.00
Colors—Red, Green or Blue-Black.	

ROLL ROOFING.

	Roll
Green Slate Surface.....	\$3.00
Red Slate Surface.....	3.00
Blue Black Slate Surface.....	2.40
Class C Heavy, 55 lb. (3 ply).....	2.40
Light (1-Ply) 35 lb.....	1.75
Black Waterproof Paper, 500 sq. ft.....	1.50

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**Fireproof, Insulating Building
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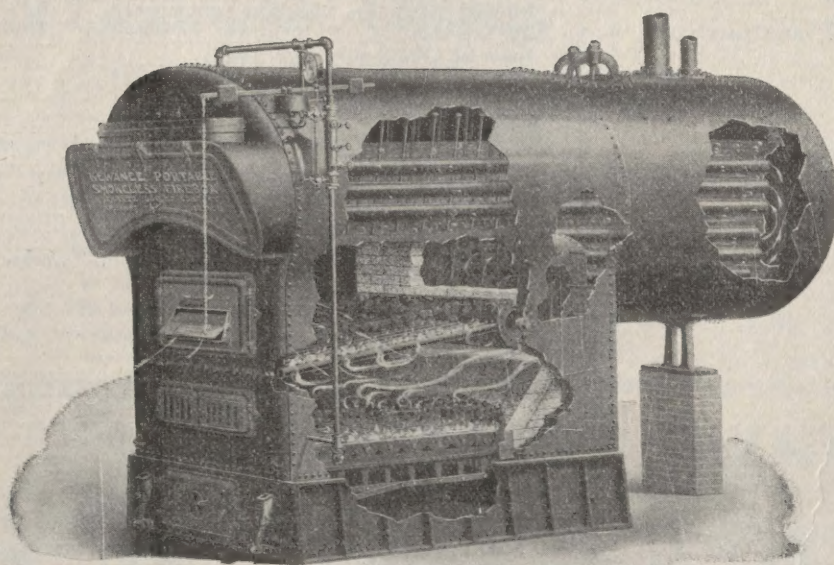
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